



**CITY OF COTTONWOOD
PLANNING & ZONING COMMISSION
COUNCIL CHAMBERS**

826 N. Main St.
Cottonwood, AZ 86326

REGULAR MEETING
Monday, January 25, 2016
6:00 pm.

I. CALL TO ORDER

- A. Roll Call**
- B. Approval of Minutes:** October 19, 2015, regular meeting
- C. Election of Chair and Vice-Chair**

II. CALL TO THE PUBLIC

This is the time for the public to comment on any matter that does not appear on the agenda. Commission members may not discuss items not identified on the agenda. Pursuant to A.R.S. §38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for consideration at a later date. Comments are limited to five minutes for each person.

III. NEW BUSINESS:

- 1. DR 16-001 KIDZAAM POLE SIGN-** Design Review approval for an existing unused pole sign. The project is located at 2180 State Route 89A. APN: 406-55-060. Owner: Albert Higgins Applicant: Jason Keller, Signs928 LLC.
- 2. DR 16-002 VERDE VALLEY EXTENDED STAY-** Design Review approval for the construction of a new building with eight (8) new guest rooms. The project is located at 925 Cove Parkway. APN: 406-55-057. Owner: Rudy & Michelle Stadelman Applicant: Bob Woods Architect.
- 3. DR 16-004 DARBY AWNING-** Design Review approval for the placement of an awning on an existing building in Old Town. The project is located at 1035 N. Main Street. APN: 406-34-006B. Owner: JoAnna & Tom Darby Applicant: JoAnna Darby

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

The Cottonwood Council Chambers is accessible to the handicapped in accordance with Federal "504" and "ADA" laws. Those with needs for special typeface print or hearing devices may request these from the Planning Technician at 634-5505 (TDD 634-5526). All requests must be made at least 24 hours before the meeting.

4. **PCU 16-001 TC EXCAVATING-** Consideration of a Conditional Use Permit to allow a construction storage yard for excavating equipment in a C-1 (Light Commercial) zoned property located at 121 S. 6th Street. APN 406-42-101D. Address: 232 S. 6th Street. Owner: B&B Revocable Trust. Agent: Krishan Ginige.
5. **PCU 16-002 TREASURE JUNKIES-** Consideration of a Conditional Use Permit to allow rental of U-Haul trucks and trailers in a C-1 (Light Commercial) zoned property located at 612 N. Main Street. APN: 406-42-040E, 406-42-040G. Address: 612 N. Main Street. Owner: Copper State Land, LLC. Agent: Michael Weber & Kathleen Francis.
6. **PCU 16-003 WESIE'S CUSTOMS-** Consideration of a Conditional Use Permit to allow screened outdoor storage as an accessory use in a C-2 (Heavy Commercial) zoned property located at 1491 E. Cherry Street. APN: 406-06-262. Address: 1491 E. Cherry Street. Owner: Rio Arizona Holdings, LLC. Agent: Robert Wesighan.
7. **PCU 16-004 TERRA BENI-** Consideration of a Conditional Use Permit to allow agricultural land use in I-2 (Heavy Industrial) zoned property. The site is located on S. Willard St. north of E. Tierra Verde Dr. APN: 406-08-009D, 406-08-009C, 406-08-010A. Address: N/A. Owner: Beaver Creek Development Inc. Agent: Bernadette Selna.
8. **GENERAL PLAN ANNUAL UPDATE-** Review and recommendations for annual report to City Council on the status of Cottonwood General Plan.

IV. DISCUSSION ITEM: NONE

V. INFORMATIONAL REPORTS AND UPDATES:

A brief summary of current events by Chairperson, Commission members, and/or Community Development Director. (The public body does not propose, discuss, deliberate, or take legal action on any matter brought up during this summary unless the matter is properly noticed for legal action).

VI. ADJOURNMENT

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

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Official Minutes of the City of Cottonwood
Planning & Zoning Commission Regular Meeting
Held, October 19, 2015, at 6:00 P.M. at the City Council Chambers
826 N. Main St. – Cottonwood, Arizona

CALL TO ORDER & ROLL CALL

Chairman Kiyler called the meeting to order at 6:00 p. m. Roll call was taken as follows:

Planning & Zoning Commission Members Present

Chairman Ed Kiyler Robert Williams Judd Wasden
Suzanne Poslaiko Jean Wilder

Planning & Zoning Commission Members Absent

Ray Cox

Staff Members Present

Berrin Nejad, Community Development Director
Charlie Scully, Community Development Planner
Scott Ellis, Community Development Planner
Christina Papa, Planning Technician, Recorder

APPROVAL OF MINUTES OF SEPTEMBER 21, 2015-REGULAR MEETING

Motion: ***To approve the minutes of 9/21/2015-regular meeting***

Made by: ***Commissioner Williams***

Second: ***Commissioner Wilder***

Vote: ***Unanimous***

CALL TO THE PUBLIC (NONE)

NEW BUSINESS

1. **PCU 15-002 WINERY 101-** A Request for a Conditional Use Permit approval for wine tasting as an accessory use to an art gallery currently located at 747 N. Main Street (Manheim Gallery). APN: 406-38-055. Owner Kipling Douglas Stanton. Agent: Gavin Gallifant. Below is Ellis's report:

The applicant is requesting approval of a Conditional Use Permit to allow wine tasting as an accessory use to an art gallery (Manheim Gallery). This will include constructing an outdoor patio area for customers to sit and enjoy the experience. The proposed site is located at 747 N. Main Street, on the north side of the road. The location is zoned CR (Commercial Residential) and is in Old Town.

PROJECT DATA AND FACTS:

Applicant	Gavin R Gallifant
Property Owner/Agent	Douglas Stanton Kipling/Patt Manheim
Location of Property	747 N. Main Street (Manheim Gallery)
Present Zoning and Land Use	CR (Commercial Residential, Art Gallery)
Description of Applicant's Request	Obtain a Conditional Use Permit to allow wine tasting as an accessory use for an existing art gallery by constructing and outdoor patio for customers to sit.

LAND USE:

Description and Character of Surrounding Area
The site is on the north side of North Main Street, at the intersection of North Main Street and North 4 th Street. It is bordered by CR (Commercial/Residential) properties on all four sides.

PROJECT PROPOSAL:

Background
<p>The owner of the property is allowing the applicant space within an existing art gallery to provide wine tasting to customers. The applicant would also like to create an outdoor patio with seating on the west side of the building, bordering North 4th Street.</p> <p>With a Conditional Use Permit, the CR zone allows establishments serving food or beverages, however, it does not include bars, taverns, or lounges. The wine tasting does not fall within the bar, tavern, or lounge category, and will be treated as an accessory use to the art gallery that is currently on site. The applicant will only be allowed to provide wine tasting and any future expansion to include other alcohol or more intensive use will need to be reviewed for compliance with zoning.</p>

Parking:

The property owner also owns an adjacent lot to the northeast of this property which is used as parking. No additional parking is required for this use.

Lighting:

Lighting will comply with Dark Sky regulations and meet all zoning requirements regarding lumen counts.

Signage:

Applicant has proposed a sign on the building which will match the current Manheim Gallery sign (see attached image). This sign will not be illuminated.

Access:

Access to the establishment will be available through the parking lot to the northeast, which is accessible via North 5th Street.

CRB Review:

This project was reviewed by the Code Review Board on September 15th, 2015 and the applicant will meet all requirements before a Certificate of Occupancy will be issued.

RECOMMENDATION:

Staff has reviewed this project and finds it fits within zoning requirements of the CR zone and recommends the following stipulations:

1. That the project is developed in conformance with the project plans submitted 09-29-15 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 09-18-15.
3. That the permit is only valid for wine tasting as presented as an accessory use to the art gallery and any future expansion will need to be reviewed and meet current zoning requirements.
4. The hours of operation for the outdoor patio use is determined by the Planning & Zoning Commission.
5. Any other stipulations the Commission deems necessary.

Commissioner Wilder Recused. Commissioner Wasden wanted to know the access points to the patio. Applicant responded that the access would be through the gates and through the Gallery. Commissioner Wasden asked about the hours, the gallery closes at 5:00 pm. Applicant responded that they would want to be open as late as other tasting rooms in Cottonwood, and that the Owner Patt Manhiem may change the hours of the Gallery to be open until 9:00 pm. Vice Chair Williams mentioned that all the tasting rooms close at 9:00 pm. Chairman Kiyler asked about live music. Applicant would like to have complimentary live music, nothing loud. Chairman Kiyler asked staff if outdoor music is allowed. Staff responded that no it would not be allowed under the current zoning, indoor music is allowed but not outdoor. Applicant said so no speakers outside? Commissioner Poslaiko said just to clarify that nothing can be outside, which includes the speakers, it has to be contained within the building. Staff mentioned that if the applicant was going to do a special event (which there would be outdoor music) they can apply for a special event permit but it cannot be full time as part of the use.

Motion: *To approve PCU 15-002 Winery 101 at 747 N. Main St. with the following stipulations:*

- 1.) That the project is developed in conformance with the project plans submitted 09-29-15 and as may be further modified by the Planning Commission.*
- 2.) That the project conforms to Code Review Board comments dated 09-18-15.*
- 3.) That the permit is only valid for wine tasting as presented as an accessory use to the art gallery and any future expansion will need to be reviewed and meet current zoning requirements.*
- 4.) The hours of operation for the outdoor patio use be limited to 9:00pm.*

Made by: *Commissioner Williams*

Second: *Commissioner Wasden*

Vote: *Unanimous*

2. **DR 15-007 RIVERFRONT WASTEWATER PLANT-** Design Review approval for the construction of a new city wastewater reclamation facility located at Riverfront Park. The project is located at 1187 E. Riverfront Rd. APN: 406-42-018U and 406-42-018W. Owner: City of Cottonwood Applicant: Roger Biggs. Below is Ellis's report:

Consideration of a Design Review for a new Riverfront Water Reclamation Facility for the City of Cottonwood, located at 1187 E. Riverfront Rd. The property is currently vacant and a portion of it may possibly be used for future soccer fields. In July 2015 the Cottonwood City Council approved the project for construction.

Two main buildings will be constructed to allow operation and maintenance of the facility, with several smaller accessory buildings on site to house operating equipment. The two main buildings will be constructed of CMU with a stucco finish. A new access road from 10th Street to the plant gate will also be constructed. Landscaping will consist of various bushes and trees, and crushed granite will be placed throughout the property for ground cover.

RECOMMENDATION:

Staff recommends approval subject to the following stipulations:

1. That the development in conformance with the plans submitted October 2015 and as may be further modified by the Planning Commission.
2. That all the Code Review issues are addressed.
3. Any other stipulations the Commission deems necessary.

Vice Chairman Williams asked if this project is built to the 500 year flood. Applicant mentioned that it will be built two feet above the flood plain. Commissioner Wasden asked what the project start time would be. Applicant responded that they would like to start by this years end.

Motion: *To approve DR 15-007 the Design Review of the Riverfront Water Reclamation Facility located at 1187 E. Riverfront Rd., subject to the following stipulations:*

- 1.) That the development conforms with the plans submitted October 2015.*
- 2.) That all the Code Review issues are addressed.*

Made by: *Commissioner Williams*
Second: *Commissioner Wasden*
Vote: *Unanimous*

OLD BUSINESS

1. **ZO 15-003- AMENDMENT TO SECTION 422 “I-2” ZONE (HEAVY INDUSTRIAL):** Consideration of a Zoning Ordinance text amendment to Section 422 deleting multi-unit residential and manufactured home parks; and adding accessory residential uses, as Conditional Uses in the I-2 (Heavy Industrial) Zone. Below is Scully’s report:

BACKGROUND

The Planning and Zoning Commission considered the proposed amendment to remove multi-unit residential and manufactured home parks from consideration as I-2 Conditional Uses at their meetings of August 17 and September 21, 2015, and recommended approval.

Upon further review of the topic, the question of accessory residential uses came up. There are several existing examples in the I-2 Zone. Examples of accessory residential use include a single unit incorporated into a light industrial property; or institutional residential uses incorporated into a medical facility or public safety facility. As long as the residential use is accessory and secondary to a Permitted Use, it would be able to be considered as a Conditional Use.

REQUESTED ACTION

Amend the Cottonwood Zoning Ordinance, Section 422 “I-2” Zone by removing R-3 multi-unit residential projects and manufactured home parks from consideration as “Conditional Uses” in the I-2 (Heavy Industrial) Zone; and adding a new section to allow accessory residential uses as Conditional Uses in the I-2 Zone where associated with a Permitted Use.

STAFF ANALYSIS

The “Accessory Residential Use” is meant to accommodate:

- Accessory dwelling unit (mother-in-law unit, granny flat) within a building;
- Residential units for institutional use, such as in-patient apartments at Spectrum/Guidance Clinic;
- Residential/dormitory use for Public Safety facilities; or
- Permanent on-site manager unit for a Self-Storage facility.

The amendment is not meant to accommodate permanent housing at I-2 sites in the form of:

- Recreational vehicle (RV) or travel trailer unit for permanent manager residence at industrial use, such as distribution facility, processing use, manufacturing shop, storage facility, contractor’s yard or storage yard; or
- Manufactured unit located on-site with an industrial building, auto body shop, office, storage facility or in a yard;

Section 307. “Temporary Use Permits” allows consideration a Watchperson’s Trailer through the TUP process for a period of one year, with extensions possible, at an active construction site.

Amend Section 422 “I-2” Zone (Conditional Uses) as follows:

DELETE

- ~~2. Residences as allowed in the “R-3” Zone, subject to the property development standards of the “R-3” Zone.~~
- ~~3. Manufactured Home Parks, subject to the property development standards of the “MH” Zone.~~

ADD

- 2. Accessory residential use located in association with a permitted use provided the residential use is secondary to the permitted use and integrated within a permanent structure, and not including a manufactured home or recreational vehicle, except for a watchperson’s trailer approved as per Section 307 “Temporary Use Permits.”**

RECOMMENDATION

Consider the previous and revised ordinance amendments and provide a recommendation for the City Council.

ATTACHMENTS

Updated Zoning Ordinance, Section 422. I-2 (Heavy Industrial) Zone, including Accessory Residential Use. (October 19, 2015)

Commissioner Wilder had some questions regarding building height, and allowed uses. Staff informed her that was existing in the ordinance and that is not what is being changed. Commissioners had no other questions.

Motion: *To recommend ZO 15-003 amendments to Section 422 “I-2” Zone (Heavy Industrial) removing subsection C, 2 and 3, replacing with a new subsection 2 for accessory residential use to be allowed as conditional use as written by staff, to City Council for approval.*

Made by: *Commissioner Williams*

Second: *Commissioner Wasden*

Vote: *Unanimous*

DISCUSSION ITEMS- NONE

INFORMATIONAL REPORTS AND UPDATES-

- 1.) Commissioners terms expiring.
- 2.) Infill project in old town.
- 3.) Historic Preservation Commission has several properties that they have landmarked.
- 4.) Catholic School has received their Certificate of Occupancy.
- 5.) Galpin RV-Staff mentioned that they think they are still in the engineering stage of plans.

ADJOURNMENT

Meeting adjourned at 6:54p.m.



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: January 25, 2016

SUBJECT: DR 16-001 Kidzaam Pole Sign

REQUEST:

The applicant is requesting Design Review approval to use an existing unused pole sign. The sign is for a new pediatric dental office that is located at 2180 State Route 89A.

Applicant:

Jason Keller Signs928 LLC.
425 S. 6th St.
Cottonwood, AZ 86326

Property Owner:

Albert Higgins
3100 W. Renegade Rd.
Prescott, AZ 86305

BACKGROUND:

On the June 15, 2015 the commission gave Design Review approval to Kidzaam Dental, a new pediatric dental office. One of the commission's stipulations was that future use of the freestanding pole sign be brought back for review and approval. The applicant has submitted a sign design that meets all zoning requirements.

Please see attached sign design.

Before



After



* Illuminated displays will be wired for 120 volt power unless otherwise noted.
 * Cost for providing necessary electrical wiring to sign area is not included in sign proposal.

SALES APPROVAL: _____

DATE: _____

REV. #	DATE	BY	REV. #	DATE	BY

FIRM NAME / PROJECT ADDRESS

SALESPERSON **J Keller**

ORIGINAL DATE: _____

ORIG. DESIGNER: **J Keller**

SCALE: _____

FILE DESIGN NUMBER

SHEET NUMBER

Total Sqft = 22.68'

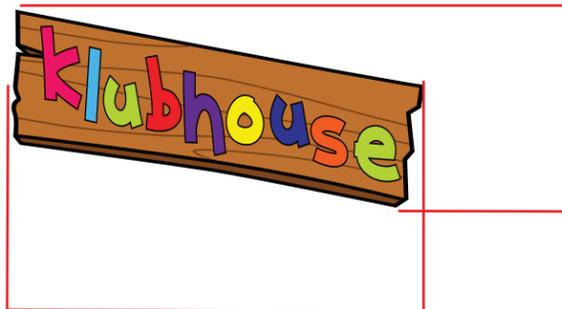
Double Sided Shaped Cabinet x 1
LED illumination
Translucent Digital Print



72"

41"

Small Single Sided Cabinet x 2
(Attached to existing pole cover
and wired LED to Cabinet)



31.5"

15"



15'

EXISTING 4" Pipe
Pole Cover & Footing

Pole Cover to match Purple Building Color
Base to be wrapped in Corrugated Metal to
match Building



* Illuminated displays will be wired for 120 volt power unless otherwise noted.
 * Cost for providing necessary electrical wiring to sign area is not included in sign proposal.

DATE: _____ SALES APPROVAL: _____

REV. #	DATE	BY	REV. #	DATE	BY

FIRM NAME / PROJECT ADDRESS

SALESPERSON J Keller

ORIGINAL DATE: _____
 ORIG. DESIGNER: J Keller
 SCALE: _____

FILE DESIGN NUMBER

SHEET NUMBER

2
1
0



COMING SOON For More Info Call
1-855-KIDZAM

01/04/2016

928-830-8996

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1
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Kidzaam
distributors

COMING SOON For More Info Call
1-855-KIDZAAM



01/13/2016

FOR LEASE
West USA
Realty
928-830-8996

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COMING SOON For More Info Call
1-855-KIDZAAM

01/13/2016



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: January 25, 2016

PROJECT NUMBER: **DR 16-002 Verde Valley Extended Stay**

The applicant is requesting approval of a Design Review application for the construction of a new two story building with eight new guest rooms.

PROJECT DATA AND FACTS:

Applicant/Agent	Bob Woods
Owner	Rudy & Michelle Stadelman
Location of Property	925 Cove Parkway
Present Zoning and Land Use	C-2 (Heavy Commercial)
Description of Applicant's Request	Verde Valley Extended Stay, 8 new guest rooms.

LAND USE:

Description and Character of Surrounding Area
The site is located on Cove Parkway, north of State Route 89A and is surrounded by a variety of commercial uses in the area. The east side of the property borders the Cottonwood City Limits and Yavapai County.
North: C-2 - Heavy Commercial – Office Building. East: Yavapai County Zoning C2-12 – Vacant land. South: C-2 – Heavy Commercial – Retail Auto repair/tire store. West (Across Cove Parkway): C-2 – Heavy Commercial – Office Building.

PROJECT PROPOSAL:

Background:

The site is vacant and undeveloped. The property owner currently owns the existing Extended Stay facility at 960 Cove Parkway, just across the street from the proposed new one. There has been enough demand for the owners to consider expanding and open another extended stay facility. This property will allow them to build a new two-story structure and provide an additional 8 hotel rooms for accommodation.

The proposed development fits within the General Plan designation for this area and the Land Use Map showing a General Commercial development.

STRUCTURE DESIGN:

Number and Proposed Use of Building (Complete Project)	1 Building for a total of 8 hotel units.
Number of Stories	2
Square Footage	4342 sq.ft. Guest rooms 180 sq.ft. Utility room 360 sq.ft. Covered sidewalk 4882 sq. ft. Total Building Area

Parking:

Each guest unit will have one (1) space, and one (1) space for employees, nine (9) required parking spaces one (1) of which must be ADA, ten (10) total spaces provided.

Lighting:

Exterior lighting as per the lighting plan dated 1-6-16 meets the lighting ordinance requirements.

Signage:

No signage has been proposed at this time.

Access:

Access will be from a shared-use driveway on Cove Parkway. The driveway will serve the proposed use and use to the north. The driveway will be shared-use driveways and are the preferred approach to access on this street.

Landscape Plan:

The landscape plan meets zoning ordinance requirements.

Utilities:

All necessary utilities are located in proximity to the site.

Architecture, Materials, Colors:

Architecture of the new building will duplicate the existing Verde Valley Extended Stay structures. The exterior finishes will be stucco walls, asphalt shingle roofing, and concrete walkways and balconies to match the existing complex. Landscaping will consist of xeriscape and will blend with existing plant materials and stone-top dressing. Color samples have been provided.

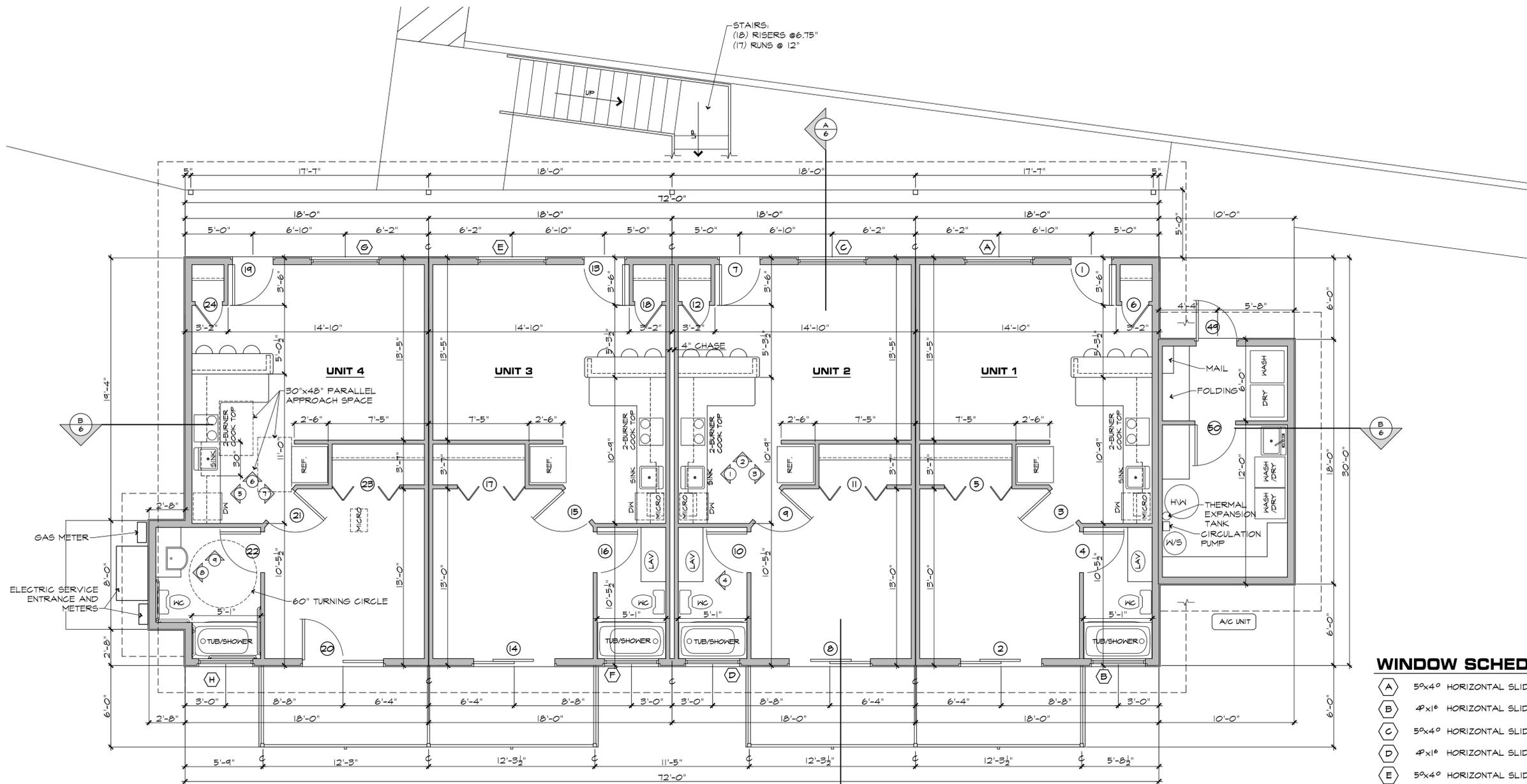
CRB Review:

This project was reviewed by the Code Review Board on December 15, 2015 for the initial approval and applicant has already met most of the requirements from staff.

STIPULATION:

Staff has reviewed this project and finds it fits within the General Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted 01/06/2016 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated December 16, 2015.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.



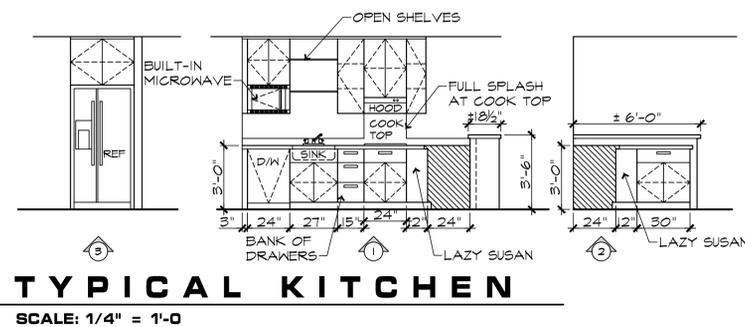
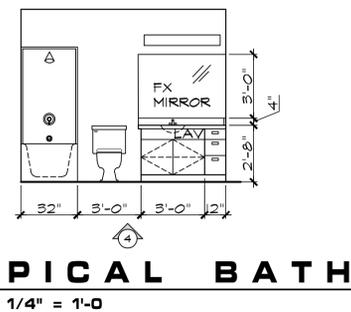
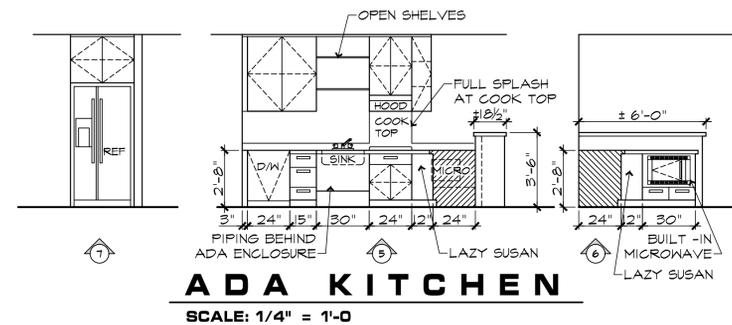
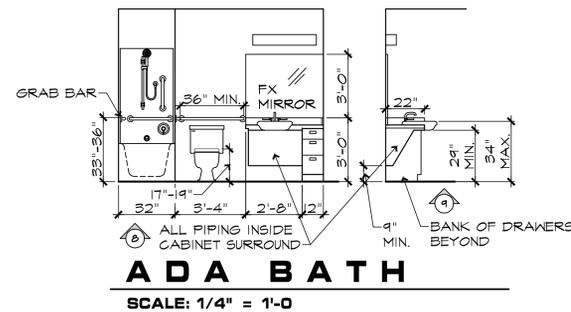
FLOOR PLAN
SCALE: 1/4" = 1'-0" FIRST FLOOR

WINDOW SCHEDULE - FIRST FLOOR

A	5'x4'° HORIZONTAL SLIDER XO
B	4'x1'° HORIZONTAL SLIDER XO - TEMPERED
C	5'x4'° HORIZONTAL SLIDER XO
D	4'x1'° HORIZONTAL SLIDER XO - TEMPERED
E	5'x4'° HORIZONTAL SLIDER XO
F	4'x1'° HORIZONTAL SLIDER XO - TEMPERED
G	5'x4'° HORIZONTAL SLIDER XO
H	4'x1'° HORIZONTAL SLIDER XO - TEMPERED

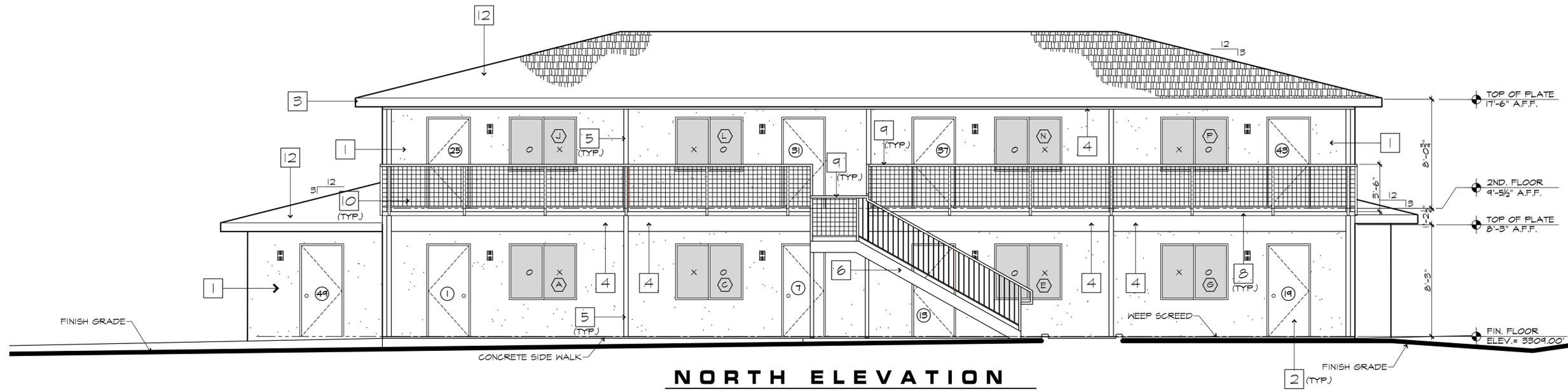
DOOR SCHEDULE - FIRST FLOOR

1	3'x6'° EXTERIOR SWINGING SOLID CORE, WOOD	ENTRY SET	15	3'x6'° EXTERIOR SWINGING SOLID CORE, WOOD	ENTRY SET
2	6'x6'° HORIZONTAL SLIDING XO	KEYED	14	6'x6'° HORIZONTAL SLIDING XO	KEYED
3	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY	15	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY
4	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY	16	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY
5	5'x6'° BI-FOLD DOORS		17	5'x6'° BI-FOLD DOORS	
6	2'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PASSAGE	18	2'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PASSAGE
7	3'x6'° EXTERIOR SWINGING SOLID CORE, WOOD	ENTRY SET	19	3'x6'° EXTERIOR SWINGING SOLID CORE, WOOD	ENTRY SET
8	6'x6'° HORIZONTAL SLIDING XO	KEYED	20	6'x6'° PAIR OF 3'x6'° EXTERIOR FRENCH DOORS	KEYED
9	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY	21	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY
10	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY	22	3'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PRIVACY
11	5'x6'° BI-FOLD DOORS		23	5'x6'° BI-FOLD DOORS	
12	2'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PASSAGE	24	2'x6'° INTERIOR SWINGING HOLLOW CORE, WOOD	PASSAGE
			49	3'x6'° EXTERIOR SWINGING METAL	KEYED
			50	3'x6'° INTERIOR SWINGING SOLID CORE, WOOD	KEYED



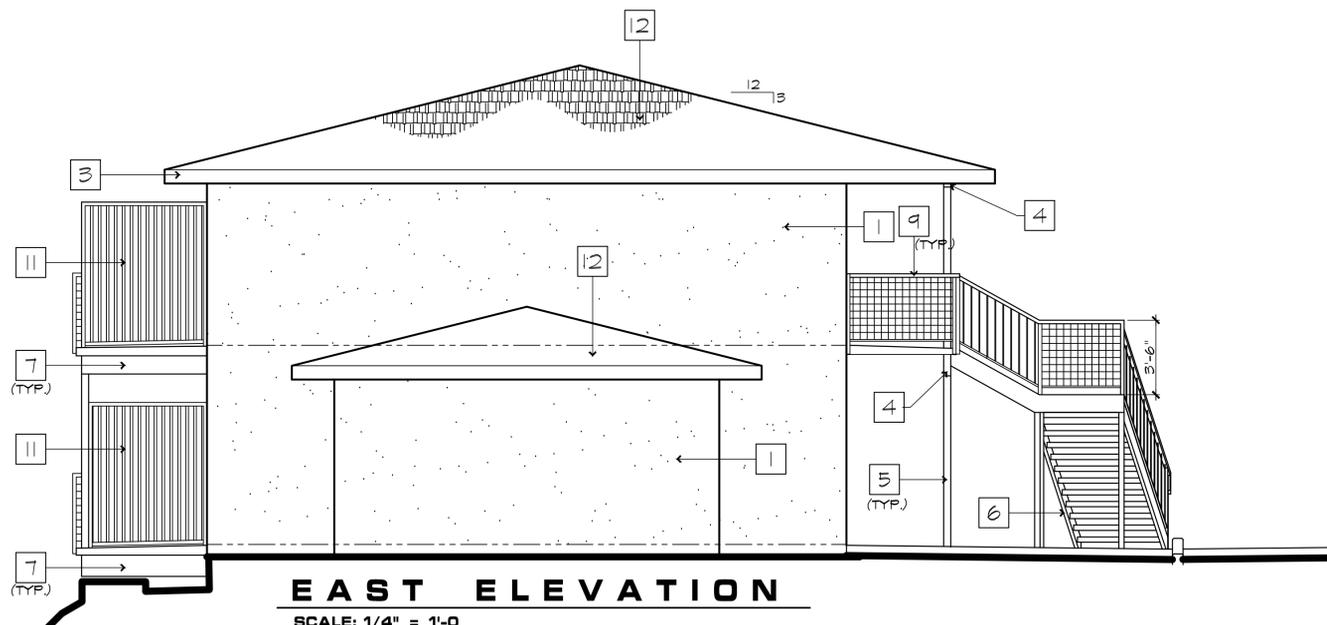
TYPICAL BATH
SCALE: 1/4" = 1'-0"

TYPICAL KITCHEN
SCALE: 1/4" = 1'-0"



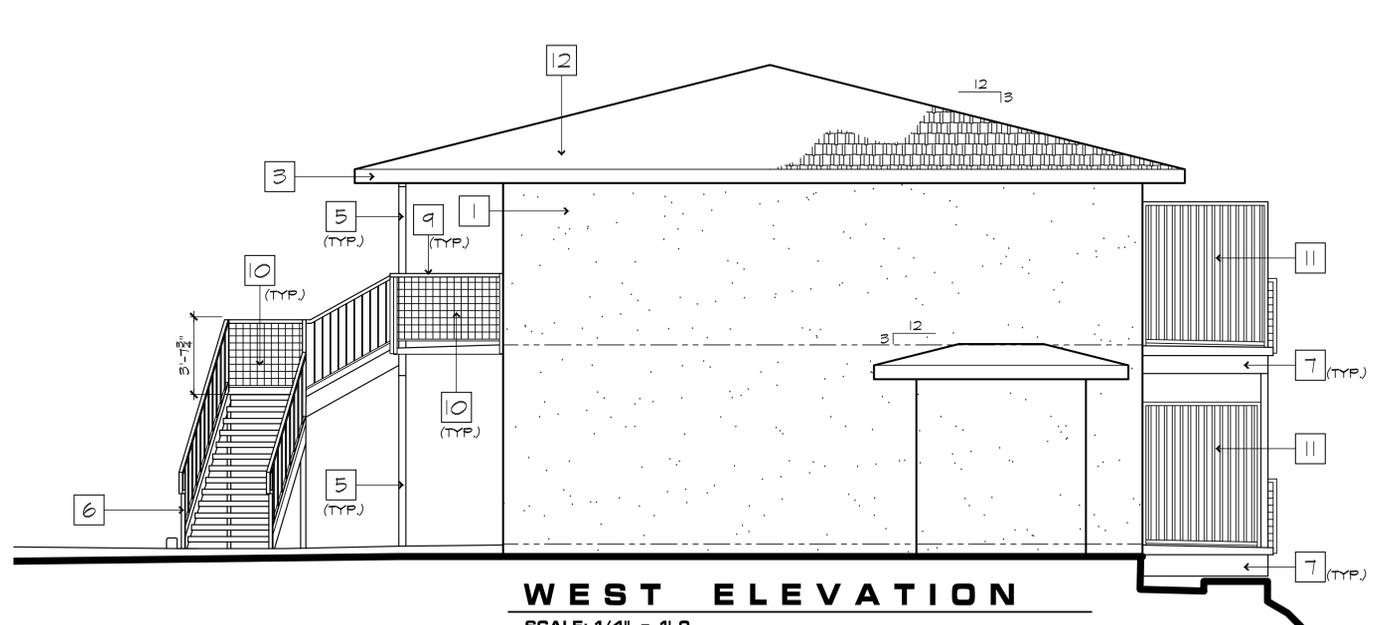
NORTH ELEVATION

SCALE: 1/4" = 1'-0"



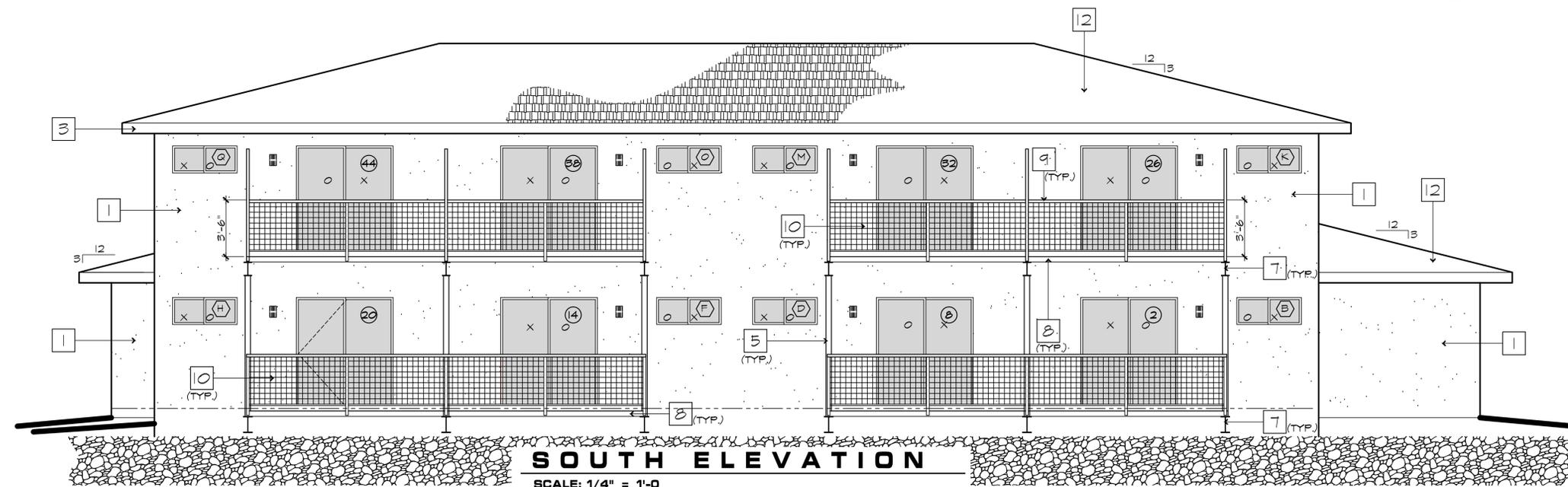
EAST ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

MATERIAL / FINISH LEGEND:

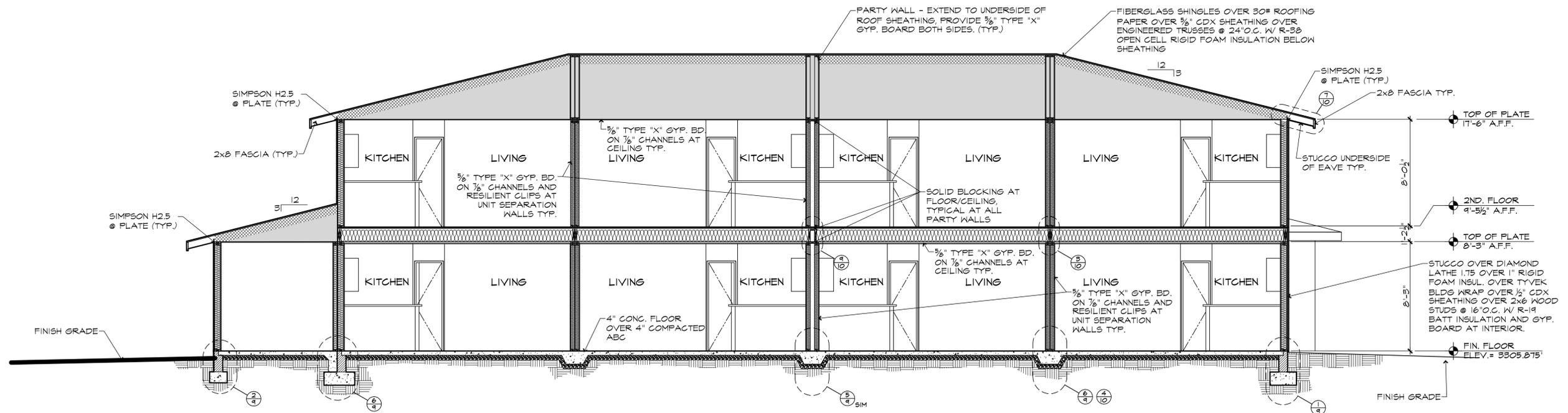
- 1 STUCCO ON WOOD STUDS
PAINT: SHERWIN/WILLIAMS "MOTH WING", SW 9174 , 249-C4
- 2 SOLID CORE WOOD DOOR
PAINT: SHERWIN/WILLIAMS "VAN DYKE BROWN", SW 7041, 149-C7
- 3 2x8 WOOD FASCIA
PAINT: SHERWIN/WILLIAMS "HEARTY ORANGE", SW 6622, 118-C6
- 4 WOOD BEAM
PAINT: SHERWIN/WILLIAMS "VAN DYKE BROWN", SW 7041, 149-C7
- 5 STEEL COLUMN
PAINT: SHERWIN/WILLIAMS "VAN DYKE BROWN", SW 7041, 149-C7
- 6 STEEL STAIR STRUCTURE
PAINT: SHERWIN/WILLIAMS "VAN DYKE BROWN", SW 7041, 149-C7
- 7 STEEL I-BEAM
PAINT: SHERWIN/WILLIAMS "VAN DYKE BROWN", SW 7041, 149-C7
- 8 STEEL ANGLE AT CONCRETE EDGE
PAINT: SHERWIN/WILLIAMS "VAN DYKE BROWN", SW 7041, 149-C7
- 9 STEEL HAND RAIL AND SUPPORTS
NATURAL PATINA - SEAL W/ CLEAR
- 10 STEEL 4" SQUARE MESH
NATURAL PATINA - SEAL W/ CLEAR
- 11 CORRUGATED STEEL PRIVACY SCREEN
NATURAL PATINA - SEAL W/ CLEAR
- 12 ROOF COVERING: OWNING/CORNING FIBERGLASS SHINGLE
TRU-DEFINITION, DURATION, DESIGNER COLOR: AGED COPPER

BOB WOODS ARCHITECT 1473 S.
GRAY BAR DRIVE
COTTONWOOD AZ. 86326
[928] 646 - 5989

VERDE VALLEY EXTENDED STAY
925 COVE PARKWAY
COTTONWOOD, ARIZONA

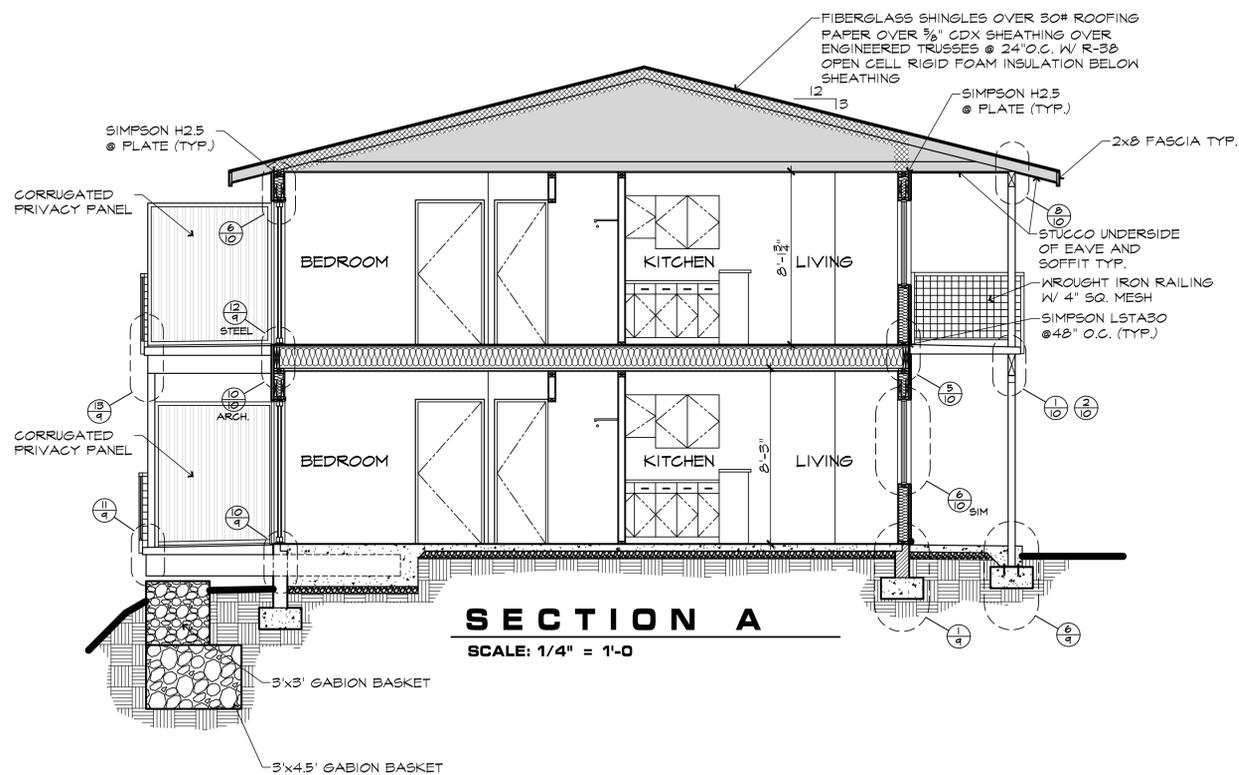
COLOR BUILDING ELEVATIONS
SCALE: 1/4" = 1'-0"
PRELIMINARY
NOT FOR CONSTRUCTION

5



SECTION B

SCALE: 1/4" = 1'-0"



SECTION A

SCALE: 1/4" = 1'-0"

BOB WOODS ARCHITECT 1473 S.

GRAY BAR DRIVE
COTTONWOOD AZ. 86326

(928) 646 - 5989

VERDE VALLEY EXTENDED STAY

925 COVE PARKWAY
COTTONWOOD, ARIZONA

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

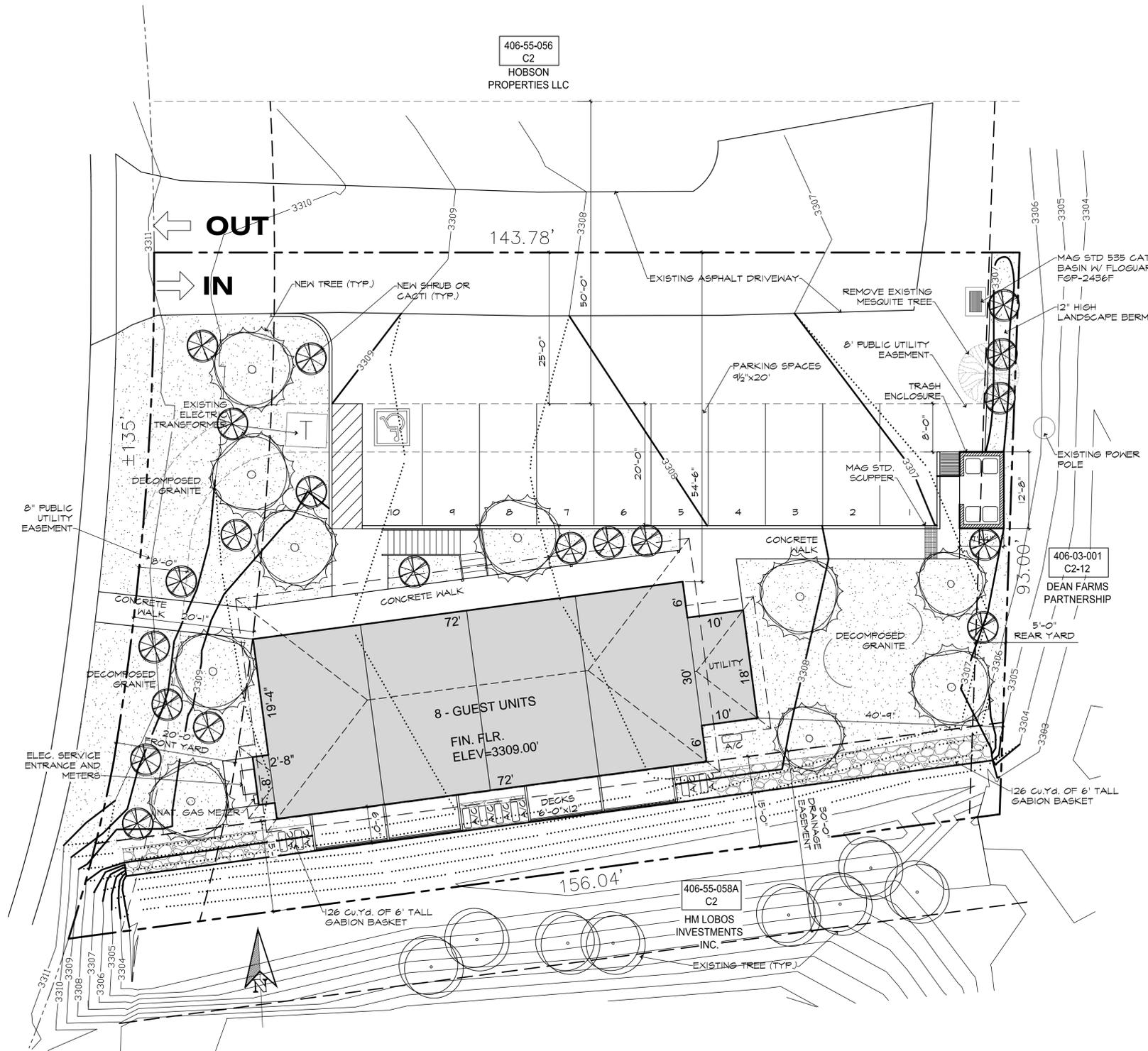
PRELIMINARY

NOT FOR CONSTRUCTION

COVE PARKWAY

406-55-003
C1
V.V. EXTENDED
STAY LLC

406-55-056
C2
HOBSON
PROPERTIES LLC



LANDSCAPE PLAN 57 COVE PARKWAY

SCALE: 1" = 10'-0"

- INDICATES REVISED CONTOUR
- INDICATES PRE-REVISION CONTOUR
- INDICATES ORIGINAL CONTOUR

OWNER

TIERRA GRANDE LLC,
723 COVE PARKWAY #A
COTTONWOOD, ARIZONA 86326

PROJECT DATA:

LOCATION: 925 COVE PARKWAY
COTTONWOOD, ARIZONA
ASSESSOR'S PARCEL NUMBER: 406-55-057
ZONING: C2
NET SITE AREA: APPROX. .36 ACRES
15,021 SQUARE FEET
CODE AUTHORITY: 2009 IBC, IPC, IMC, IFGC, 2008 NEC

LANDSCAPING REQUIREMENTS:

STREET FRONTAGE: 5 TREES, 15 SHRUBS
PARKING LOT: 1 TREE, 5 SHRUBS
BUILDING AREA: 4 TREES
TOTALS: 10 TREES, 20 SHRUBS

NEW PLANT SELECTIONS WILL DEPEND ON LOCAL AVAILABILITY AT THE TIME OF INSTALLATION, BUT SHALL LEAN HEAVILY TOWARD XERISCAPE PLANTINGS SUCH AS THE FOLLOWING:

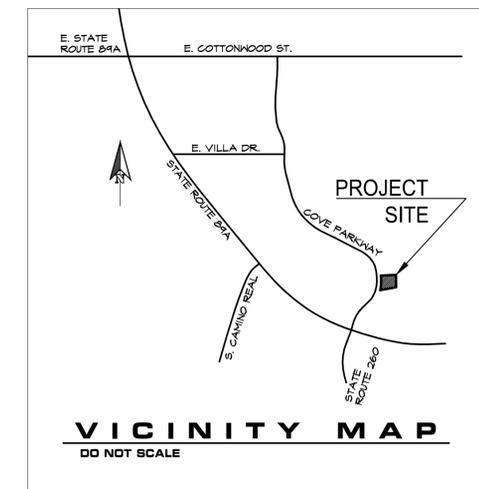
NEW SHRUBS SHALL BE A MIX OF: (1 GALLON MINIMUM)
PURPLE SAGE (RANGER AND SILVER CLOUD)
ORANGE MALLOW
RED BIRD OF PARADISE
SALVIA GREGGI
BRITTLE BUSH
LANTANA
ROSEMARY
NANDIA
CREPE MYRTLE
RUELLIA

NEW CACTI SHALL BE A MIX OF: (1 GALLON MINIMUM)
RED YUCCA
DESERT SPOON
OCTOPUS OR OTHER AGAVE

NEW TREES SHALL BE A MIX OF: (15 GALLON MINIMUM)
DESERT MUSEUM PALO VERDE
CHILEAN MESQUITE
TEXAS VELVET MESQUITE
HONEY MESQUITE
VITEX (CHASTE TREE)
SYCAMORE

AN IRRIGATION SYSTEM SHALL BE PROVIDED WITH THE INITIAL INSTALLATION OF ALL LANDSCAPE PLANT MATERIALS. THE IRRIGATION SYSTEM SHALL BE MAINTAINED UNTIL SUCH TIME AS LOW-WATER USE, DROUGHT TOLERANT PLANTS ARE SELF-SUSTAINING.

TOP DRESSING SHALL BE DECOMPOSED GRANITE.



VICINITY MAP

DO NOT SCALE

BOB WOODS ARCHITECT 1473 S.
GRAY BAR DRIVE
COTTONWOOD AZ. 86326
[928] 646 - 5989

VERDE VALLEY EXTENDED STAY
925 COVE PARKWAY
COTTONWOOD, ARIZONA

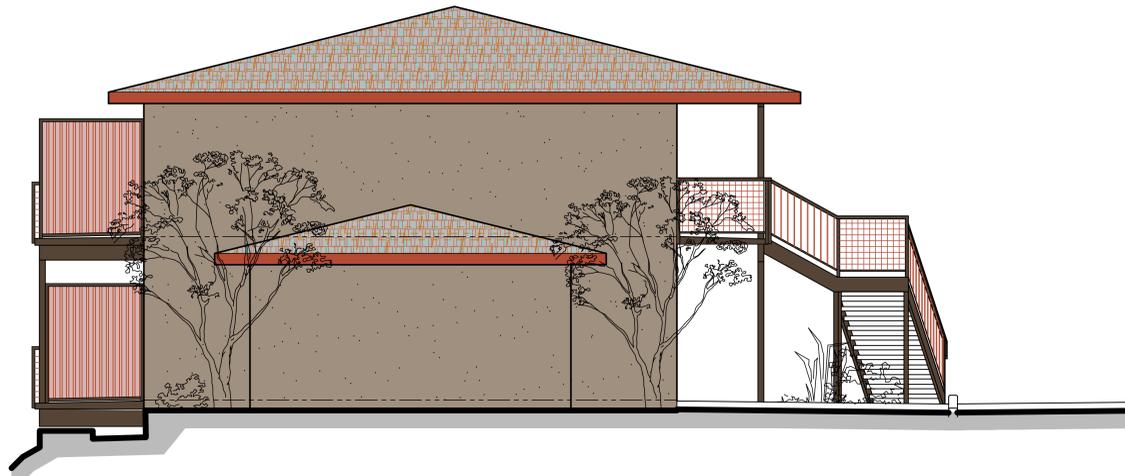
LANDSCAPE PLAN
SCALE: 1" = 20'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

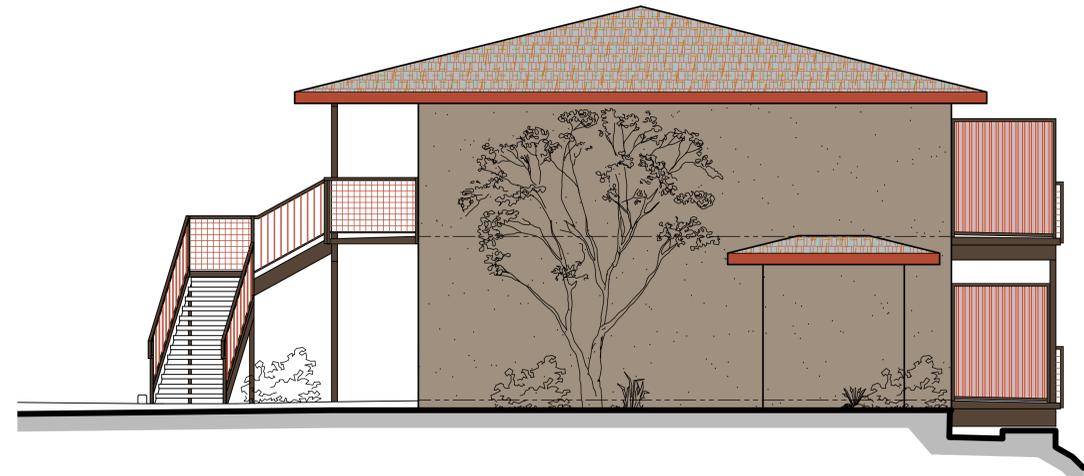
1-1



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION



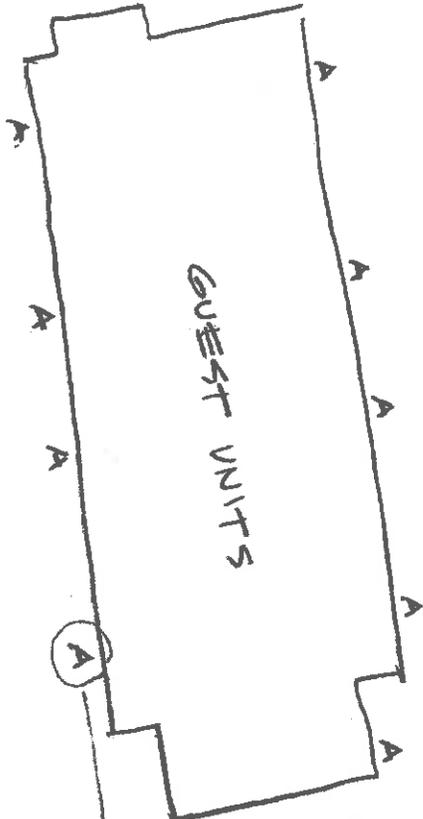
SOUTH ELEVATION

LIGHT FIXTURE A
TO MATCH EXISTING



COVE PARKWAY

SITE



PARKING

143.78'

156.04'

93'

LIGHT FIXTURE
LOCATION ON
TWO LEVELS



WORKING
NORTH



01/13/2016



01/13/2016



01/13/2016



1434

01/13/2016





960

Office



960

Office



EXTENDED
STAY

Office

960

960



VERDE VALLEY
EXTENDED
STAY
Office 928-634-8029

960



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: January 25, 2016

SUBJECT: **DR 16-004 Darby Awning**

REQUEST:

The applicant is requesting Design Review approval to place an awning on an existing building in Old Town.

Applicant:

JoAnna Darby
5354 S. Adobe Ct.
Chandler, AZ 85249

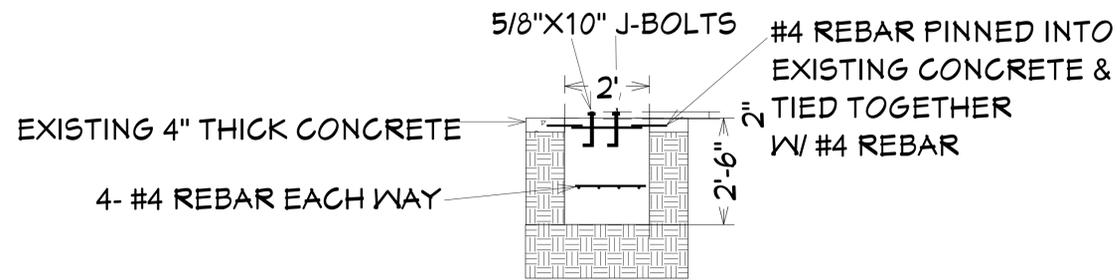
Property Owner :

Tomas & Josephine Darby
5354 S. Adobe Ct.
Chandler, AZ 85249

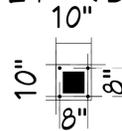
BACKGROUND:

The new property owners of 1035 N. Main Street, are looking to add an awning onto their store front in Old Town. This will create a more shaded area for customers, as well as blend with the surrounding buildings that have awnings. The applicant has been working with staff and has submitted two different awning designs.

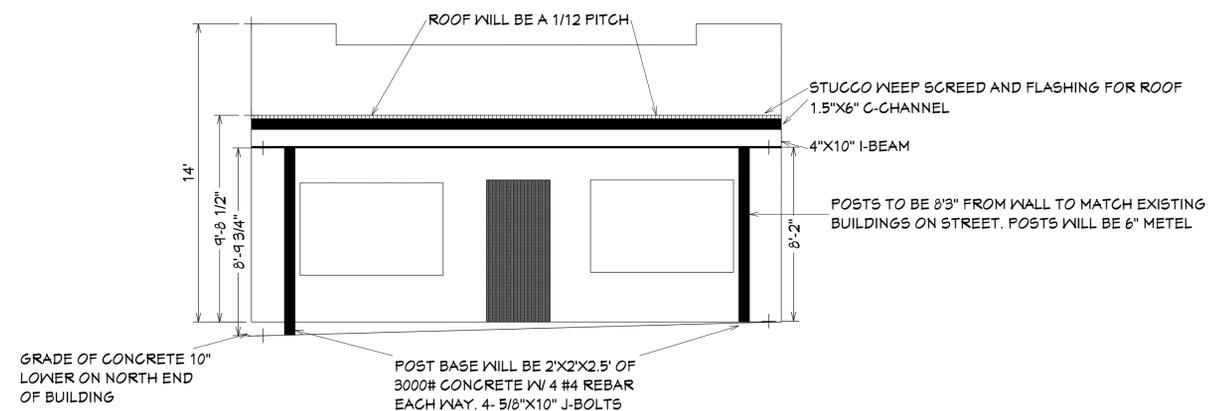
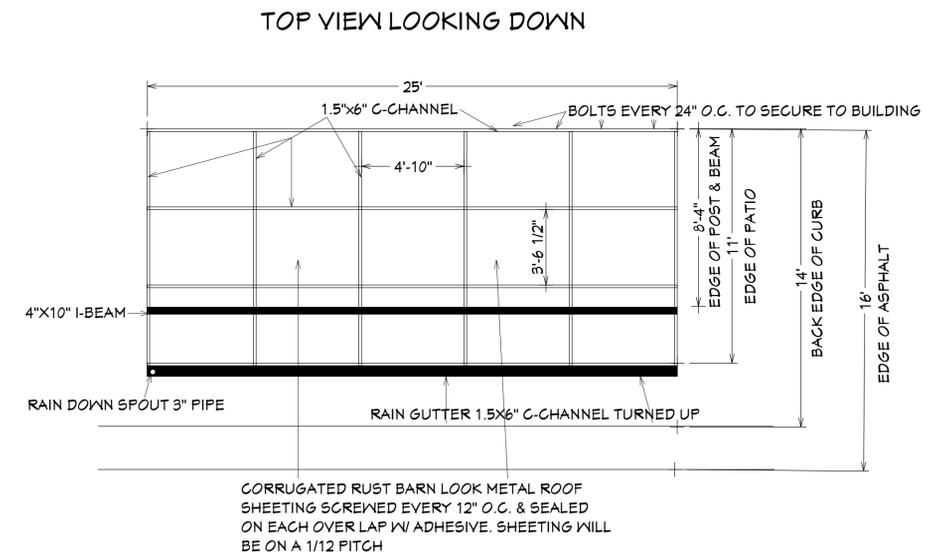
Please see attached awning designs.



4- 5/8"X10" J-BOLTS
1/2" PLATE FOR BASE PLATE



1/2"=1'
SCALE FOR DETAILS



REVISION TABLE	
NUMBER	DATE

JOANNA & TOM DARBY
1035 N. MAIN ST.
COTTONWOOD, AZ 86326
406-34-006B

DRAWINGS PROVIDED BY:
TRIPLE X CONSTRUCTION INC.
CAMP VERDE AZ 86322
(928)300-8196

DATE:

11/30/2015

SCALE:

1/4"=1'

SHEET:

1

STORE NAME

1035





BLACK CANYON
TRADING POST

1035

FANDANGO'S

01/13/2016



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: January 25, 2016

PROJECT NUMBER: PCU 16-001 T.C. Excavating

The applicant is requesting approval of a Conditional Use Permit to store construction/excavation equipment. The proposed site is located at 232 S. 6th Street, which is zoned C-1 (Light Commercial).

PROJECT DATA AND FACTS:

Applicant Agent	Krishan Ginige
Property Owner	B & B Revocable Trust
Location of Property	232 S. 6 th Street
Present Zoning and Land Use	C-1 (Light Commercial) – Construction Yard
Description of Applicant’s Request	Park and operate excavating equipment out of yard, to include large trucks, tractors, etc.

LAND USE:

Description and Character of Surrounding Area
The site is on the west side of S. 6 th Street, just south of the Cottonwood Recreation Center. The property is surrounded by a variety of uses, including residential, industrial, and commercial.

Adjacent Land Uses and Zoning	
North:	C-1 – Light Commercial – Residential Apartments
South:	I-2 – Heavy Industrial – Miscellaneous commercial/industrial business
East: Across 6th St.	C-2 – Heavy Commercial – Miscellaneous commercial business
West:	R-1 – Single Family Residential – Single Family Homes

PROJECT PROPOSAL:

Background:

Currently the site is a large, mostly open-air yard, with an office building near the front and several accessory buildings along the south property line. The front office building is currently used to store parts and tools and is not a place of public accommodation. Most of the property is undeveloped. The applicant has been using the yard for over a year to operate an excavating business and park large trucks/equipment. No excavating work is done on site. This type of use requires approval of a Conditional Use Permit, as construction yards are not considered a permitted use in the C-1 zone.

The property has had several Conditional Use Permits for the past 38 years for various types of storage use, including trash trucks, telephone repair vehicles, and a used car lot. The original Conditional Use Permit was approved in 1978 for outdoor storage use, and has had similar uses since.

A used car lot was approved by the Planning & Zoning Commission in 2009, however, the applicant never followed through with the project, therefore the permit expired and a new one now has to be sought for the current use. This also means the required improvements were never completed (landscaping, sidewalks, etc.), and have now become a part of the requirement for this project.

Staff received several complaints from neighbors related to the current use of this property (see Nuisance section).

The applicant has proposed hours of operation as follows:

6:00am to 6:00pm on weekdays

9:00am to 4:00pm on Saturdays

Occasional maintenance work to be done from 10:00am to 4:00pm, with all noise ordinance requirements to be adhered to.

The front building is not currently being used for anything other than tool and parts storage.

The General Plan Land Use Map identifies this parcel as General Commercial, the area to the south as Performance Commercial/Industrial, to the east as General Commercial, and to the west as Low Density Residential. This particular property falls just outside the Performance Commercial/Industrial area, therefore it is not in conformance with the Land Use Plan.

Parking:

Five (5) parking spaces will be provided in the front of the property, with one of them being ADA accessible. Employees, large equipment, and trucks will be parked in the rear of the property, behind the gate/fence along the front.

Lighting:

Lighting will comply with Dark Sky regulations, and additional lighting is not currently proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

Two (2) entrance/exit locations are available on either side of the property off S. 6th Street. The entrance will be at the north driveway, with a one-way drive aisle allowing traffic to proceed south to the southern driveway for exiting. Trucks coming into and out of the yard will use the north driveway.

No access to the property off of E. Beech Street will be permitted.

Landscape Plans:

A landscaping plan has been submitted that will improve the site and bring the property into current landscaping requirements as indicated in Section 407 of the Landscaping Ordinance. The applicant will be installing new landscaping to meet new and previous requirements.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on June 16, 2015 and the owner will be required to meet all conditions to continue operation of the business at this location.

REQUIRED FINDINGS:**General Findings:**

The current zoning and the Land Use designations as described in the Land Use Map does not allow the proposed use of the property as a construction equipment storage yard. However, the historic use of this property has been similar, with outdoor storage of large trucks (Taylor Waste, Qwest) going as far back as 1978, all with approval of a Conditional Use Permit.

Compatibility with Surrounding Uses:

This property sits on the boundary of several different uses, from Single Family Residential and General Commercial, to Heavy Industrial. It is a largely undeveloped property that has consistently been used as storage.

Staff indicated that the storage of materials (dirt, rocks, etc.) will create a more intense use of this property that does not qualify for a Conditional Use Permit. The storage of such materials will create a heavier industrial use. The applicant has indicated on the site plan that he does intend to store a small amount of this material on site.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property.

Infrastructure:

The property is largely undeveloped and contains a mostly dirt/gravel yard. A requirement of use will be to pave/chip-seal all areas subject to vehicular traffic. Also, the applicant will be required to upgrade the driveways and install sidewalks in front of the property along 6th Street.

Landscaping will be required along the front of the property, including between the sidewalk and property line within the city right-of-way.

Nuisance Activities:

In early 2015, staff received numerous phone calls from neighboring property owners to the west, with concerns about noise, dust, exhaust, hours of operation, and other aspects of the use. This prompted staff to review the use, the history of the property, and require the business owner to make some adjustments to the operation, and to apply for a Conditional Use Permit. Please see attached letters.

These concerns have mostly subsided over the past few months due to operational adjustments made by the business owner. The applicant will be required to make other adjustments and site improvements to further eliminate any negative affects to the neighbors.

Neighbors were also concerned with large trucks accessing the property off of Beech Street. Staff has informed the business owner that access to the property off of Beech Street will not be permitted.

Buffering and Screening:

The property is fenced on all sides and is only visible from 6th Street and Beech Street. The fencing along the west property line as seen from Beech Street needs to be replaced, including slats, to provide the required screening from the residential area. Staff also recommended planting large evergreen trees along this property line to further screen the use from the neighbors. The applicant has indicated he will not be installing any landscaping along the west side due to a 3 foot drop from the fence to the yard.

Stipulations:

Staff has reviewed this project and finds it fits with the historic use of this property as an outdoor storage yard. Staff The following stipulations should be included if the commission moves to approve this Conditional Use Permit:

1. That the project is developed in conformance with the site/landscaping plans submitted on 12-29-15 and on 01-13-16 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 06-23-15.
3. The slatted fence on the west (rear) of the property be replaced to provide screening from the neighboring single-family homes. New slats should be installed to provide a clean appearance.
4. Storage of material (dirt, rocks, etc.) will create a more intense industrial use of this property that cannot be supported by a Conditional Use Permit, and therefore is not allowed.
5. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the Planning & Zoning Commission deems necessary.



**SOUTHWESTERN
ENVIRONMENTAL
CONSULTANTS, INC.**

www.sec-landmgt.com
info@sec-landmgt.com

CORPORATE OFFICE:
20 STUTZ BEARCAT DRIVE #6
SEDONA, ARIZONA 86336
(928) 282-7787
Fax: 282-0731

BRANCH OFFICE:
825 COVE PARKWAY
COTTONWOOD, ARIZONA 86326
(928) 634-5889
Fax: 634-2222

City of Cottonwood Community Development Department
111 North Main Street,
Cottonwood, Arizona 86326
(928)634-5505

December 23, 2015

Letter of Intent, APN 406-42-101D

To whom it may concern,

We are requesting consideration of a CUP for APN 406-42-101D located at 232 South 6th Street in Cottonwood. The property was originally operated by Mountain Bell and then subsequently by Taylor Waste as an equipment storage and staging area. It is approximately 1 acre in size and has a variety of small buildings and shelters as depicted on the attached overall site exhibit. The property is currently owned by B&B Revocable Trust and leased to the applicant, Thad Card, the owner of TD Excavating. Thad has a lease with option to purchase the site.

The site is currently over 50% unpaved. Runoff from the adjoining neighborhood on the west runs through the property and onto 6th street. The site is not landscaped, the fence is in disrepair, the City sidewalk abruptly ends at the property, and the property has not been improved to any extent since it was first developed. Thad Card has been involved with the City in an attempt to rectify the above mentioned conditions and more. We have had several meetings with the City, attended a Code Review Meeting on June 23rd, and follow up meeting on November 3rd 2015. Thad wishes to continue his use of the site as an equipment storage and staging area. It has been in use for this purpose for roughly 20 years and nothing has changed to preclude its continued use for the same purpose.

After meeting with the town staff and surveying the site, we have identified several items which need to be addressed, some neglected by previous occupants and some never addressed at all. A Detention/Retention Structure is proposed which will reduce overall runoff onto 6th Street. The existing material stockpile will be reduced and concentrated to specific area. Sediment runoff control measures and dust control measures will be implemented at this location. All vehicular traveled areas will be paved or chip sealed in order to minimize dust. A drainage ditch will convey runoff from the neighborhood on the west to a stilling basin in order to reduce any sediment on 6th St. The City sidewalk will be extended along 6th street and the front of the property facing 6th St. will be landscaped. New parking will be added. The fencing will be repaired and a No-Vehicular Easement will be created in order to ensure no traffic from the property will have access to Beech Street. Hours of operation will be 6 AM-6 PM, M-F and 9-4 Sat. Occasional maintenance only work will occur Sun. 10-4. Occasional early departures and late arrivals of trucks to and from jobs will occur. Please refer overall site exhibit for proposed development information. Additional information is also provided in the Grading and Drainage



**SOUTHWESTERN
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CONSULTANTS, INC.**

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825 COVE PARKWAY
COTTONWOOD, ARIZONA 86326
(928) 634-5889
Fax: 634-2222

Plans dated 12/23/15, Drainage Report dated 12/23/15 and the Landscape Plans.

That would like a phased implementation of the proposed improvements with a timeline acceptable to the City. We hope you find the above solutions to the ongoing problems associated with this property will satisfy your goals for the property and the City of Cottonwood. We would be thankful if you consider this application favorably. Please feel free to contact us if you need additional information or clarification.

Sincerely,

G. Krishan Ginige

THAD CARD EXCAVATING GRADING AND DRAINAGE PLANS

LOCATED IN NE1/4, SW1/4, SW1/4, SECTION 34, T16N, R3E
GILA & SALT RIVER MERIDIAN, ARIZONA
PARCEL 406-42-101D

OWNER/DEVELOPER
THAD CARD EXCAVATING
232 SOUTH 6TH STREET
COTTONWOOD, AZ 86326
928 634-0947

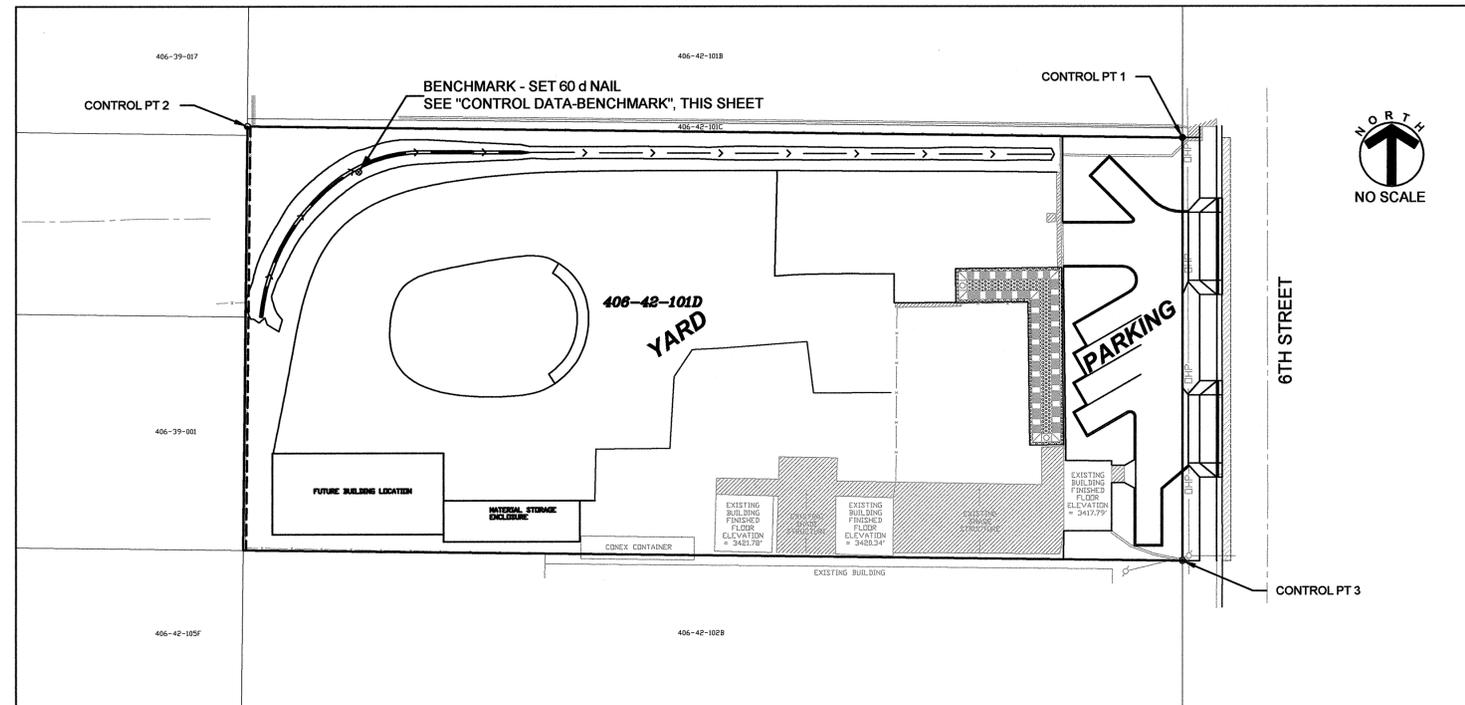
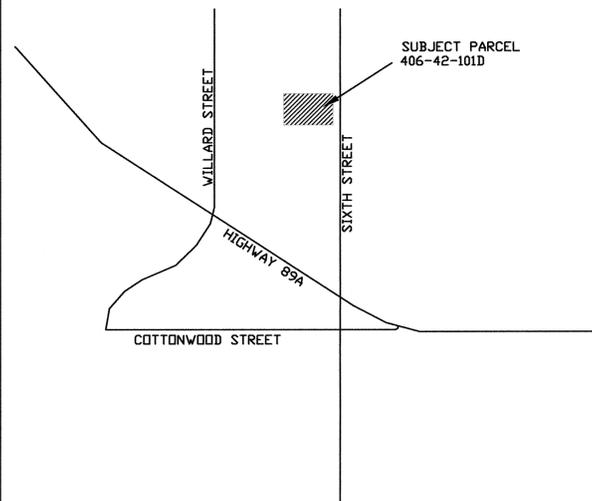
LAND PLANNERS/ENGINEERS/SURVEYORS:
SEC, INC.
825 COVE PKWY, SUITE A
COTTONWOOD, ARIZONA 86326
(928) 634-5889 FAX: (928) 634-2222
REGISTRATION NUMBERS: P.E. 49109
R.L.S. 40829

LANDSCAPE ARCHITECT:
STEVE BIASINI
735 SOUTH 3RD STREET
WILLIAMS, AZ 86046
928 202-2029 sjbiasini@gmail.com

UTILITIES FURNISHED BY:
ELECTRIC - ARIZONA PUBLIC SERVICE
TELEPHONE - QWEST COMMUNICATIONS
GAS - UNISOURCE
EMERGENCY SERVICES - CITY OF COTTONWOOD FIRE DEPARTMENT
SOLID WASTE COLLECTION - TAYLOR WASTE
WATER - CITY OF COTTONWOOD MUNICIPAL WATER UTILITY
SEWER - CITY OF COTTONWOOD UTILITIES DEPARTMENT

VICINITY MAP

NO SCALE



NO SCALE

LEGEND

- EXISTING CONCRETE
- EXISTING GROUND
- EXISTING PAVEMENT
- PROPOSED CHIP SEALED AB
- PROPOSED SEDIMENT DITCH
- PROPOSED LANDSCAPING
- PROPOSED PAVEMENT
- LEACH ROCK
- PERFORATED CMP
- INDICATES WIRE FENCE
- INDICATES OVERHEAD ELECTRIC LINES
- INDICATES ELEVATION CONTOUR
- INDICATES ELECTRIC BOX
- INDICATES UTILITY POLE
- INDICATES CLEANOUT
- INDICATES WATER METER
- INDICATES IRRIGATION CONTROL VALVE
- INDICATES FIRE HYDRANT
- INDICATES PHONE / CABLE TV RISER
- INDICATES GAS METER
- INDICATES MANHOLE
- INDICATES BOLLARD
- INDICATES KEYPAD
- EXISTING BLOCK WALL
- FUTURE CONTAINMENT BLOCK WALL

SHEET INDEX

SHEET	TITLE
1	COVER SHEET. SURVEY CONTROL. LEGEND.
2	NOTES 1
3	NOTES 2
4	YARD
5	PARKING LOT
6	DETAILS 1
7	DETAILS 2
8	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

ESTIMATE OF QUANTITIES*
CUT 217 CY
FILL 50 CY
NET 167 CY CUT

*SEE GENERAL NOTES # 1.4

CONTROL DATA-BENCHMARK

ARIZONA STATE PLANE COORDINATE SYSTEM,
CENTRAL ZONE COORDINATES
GRID NORTH: 1358881.7470 U.S. SURVEY FEET
GRID EAST: 667809.5860 U.S. SURVEY FEET

NAD 83
LATITUDE: 34°44'06.15064"N
LONGITUDE: 112°01'25.76068"W
SOURCE DATA FOR THESE COORDINATES IS BASED
ON DPUS (ONLINE POSITIONING USER SERVICE)
CALCULATIONS WITH A SCALE FACTOR OF
0.99974124, RECEIVED FROM DPUS
MAY 14, 2015

ELEVATION: 3427.98'
DNAVD88 (Computed using GEOID12B)

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CONTROL POINT 1	1358893.6870	668100.3760	3416.09	1/2" REBAR LS25384
CONTROL POINT 2	1358897.8608	667770.3256	3430.66	CONCRETE NAIL LS25384
CONTROL POINT 3	1358744.5170	668100/3860	3415.59	1/2" REBAR NO CAP OR TAG

CALL TWO WORKING DAYS
BEFORE YOU DIG
1-800-STAKE-IT
1-800-782-5348
Blue Stake Center
(OUTSIDE MARICOPA COUNTY)

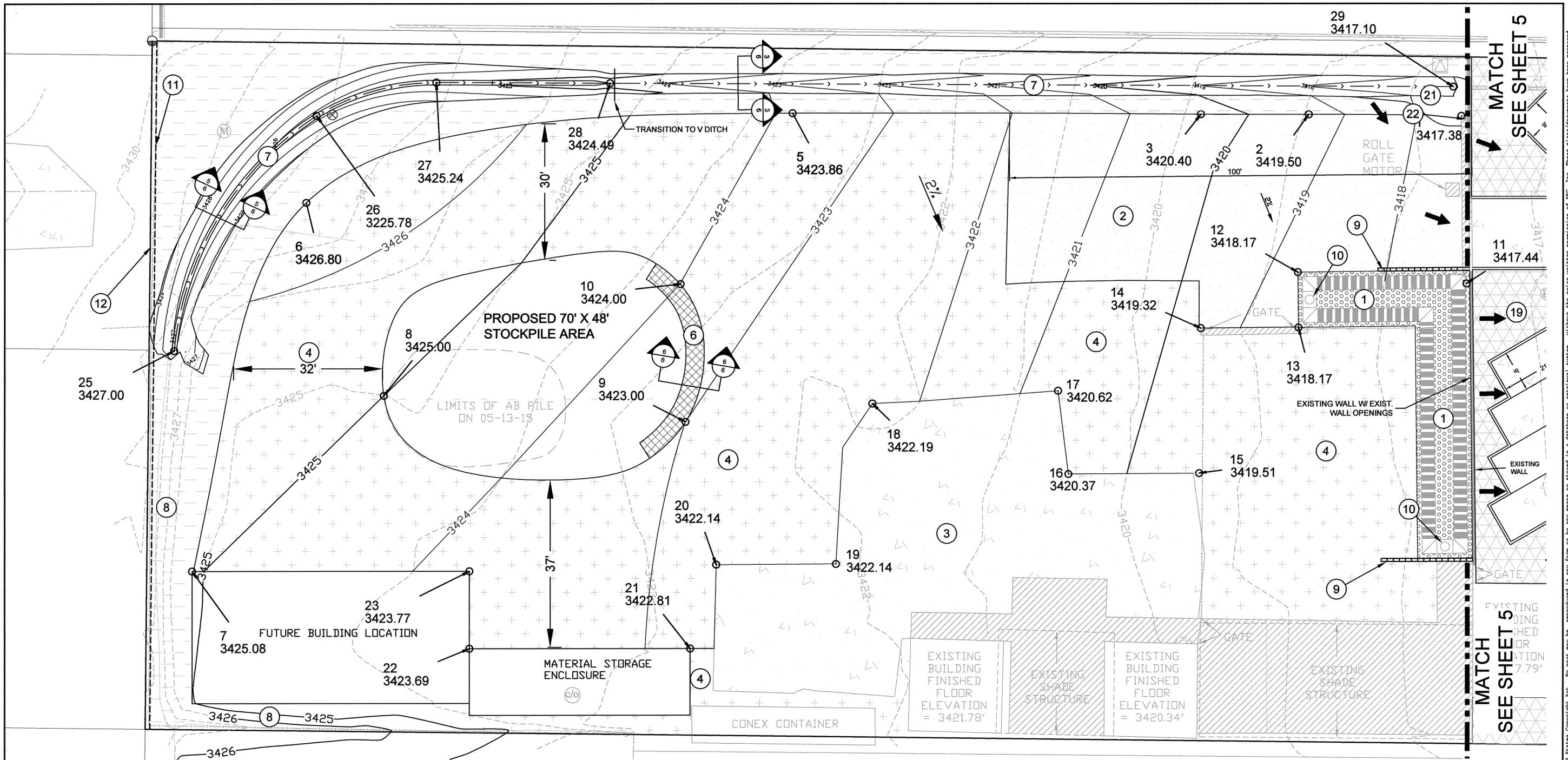


NOT FOR CONSTRUCTION. FOR REVIEW ONLY

THAD CARD EXCAVATING GRADING & DRAINAGE PLANS

COVER SURVEY CONTROL LEGEND

 20 STUTZ BEARCAT # 6 SEDONA ARIZONA 86336 (928) 282-7787	DATE 12/23/2015	DRAWN SB/BC	SHEET 1 OF 8
	SCALE AS SHOWN	CHECKED KG	PROJECT NO. 15-0507CS



- ① RETENTION/DET. STRUCTURE PER DETAILS 1 & 2, SHEET 6. PROTECT WALL DURING CONSTRUCTION.
- ② NEW PAVEMENT 3" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COARSE EXTEND 100' FROM ENTRANCE
- ③ EXISTING PAVEMENT
- ④ CHIP SEALED AB
- ⑤ CITY RDW
- ⑥ EROSION & SEDIMENT CONTAINMENT DITCH. SEE DETAIL 6, SHEET 6
- ⑦ DRAINAGE DITCH. SEE DETAIL 3 & 5, SHEET 6
- ⑧ PROTECT BANK WITH VEGETATION
- ⑨ CMU CONTAINMENT WALL. TOP OF WALL EL=3418.17 - EXTEND TO MEET GRADE. SEE DETAIL 2, SHEET 6
- ⑩ RETENTION STRUCTURE CLEANDOUT. SEE DETAIL 4, SHEET 6
- ⑪ PROPOSED 1' VEHICULAR NON-ACCESS EASEMENT ALONG WEST PROPERTY LINE
- ⑫ REPAIR EXISTING CHAIN LINK FENCE & SLATS
- ⑬ NEW ADDIT C.05-20 DRIVEWAY. SEE DETAILS SHEET 7

- ⑭ NEW 6' SIDEWALK PER MAG 230 DETAIL SHEET 7.
- ⑮ SAWCUT & REMOVE ALL EXISTING ASPHALT WITHIN CITY RDW.
- ⑯ REMOVE & REPLACE 3' WIDE SECTION OF ASPHALT IN 6TH ST. ADJACENT TO PARCEL.
- ⑰ REMOVE AND REPLACE ANY DAMAGED CURB ADJACENT TO PARCEL.
- ⑱ PARKING STALLS @ 30 DEG - 21'-10" X 9'
- ⑲ CUT EXISTING PAVEMENT AND INSTALL LANDSCAPING PER LANDSCAPING PLANS
- ⑳ PROPOSED VERTICAL CURB PER MSD 220-1
- ㉑ STILLING BASIN
- ㉒ DRAINAGE FLOWS THROUGH EXISTING WALL OPENINGS

GRADING POINTS

Number	Northing	Easting	Elevation
1	1358881.4269	668055.8518	3417.38
2	1358881.7409	668022.5103	3419.50
3	1358881.7938	667998.9764	3420.40
4	1358882.0379	667954.4907	3422.13
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7	1358782.6115	667779.0570	3425.08
8	1358820.7301	667820.8168	3425.00
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10	1358844.9498	667885.4841	3424.00
11	1358844.9810	668057.0105	3417.44
12	1358847.4749	668020.1558	3418.36
13	1358835.4756	668020.2949	3418.30
14	1358835.3470	667998.9560	3419.32
15	1358803.8337	667998.6260	3419.51
16	1358803.6670	667970.0960	3420.37
17	1358821.7570	667967.8260	3420.62
18	1358818.9770	667927.3160	3422.19
19	1358784.1370	667919.3960	3422.14
20	1358783.9970	667893.2960	3422.14
21	1358765.7873	667887.6122	3422.81
22	1358765.7873	667839.4854	3423.69
23	1358782.6115	667839.4854	3423.77
25	1358830.5044	667775.1113	3427.00
26	1358881.5161	667806.1230	3225.78
27	1358888.7465	667832.2425	3425.24
28	1358888.5803	667870.0973	3424.49
29	1358887.7725	668054.0864	3417.10



0 5 10 20
HORIZONTAL SCALE IN FEET
VERTICAL SCALE: 1" = 10'



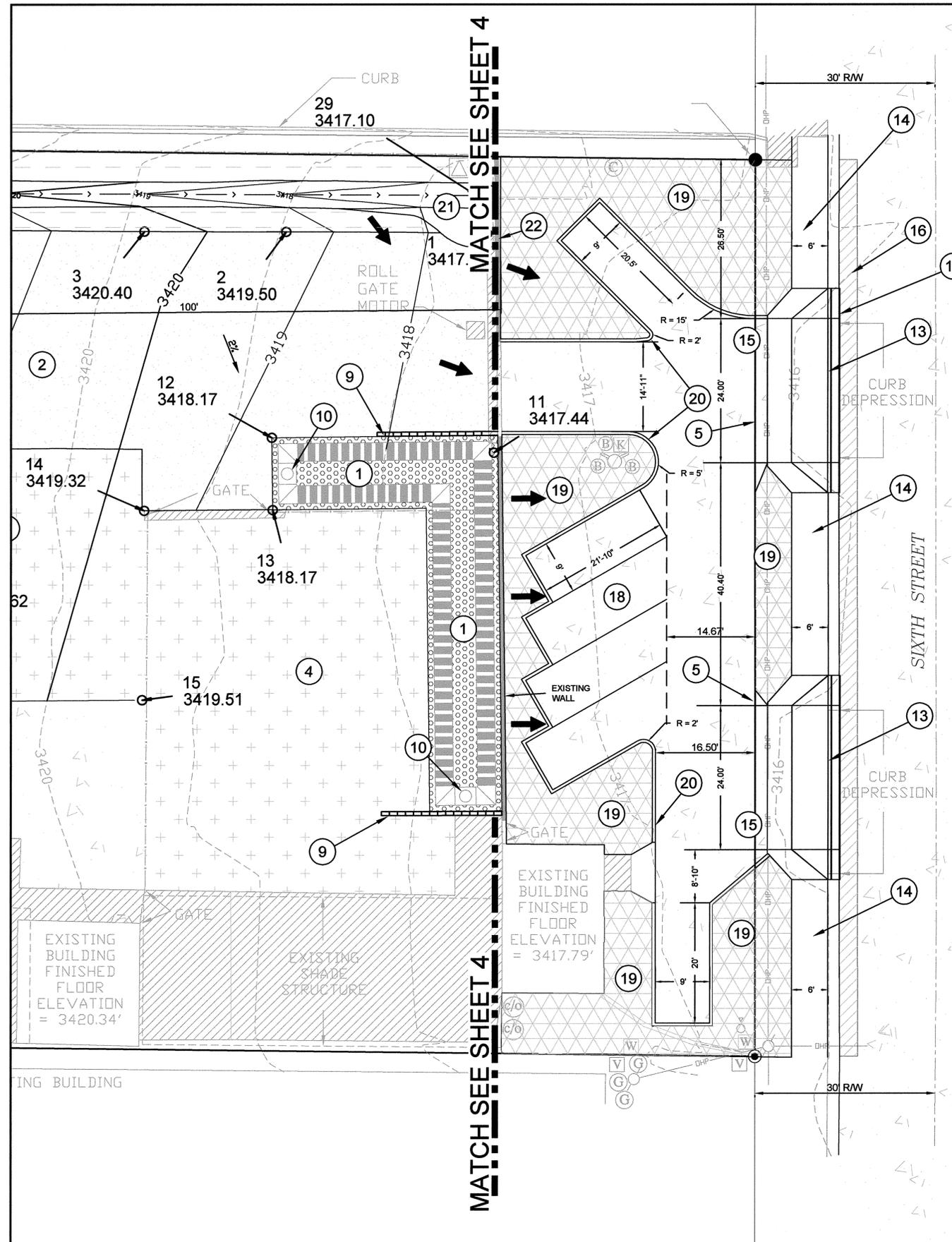
NOT FOR CONSTRUCTION. FOR REVIEW ONLY
**THAD CARD EXCAVATING
GRADING & DRAINAGE PLANS**



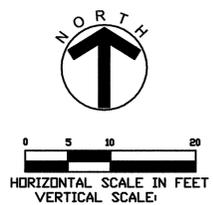
20 STUTZ BEARCAT # 6
SEDONA ARIZONA 86336
(928) 282-7787

YARD		
DATE 12/23/2015	DRAWN SB/BC	SHEET 4 OF 8
SCALE 1" = 10'	CHECKED KG	PROJECT NO. 15-0507CS

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- ① RETENTION/DET. STRUCTURE PER DETAILS 1 & 2, SHEET 6. PROTECT WALL DURING CONSTRUCTION.
- ② NEW PAVEMENT 3" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COARSE EXTEND 100' FROM ENTRANCE
- ③ EXISTING PAVEMENT
- ④ CHIP SEALED AB
- ⑤ CITY ROW
- ⑥ EROSION & SEDIMENT CONTAINMENT DITCH. SEE DETAIL 6, SHEET 6
- ⑦ DRAINAGE DITCH. SEE DETAIL 3 & 5, SHEET 6
- ⑧ PROTECT BANK WITH VEGETATION
- ⑨ CMU CONTAINMENT WALL. TOP OF WALL EL=3418.17 - EXTEND TO MEET GRADE. SEE DETAIL 2, SHEET 6
- ⑩ RETENTION STRUCTURE CLEANOUT. SEE DETAIL 4, SHEET 6
- ⑪ PROPOSED 1' VEHICULAR NON-ACCESS EASEMENT ALONG WEST PROPERTY LINE
- ⑫ REPAIR EXISTING CHAIN LINK FENCE & SLATS
- ⑬ NEW ADOT C.05-20 DRIVEWAY. SEE DETAILS SHEET 7
- ⑭ NEW 6' SIDEWALK PER MAG 230 DETAIL SHEET 7.
- ⑮ SAWCUT & REMOVE ALL EXISTING ASPHALT WITHIN CITY ROW.
- ⑯ REMOVE & REPLACE 3' WIDE SECTION OF ASPHALT IN 6TH ST. ADJACENT TO PARCEL.
- ⑰ REMOVE AND REPLACE ANY DAMAGED CURB ADJACENT TO PARCEL.
- ⑱ PARKING STALLS @ 30 DEG - 21'-10" X 9'
- ⑲ CUT EXISTING PAVEMENT AND INSTALL LANDSCAPING PER LANDSCAPING PLANS
- ⑳ PROPOSED VERTICAL CURB PER MSD 220-1
- ㉑ STILLING BASIN
- ㉒ DRAINAGE FLOWS THROUGH EXISTING WALL OPENINGS



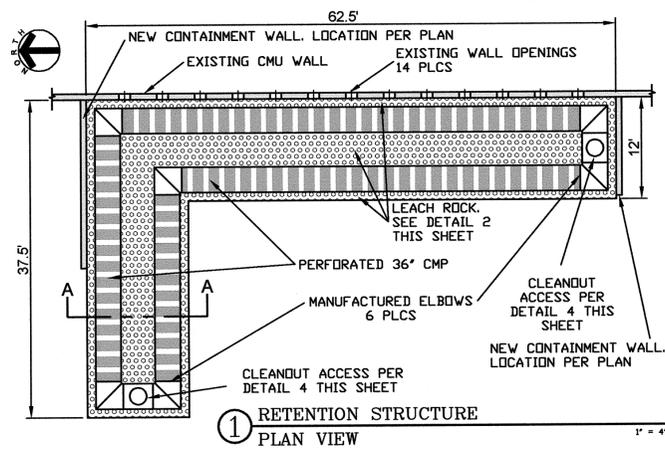
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**THAD CARD EXCAVATING
GRADING & DRAINAGE PLANS**

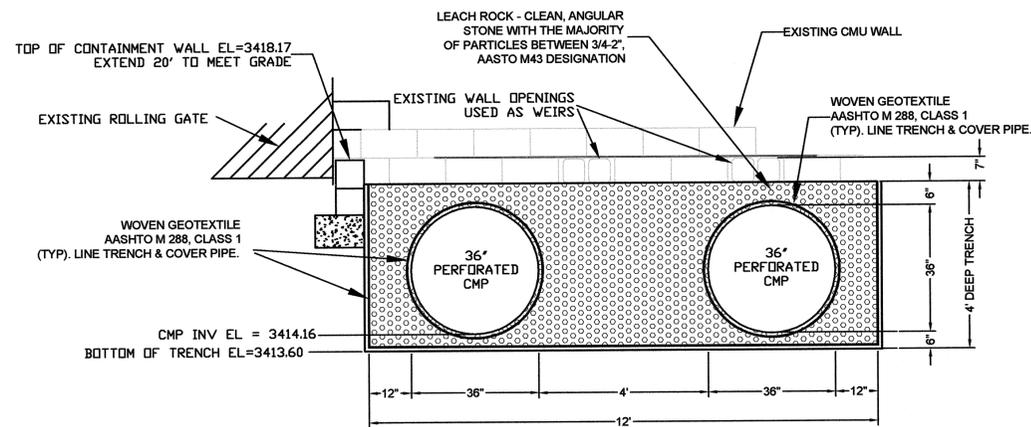
PARKING LOT		
DATE 12/23/2015	DRAWN SB/BC	SHEET 5 OF 8
SCALE 1" = 10'	CHECKED KG	PROJECT NO. 15-0507CS

SEC
Inc.
20 STUTZ BEARCAT # 6
SEDONA ARIZONA 86336
(928) 282-7787

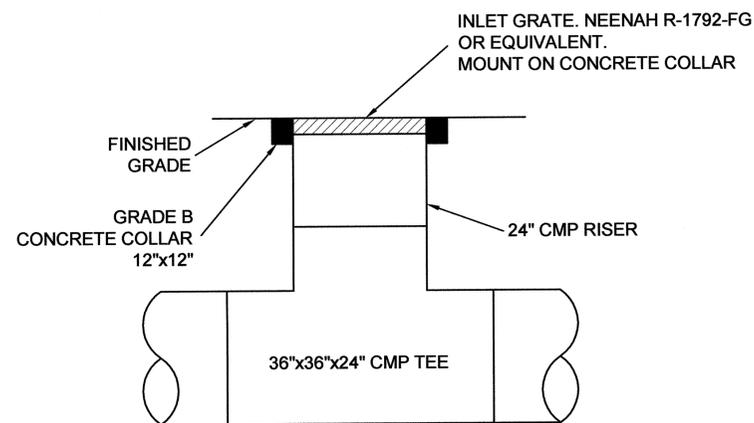
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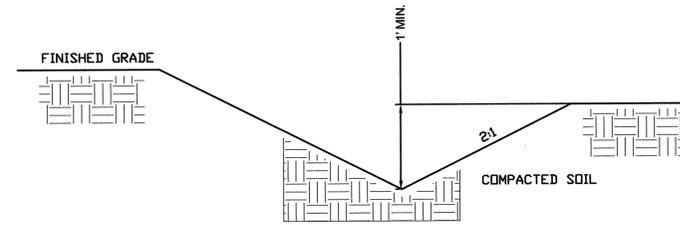
① RETENTION STRUCTURE
PLAN VIEW



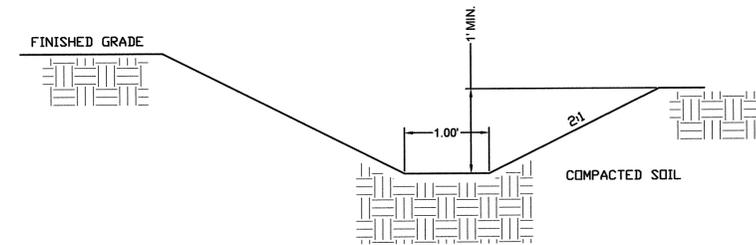
② RETENTION STRUCTURE
SECT. A-A



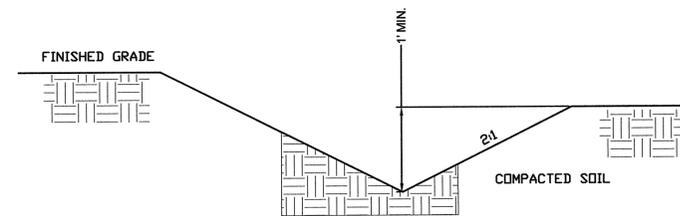
④ RETENTION STRUCTURE
CLEANOUT ACCESS



③ DRAINAGE DITCH
NORTH PROPERTY LINE



⑤ DRAINAGE DITCH
WEST PROPERTY LINE



⑥ EROSION & SEDIMENT CONTAINMENT DITCH
STOCKPILE AREA



NOT FOR CONSTRUCTION. FOR REVIEW ONLY

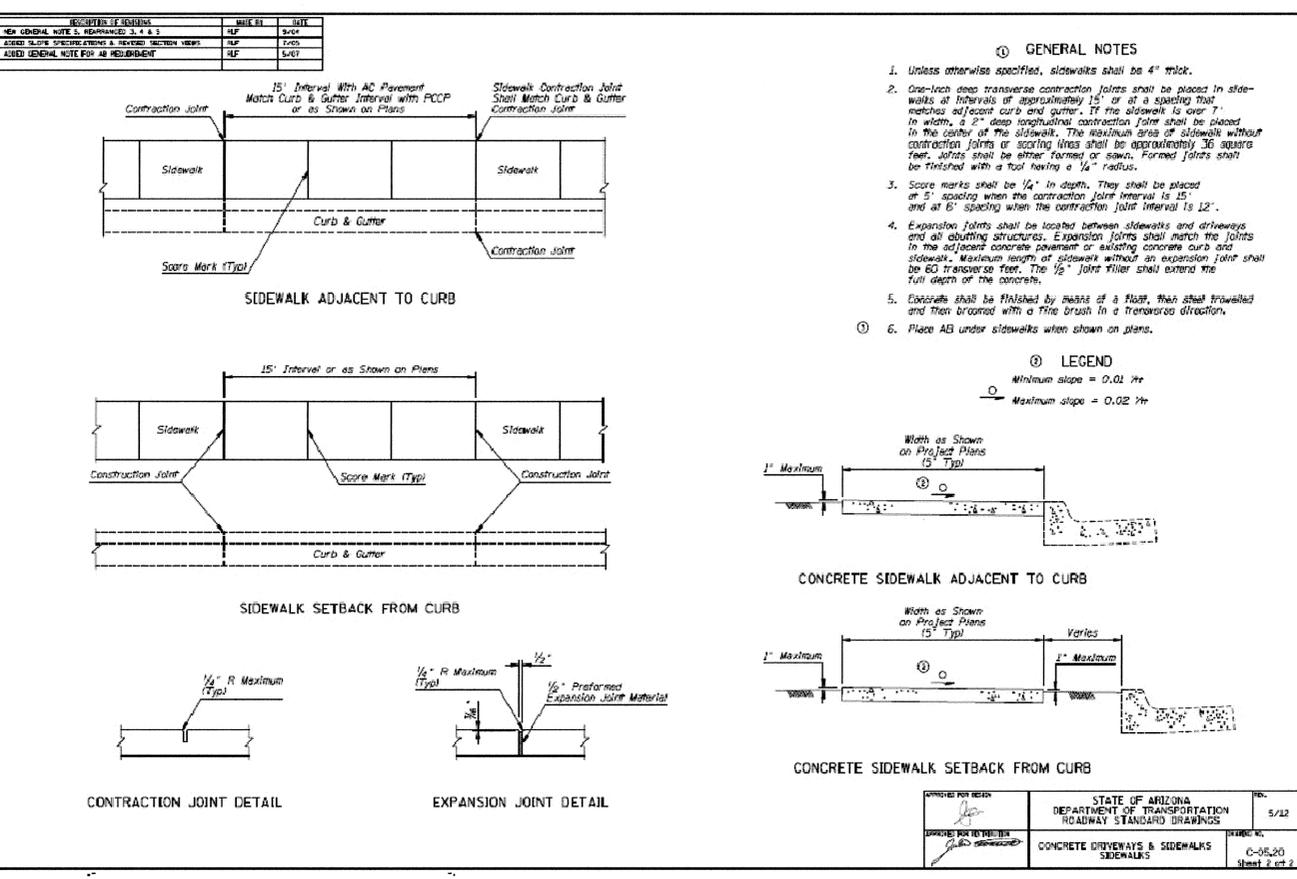
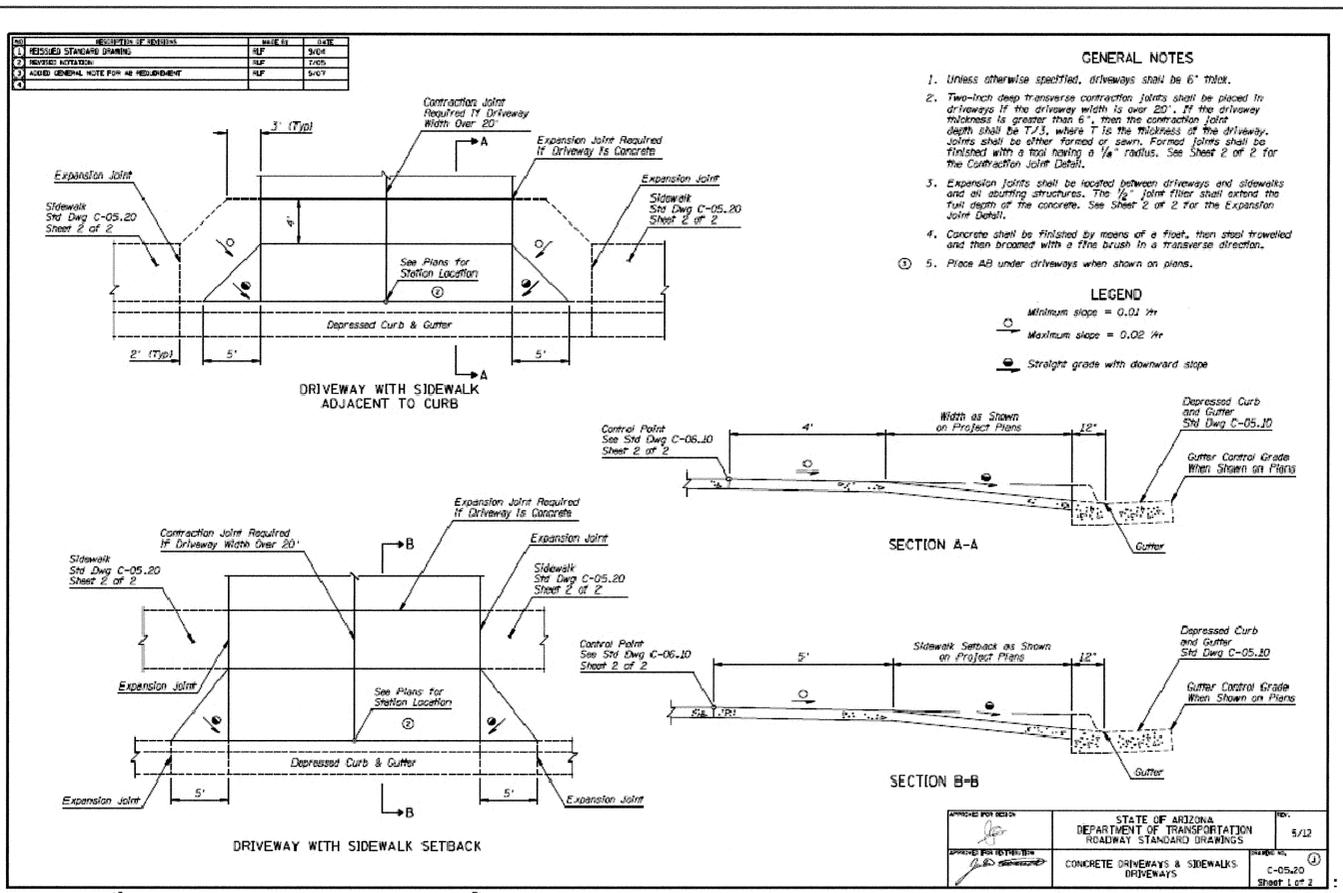
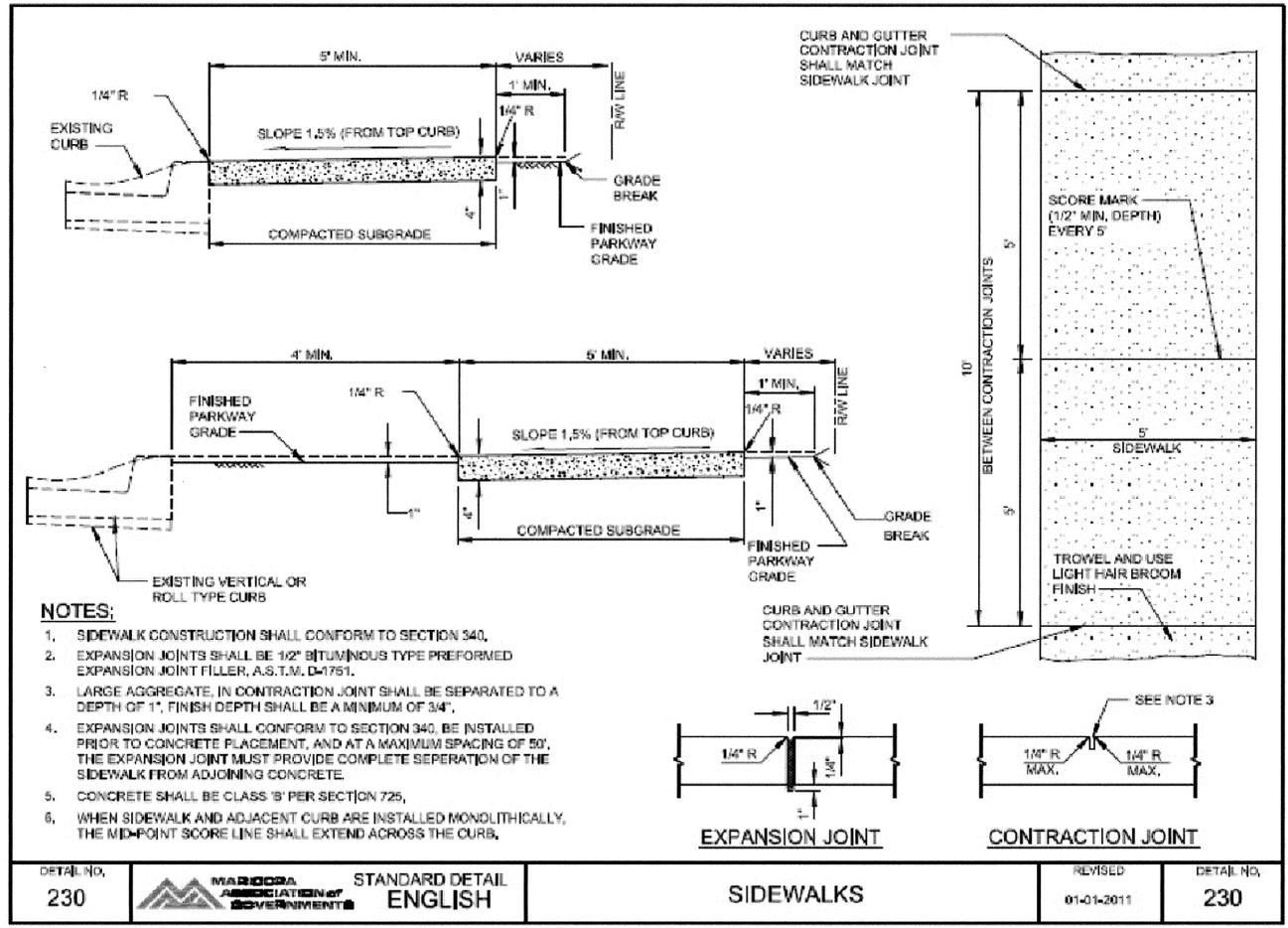
THAD CARD EXCAVATING
GRADING & DRAINAGE PLANS



20 STUTZ BEARCAT # 6
SEDONA ARIZONA 86336
(928) 282-7787

DETAILS 1		
DATE	DRAWN	SHEET
12/23/2015	SB/BC	6 OF 8
SCALE	CHECKED	PROJECT NO.
NTS	KG	15-0507CS

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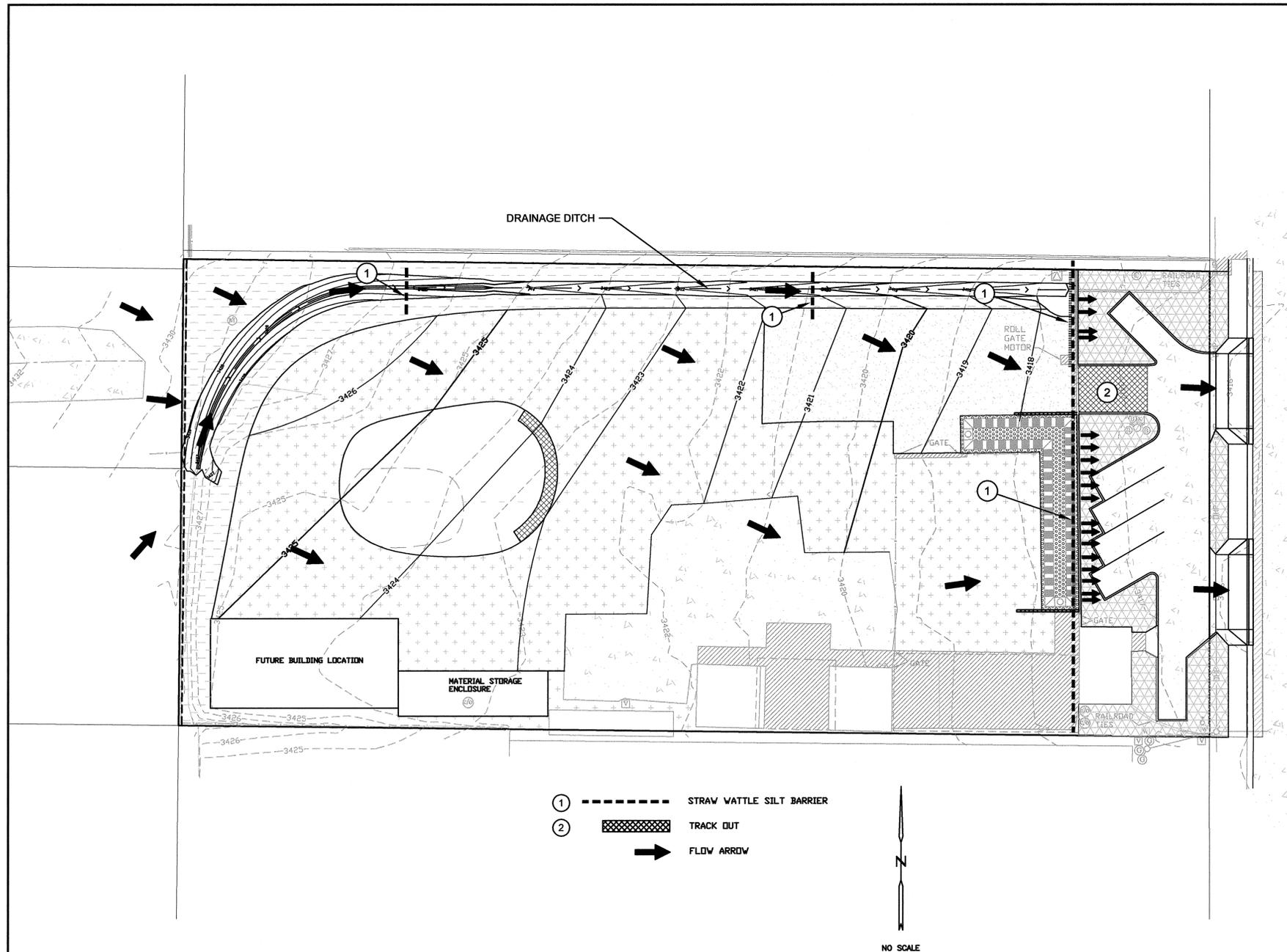
NOT FOR CONSTRUCTION. FOR REVIEW ONLY

THAD CARD EXCAVATING GRADING & DRAINAGE PLANS

DETAILS 2

DATE	DRAWN	SHEET
12/23/2015	SB/BC	7 OF 8
SCALE	CHECKED	PROJECT NO.
NTS	KG	15-0507CS

20 STUTZ BEARCAT # 6
SEDONA ARIZONA 86336
(928) 282-7787



- ① - - - - - STRAW WATTLE SILT BARRIER
- ② [Cross-hatched] TRACK OUT
- [Arrow] FLOW ARROW



- NOTES:**
- The SWPPP is intended to be a dynamic plan that can be revised either as a result of unanticipated conditions during design or as a result of changing conditions in the field. Making changes to the plan where it is not effective is a requirement of the NPDES permit. Any changes to the plan shall be noted and dated on the plan.
 - Limit land disturbance and preserve existing vegetation. Sensitivity to the environment during construction is a defining factor in preserving natural vegetation. The extent of the cut and fill slopes should be field surveyed and staked prior to construction to define all areas that require grading. Areas outside these limits should be protected from all construction activities. Trees that lie within transition areas of significant cut or fill and outside required clear-zone distances shall be flagged and/or fenced for protection. Existing trees at or near the toe of fill slopes shall be saved with protective tree wells.
 - Minimize soil exposure and revegetate denuded areas. Try to schedule construction to coincide with the dry season of the site's location. Limit the size of the exposed area and amount of time it is exposed. Under the EPA's General Permit all bare ground shall be seeded within 14 days after grading is finished with some exceptions.
 - Protect fill slopes from roadway runoff. Drown drains and riprap protection have been called out on the plan as needed. The contractor should monitor slopes to ensure adequate protection is provided throughout the construction activities.
 - Prevent erosion in areas where runoff concentrates. Contractor shall provide protection of all ditches, open channels, culvert and channel outlets as shown on the construction plan.
 - Trap sediment before it leaves the site. It is preferable to provide erosion control instead of sediment control where practicable. It is important that regular maintenance of any sediment trapping is conducted on a regular basis in order for it to operate effectively. This includes removing accumulations of sediment and making necessary repairs and adjustments. Temporary sediment barriers should be placed around catch basin inlets during construction to trap sediment before it enters the inlet. Sediment trapping is necessary at soil stockpiles and these stockpiles should be located above and away from streams, washes and swales to prevent them from being washed downstream. A stabilized construction entrance should be provided to remove sediment from the tires of the vehicles before they leave the site.
 - As needed a spill containment area should be provided at the job site for storing chemicals, fuels, paints and other materials. This area will prevent chemicals from mixing with storm water and discharging into streams and washes, or seeping into and contaminating the surrounding soil. The protected area should be excavated or bermed, and lined with plastic so that an accidental spill from a chemical drum will be contained. It should be located in areas where any spill will be prevented from discharging off-site. Procedures shall be established to prevent contamination of on-site soils from equipment maintenance. Construction equipment shall be regularly maintained to repair leaky hoses and gaskets. Used oil, hydraulic fluids, filters, batteries and tires shall be properly disposed of in accordance with State and Federal laws.
 - Solid waste materials should be collected daily. A trash container or dumpster should be provided at the site to contain smaller waste materials. The trash containers should be covered to prevent mixing with rainwater or loss of contents by high winds. Other types of larger debris, such as: vegetation form clearing operations should be collected and stockpiled on a daily basis and disposed of regularly. The stockpile location shall be located away from streams and washes.
 - Temporary pits or bermed areas should be provided at the construction site for the washout of concrete trucks and for washing aggregate materials and tools. The wash water should be kept out of streams and washes. Washout areas should be large enough to retain all wash water. Hardened concrete should be routinely removed and disposed of in order to maintain adequate water percolation.
 - Proper implementation, inspection and maintenance of pollution control measures is essential to achieve the goals of erosion and sediment control and to identify potential problems. A rain gage should be kept at the site to record the depth of rainfall. The contractor should coordinate the implementation, inspection and maintenance of the pollution controls with the Project Inspector. The contractor should also monitor weather forecasts and make all site inspections and necessary repairs before storms are expected. The contractor shall monitor and record weekly extended weather forecasts. These forecasts shall be discussed by the contractor at regularly scheduled weekly progress meetings. In the event that extended forecasts report a high probability for precipitation in the given project area, the contractor shall review and supplement existing erosion control measures. He shall also install additional measures in areas determined to be susceptible to erosion and/or sedimentation, as directed by the Project Engineer. The EPA General Permit requires regular inspections every 7 days or within 24 hours after a rainfall of 1/2 inch or greater.
 - The contractor must record any damages or deficiencies in the control measures on an inspection report form. This report documents the inspection of the pollution prevention measures. The same form can be used to request repairs and to prove that required inspections and maintenance were performed. As a condition of the General Permit, the contractor shall correct damage or deficiencies as soon as practicable after the inspection; but in no case later than 7 days after the inspection. Any changes that may be required to correct deficiencies in the SWPPP should also be made as soon as practicable after the inspection; but in no case later than 7 days after the inspection.
 - Removal of temporary controls when the project is complete is the responsibility of the contractor. After all construction activities have stopped, the contractor must keep a copy of the Storm Water Pollution Prevention Plan. Records of all the data used to complete the Notice of Intent must also be kept for a period of three years following final stabilization. The retention period may be extended by the EPA's request.
 - The contractor is responsible for ensuring that a Notice of Intent (NOI) and a Notice of Termination (NOT) is sent at the beginning and end of the project to the proper authorities. The contractor is responsible for understanding the requirement of the EPA's National Pollution Discharge Elimination System (NPDES) permitting program, established under Section 402 of the Clean Water Act.
 - As a condition of the General Permit, a copy of the contractor's NOI and a copy of the SWPPP are to remain at the job site throughout the construction process.
 - Dust control in accordance with the City of Cottonwood requirements shall be provided at all times while under construction.
 - The contractor shall keep the site watered down (or other approved methods) to prevent dust migrating offsite.
 - The contractor shall on a daily or as needed basis clean all roads leading out of the site and shall place sand bags (or other approved methods) to trap sediment before it enters into the storm drain system.
 - All dump trucks entering and exiting the site shall be covered with an approved cover to prevent dust and flying debris.
 - The contractor shall provide the City a haul plan for materials transported to and from the site. This plan shall be provided prior to any hauling activities and updated as needed.
 - The contractor will provide the City's Public Works Department a signed copy of the SWPPP before beginning construction.

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR SIGNATURE _____ PRINT NAME OF CONTRACTOR AND COMPANY _____



NOT FOR CONSTRUCTION. FOR REVIEW ONLY

**THAD CARD EXCAVATING
GRADING & DRAINAGE PLANS**

SWPPP

 SEC Inc.	DATE	DRAWN	SHEET
	12/23/2015	SB/BC	8 OF 8
20 STUTZ BEARCAT # 6 SEDONA ARIZONA 86336 (928) 282-7787	SCALE	CHECKED	PROJECT NO.
	1"=20'	KG	15-0507CS

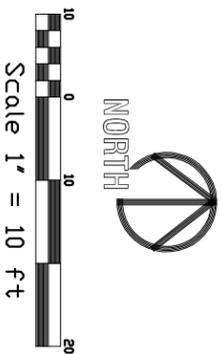
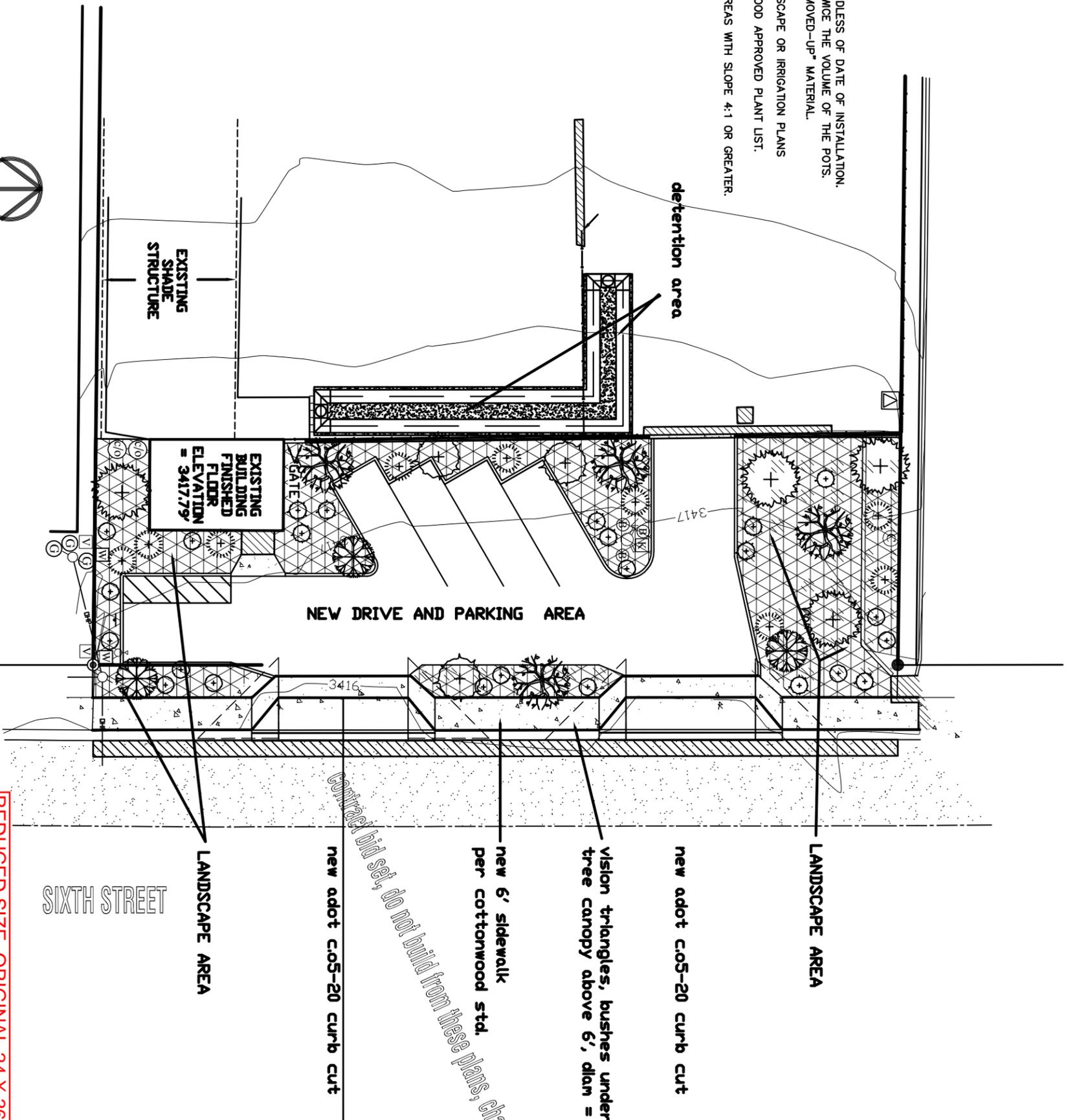
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- NOTES:**
1. GUARANTEE ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON (MAR-OCT) REGARDLESS OF DATE OF INSTALLATION.
 2. PLANT IN A MIXTURE OF 1/3 MULCH, 1/3 TOPSOIL, 1/3 NATIVE SOIL. HOLES TO BE TWICE THE VOLUME OF THE POTS.
 3. PLANTS TO BE PEST FREE AND TYPICAL OF THEIR VARIETY. DO NOT USE RECENTLY "MOVED-UP" MATERIAL.
 4. GRANITE TO BE 1"-MINUS, RUST IN COLOR, AND SPREAD 2" THICK.
 5. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM COTTONWOOD PLANNING DEPARTMENT 520-634-5505
 6. ALL PLANT MATERIAL, SUBSTITUTIONS, AND SPECIFICATIONS TO BE FROM THE COTTONWOOD APPROVED PLANT LIST.
 7. PLANTING TO CONFORM TO THE COTTONWOOD LANDSCAPE ORDINANCE.
 8. COVER ALL DISTURBED AREAS OF THE SITE, EXCEPT LAWN, WITH GRANITE EXCEPT IN AREAS WITH SLOPE 4:1 OR GREATER.
 9. ALL PLANT MATERIAL TO BE WATERED WITH AN AUTOMATIC DRIP SYSTEM.
 10. CONTRACTOR TO VERIFY ALL QUANTITIES.

PLANT MATERIAL		AZ CYPRESS	#15 CAN	2
CUPRESSUS ARIZONICA		RAVBER ASH	#15 CAN	2
FRAXINUS 'RAYBER'		DESERT WILLOW	#5 CANS	2
CHILIPSS LINEARIS		TEXAS SAGE MANZANITA	#5 CANS	10
LEUCOPHYLLUM FRUTESCENS 50%		MYOPORUM	#1 CANS	10
ARCTOSTAPHYLOS MANZANITA 50%				
MYOPORUM PARVIFOLIUM				

PROPERTY OWNER:
 B&B REVOCABLE TRUST
 951 WEST BLACKHILLS DRIVE
 COTTONWOOD, AZ 86326

APPLICANT:
 THAD D. CARD
 PO BOX 639
 CLARKDALE, AZ 86324
 928 300 7502
 TDCEXCAVATING@AOL.COM



REDUCED SIZE. ORIGINAL 24 X 36

LANDSCAPE PLAN

DATE 1/6/16
 SCALE 1" = 10'-0"
 DRAWN SJB
 JOB TCM52515
 SHEET NO.
LP1
 OF 1

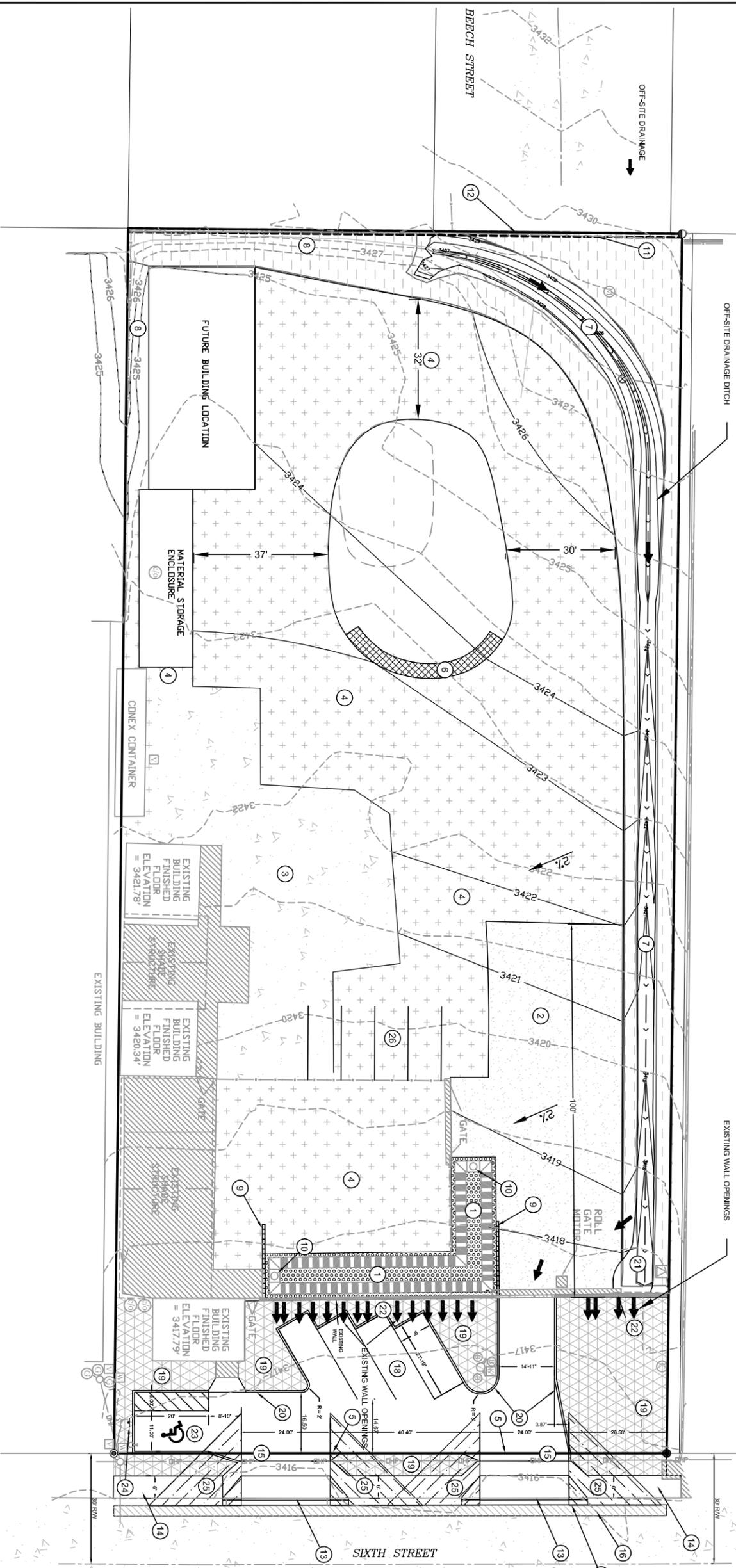
CODE REVIEW PLAN
 THAD CARD EXCAVATING
 232 S. SIXTH STREET
 COTTONWOOD, AZ



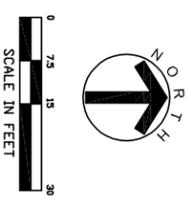
STEVE BLASH
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 726 SOUTH 3RD. STREET, WILLIAMS, AZ 86048
 928-202-2029

REVISIONS	BY

OVERALL SITE EXHIBIT APN 406-42-101D



- 1 RETENTION/DET. STRUCTURE PER DETAILS 1 & 2, SHEET 6.
PROTECT WALL DURING CONSTRUCTION.
- 2 NEW PAVEMENT 3" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COARSE EXTEND 100' FROM ENTRANCE
- 3 EXISTING PAVEMENT
- 4 CHIP SEALED AB
- 5 CITY ROW
- 6 EROSION & SEDIMENT CONTAINMENT DITCH. SEE DETAIL 6, SHEET 6
- 7 DRAINAGE DITCH. SEE DETAIL 3 & 5, SHEET 6
- 8 PROTECT BANK WITH VEGETATION
- 9 CMU CONTAINMENT WALL. TOP OF WALL EL.=341817 - EXTEND TO MEET GRADE. SEE DETAIL 2, SHEET 6
- 10 RETENTION STRUCTURE CLEANOUT. SEE DETAIL 4, SHEET 6
- 11 PROPOSED 1" VEHICULAR NON-ACCESS EASEMENT ALONG WEST PROPERTY LINE
- 12 REPAIR EXISTING CHAIN LINK FENCE & SLATS
- 13 NEW ADDT C05-20 DRIVEWAY. SEE DETAILS SHEET 7
- 14 NEW 6' SIDEWALK PER MAG 230 DETAIL SHEET 7.
- 15 SAWCUT & REMOVE ALL EXISTING ASPHALT WITHIN CITY ROW.
- 16 REMOVE & REPLACE 3' WIDE SECTION OF ASPHALT IN 6TH ST. ADJACENT TO PARCEL.
- 17 REMOVE AND REPLACE ANY DAMAGED CURB ADJACENT TO PARCEL.
- 18 PARKING STALLS @ 30 DEG - 21'-10" X 9'
- 19 CUT EXISTING PAVEMENT AND INSTALL LANDSCAPING PER LANDSCAPING PLANS
- 20 PROPOSED VERTICAL CURB PER MSD 220-1
- 21 STILLING BASIN
- 22 DRAINAGE FLOWS THROUGH EXISTING WALL OPENINGS
- 23 HANDICAP PARKING STALL PER MUTCD STANDARDS
- 24 HANDICAP PARKING SIGN PER MUTCD STANDARDS
- 25 25' X 25' SIGHT TRIANGLE
- 26 EMPLOYEE PARKING. NO DEMARCATION LINES.



LEGEND

- EXISTING CONCRETE
- EXISTING GROUND
- EXISTING PAVEMENT
- PROPOSED CHIP SEALED AB
- PROPOSED SEDIMENT DITCH
- PROPOSED LANDSCAPING
- PROPOSED PAVEMENT
- LEACH ROCK
- PERFORATED CMP
- INDICATES WIRE FENCE
- INDICATES OVERHEAD ELECTRIC LINES
- INDICATES ELEVATION CONTOUR
- INDICATES ELECTRIC BOX
- INDICATES UTILITY POLE
- INDICATES CLEANOUT
- INDICATES WATER METER
- INDICATES IRRIGATION CONTROL VALVE
- INDICATES FIRE HYDRANT
- INDICATES PHONE / CABLE TV RISER
- INDICATES GAS METER
- INDICATES MANHOLE
- INDICATES BILLBOARD
- INDICATES KEYPAD
- EXISTING BLOCK WALL
- FUTURE CONTAINMENT BLOCK WALL

REDUCED SIZE. ORIGINAL 24 X 36

REFER TO GRADING & DRAINAGE PLANS AND DRAINAGE REPORT
DATED 12-23-2015 FOR ADDITIONAL DETAILS

NOT FOR CONSTRUCTION. FOR REVIEW ONLY.

THAD CARD EXCAVATING
APN 406-42-101D

SEC INC.		20 STUIZ BEARCAT # 6 SEDONA ARIZONA 86356 (928) 282-7787	
DATE	DRAWN	SHEET	PROJECT NO.
1/13/2016	SB/BC	1 OF 1	
SCALE	CHECKED	PROJECT NO.	
1" = 15'	KG	15-0907CS	

OVERALL SITE EXHIBIT

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01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016



01/13/2016

**NEIGHBOR'S
DOCUMENTS**

May 4, 2015

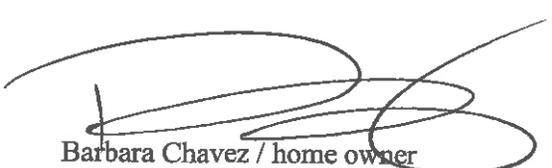
Dear Mr. Ellis,

My name is Barbara Chavez and I live at 326 East Beech St. (last house on the left) and have lived here for 30 years. For over a year now my neighbors and I have reported activity on the commercial industrial property to the east of us that we believe doesn't follow city or state ordinances as well as possessing the proper permits to conduct the type of activity they engage in. I have included photo documents that speak to the concerns I address below.

Last fall new activities starting taking place on the property that is located at the end of the street, with an address of 232 S. 6th Street when they began a "gated fence project to open the back side of the property up with the intention of running large trucks down Beech St. to Willard St.. The project was started, without the necessary permit(s), and placement of a new fence "frame" section (after removing part of the historical fence on the north side) he was ordered a stop work by the city. He abandoned the initial effort and left half of the fence (new frame piece in place) and the other side untouched. Next he started removing a substantial amount of dirt along the untouched (south section) and oiling it right next to the fence which created a large amount of dust as he wasn't wetting the soil. His most recent building permit application is related to grading; and is attached in this packet. He has a description of his project and plan as, "stockpiling of aggregate materials for occasional import and export to jobsites" without mention of what the fence (gate?) completion plan is.

Those of us at the end of the street have endured heavy equipment noise and heavy diesel fumes sometimes starting at 6:30 AM, as well as on weekends. He has already been grading, without the necessary permit, lowering the lot edge without any concern as to the effect (especially during a heavy monsoon rainstorm) that the removal of soil could have on the adjacent property and/or washing away of the existing fence lines. If the fence was unstable, this could make a case for him to "repair" the fence project previously abandoned. As he has piled, loaded and re-piled, without any moisture applied during these processes, the dust that flows into our end of the street homes has become unacceptable, and caused some of us to complain through various channels. He continued with loading, to completely remove the dirt pile over the weekend of April 17-19th 2015 after he was again issued a stop work order by the city. After I lodged some complaints, I requested a meeting with the Development Services Manager, Morgan Scott, who allowed me to purchase copies of the permit/application as well as the ETC report from when the Courtside Apartment project conducted an Engineering and Testing report. The Courtside group originally wanted to expand their project to include this lot but changed their mind due what the neighborhood was told was some sort of soil contamination that prohibited them from being approved for Federal Govt. financing.

Morgan stated that the permit would be reviewed and the third Monday of every month when the Cottonwood Planning and Zoning Department meets and requests discussed. He further stated that you (I called and left a message at 634-5505 X4) would want a list of any complaints of concerns turned for the meeting. It was my understanding that the property requesting the permit could be asked to cover the exposed bare ground to lessen the dust as well as be held to business hours. Furthermore, I am hoping you address the parking of the trucks that emit the smoke and believe the owner of the trucks should repair the trucks that are polluting the air with the heavy diesel fumes; since a \$100 fine (easy for them to pay without having to change the way they are conducting business) seems like an easy fix that doesn't solve the underlying complaints from the neighborhood. Thank you



Barbara Chavez / home owner

326 East Beech St.

Cottonwood, AZ. 86326

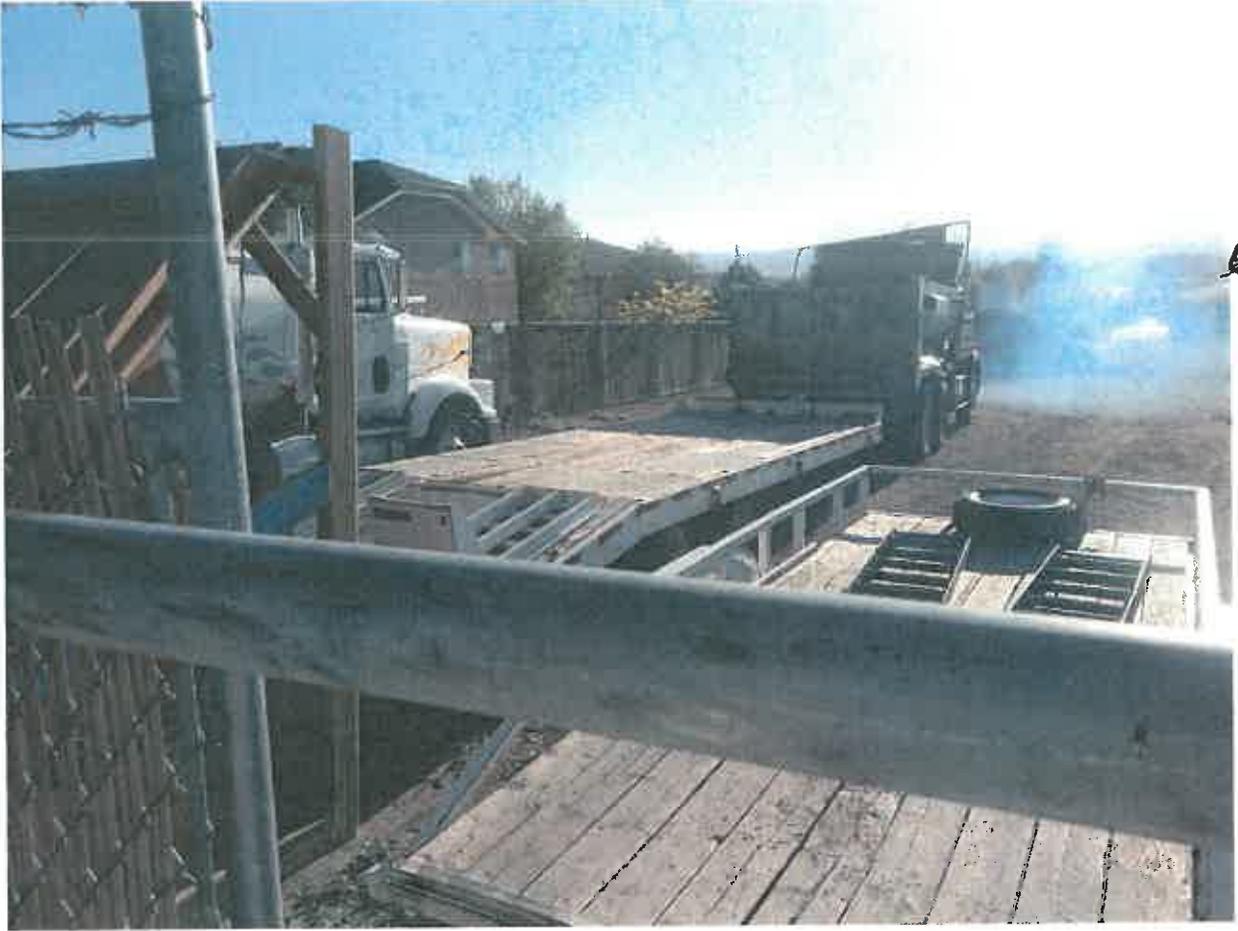
chavchat@q.com

Barbara Chavez
Pictures



Change
in
fencing

gray smudge



Joseph

Smile



April 2014

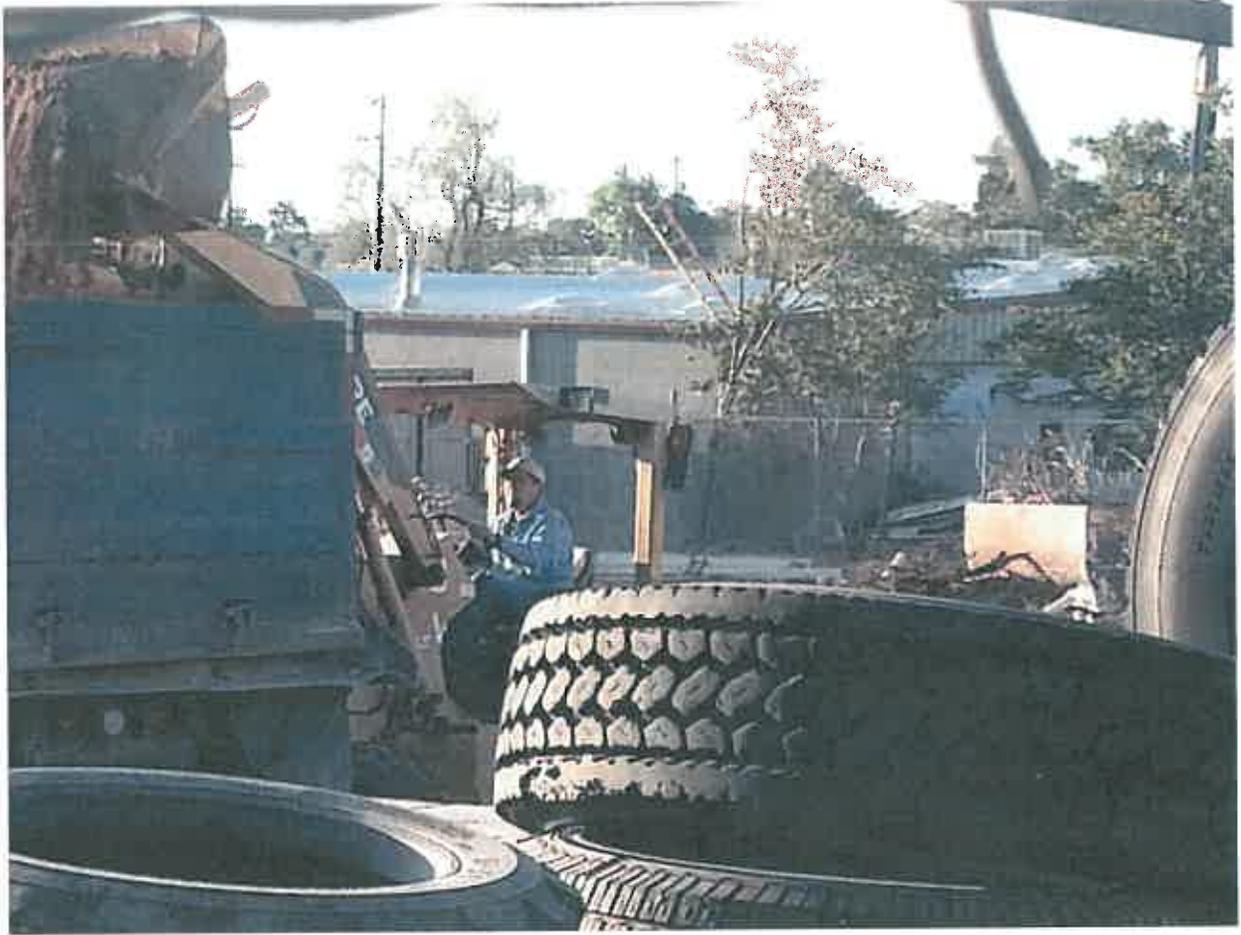
going on for
over 1 year



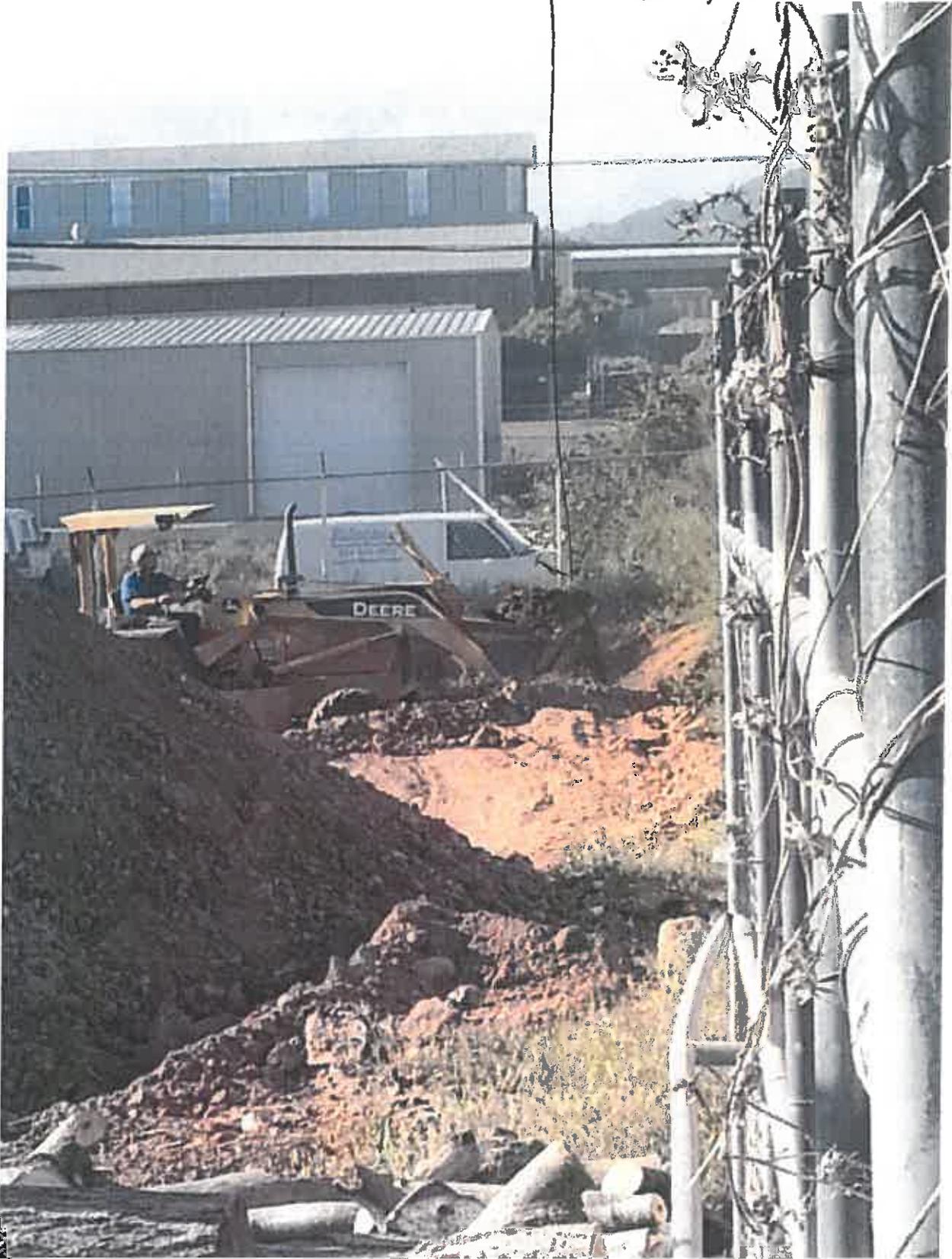
*Just Not
"wet"
Creates so
much dust*



↓
this pile he
from where he
removed ^(then) existing grade



heights of bucket in relation to removal of what was existing grade



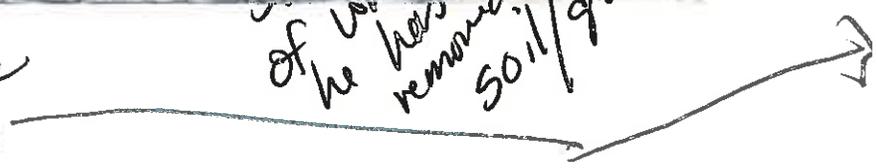
March 2015



March and April 2015

The Smoke
Continues...

This is
our street
side view
of where
he has
removed the
soil/grade





↓
Smile in
relation
to my
front door



April
2015

my entrance



326 E Beech St
last house on
left

Thad
Carr
operating

Jan.17, 2014



What fence has looked like
from 2008 - 2014



2014 - removed existing fencing -
no permit, to install gate to
open to Beech St.



Beech
St

trucks not parked in area of what
they drew on permit application.





This section of
fence replaced
with new frame
where they said
"gate to Beech St"
would be -

Cottonwood Planning and Zoning:

I live at 313 Beech Street. The Thad Card Trucking Yard is 2 doors down from my house. The trucking company has one truck that emits heavy diesel exhaust into the neighborhood. The workers at the yard will often let the truck(s) sit and smoke for 30 minute or more before they leave the yard.

The fumes come into our home. Growing up in a diesel mechanics home, I know that the truck(s) is not running properly. *The truck that emits the most pollution is a white truck with a dark blue dump bed. It is shown in the pictures.* I began making calls to get the truck inspected so the trucking company would be forced to repair the smoking vehicle(s).

- **EPA:** I started with the Environmental Protection Agency. They told me to call the Arizona Department of Environmental Quality (ADEQ)
- **ADEQ:** I filed several reports with the ADEQ both on the internet and over the phone. Adrion Osborn responded back to me via email. (The email is attached.) Adrion said the issue was outside of their justification and I should call the local police if it happens again. They said if the truck pulls out onto the road smoking, it is in violation of Arizona Revised Statute 28-955. A copy of that statute is attached. *One of the pictures I attached shows the truck getting ready to drive onto the road while blowing white smoke.*
- **Cottonwood PD:** The next time I saw the truck smoking, I called the Cottonwood PD as directed. The first officer told me he needed to catch the truck in the act, but the statute was enforceable. I called a second time and the next officer told me that Cottonwood PD does not have any criteria for enforcing Arizona Revised Statute 28-955. (They were not able to legally determine the difference between regular exhaust and a smoking vehicle.) He said that decision came from his commanding officer.
- **ADOT Enforcement:** I also called ADOT enforcement. They told me that Thad Card had been cited on other violations in the past. I asked them to send an inspector to evaluate the truck. They told me they were backed up, but might get to it in several weeks. I never heard back.

Thad Card Trucking is still polluting the air in our neighborhood and is a nuisance. Attached you'll find a few pictures:

- A couple pictures show the vehicle that smokes the most. One picture shows that truck smoking right next to the fence – in an area where they are not supposed to be parking the trucks according to the site map.
- One picture shows the smoking truck getting ready to move out onto the road.
- Also notice the dates. The issue is ongoing. Two of the pictures are from last week.

Please send an inspector to evaluate the mechanical condition of these vehicles. Please have the appropriate authorities enforce Arizona Revised Statute 28-955 and apply the appropriate fines. If Thad Card Trucking needs to run smoking industrial equipment and they can do so legally, then please relocate the Trucking Company to a non-residential area.

Thank You.

Mark Stafford

313 Beech Street | 928-460-3134

Arizona Revised Statute 28-955

28-955. Mufflers; noise and air pollution prevention; emissions control devices; civil penalty; exception

A. A motor vehicle shall be equipped at all times with a muffler that is in good working order and that is in constant operation to prevent excessive or unusual noise.

B. A person shall not use a muffler cutout, bypass or similar device on a motor vehicle on a highway.

C. The engine and power mechanism of a motor vehicle shall be equipped and adjusted to prevent the escape of excessive fumes or smoke.

D. Beginning with motor vehicles and motor vehicle engines of the 1968 model year, motor vehicles and motor vehicle engines shall be equipped with emissions control devices that meet the standards established by the director of environmental quality.

E. A person who violates this section is subject to a civil penalty of at least one hundred dollars.

F. This section does not apply to an electrically powered motor vehicle.

Search

smoking Vehicle

People

Adrion L. Osborne

Oct 27, 2014

To mark@ablazemediaaz.com

CC Alicia Reuter

Mr. Stafford

My name is Adrion Osborne, I am the manager of the vehicle emissions program. The vehicle emissions inspection section does not have jurisdiction in Cottonwood Arizona. Cottonwood Arizona is outside of the vehicle emissions control area. You could contact your local police department and file smoking vehicle complaint. Your local police can investigate and use the Arizona Revised Statute 28-955 (C). I called the number in the complaint and left you a message. If you have any questions, I can be reached at 602-771-3969.

Thank You

Adrion L Osborne

Acting Section Manager

Vehicle Emissions

Arizona Department of Environmental Quality



Search

Re: smoking Vehicle

People

Mark Stafford

Oct 28, 2014

To: Adrion L. Osborne

Adrion,

Thank you for getting back to me. I'll use that statute and contact the local police next time it happens. I did speak with them and they were not aware of a statute that covers smoking vehicles. Thanks again.

Mark Stafford
Creative Director

Ablaze Media
313 Beech Street, Cottonwood, AZ 86326
mark@ablazemediaaz.com | 928-460-3134

From: Adrion L. Osborne <Osborne.Adrion@azdeq.gov>
To: "mark@ablazemediaaz.com" <mark@ablazemediaaz.com>
Cc: Alicia Reuter <Reuter.Alicia@azdeq.gov>
Sent: Monday, October 27, 2014 2:33 PM
Subject: smoking Vehicle

Mr. Stafford
My name is Adrion Osborne, I am the manager of the vehicle emissions program. The vehicle emissions inspection section does not have jurisdiction in Cottonwood Arizona. Cottonwood Arizona is outside of the vehicle emissions control area. You could contact your local police department and file smoking vehicle complaint. Your local police can investigate and use the Arizona Revised Statute 28-955 (C). I called the number in the complaint and left you a message. If you have any questions, I can be reached at 602-771-3969.

Thank You

Adrion L. Osborne
Acting Section Manager
Vehicle Emissions
Arizona Department of Environmental Quality

NEW zulily DAILY DEALS up to 70% OFF

shop for SUN!

SHOP

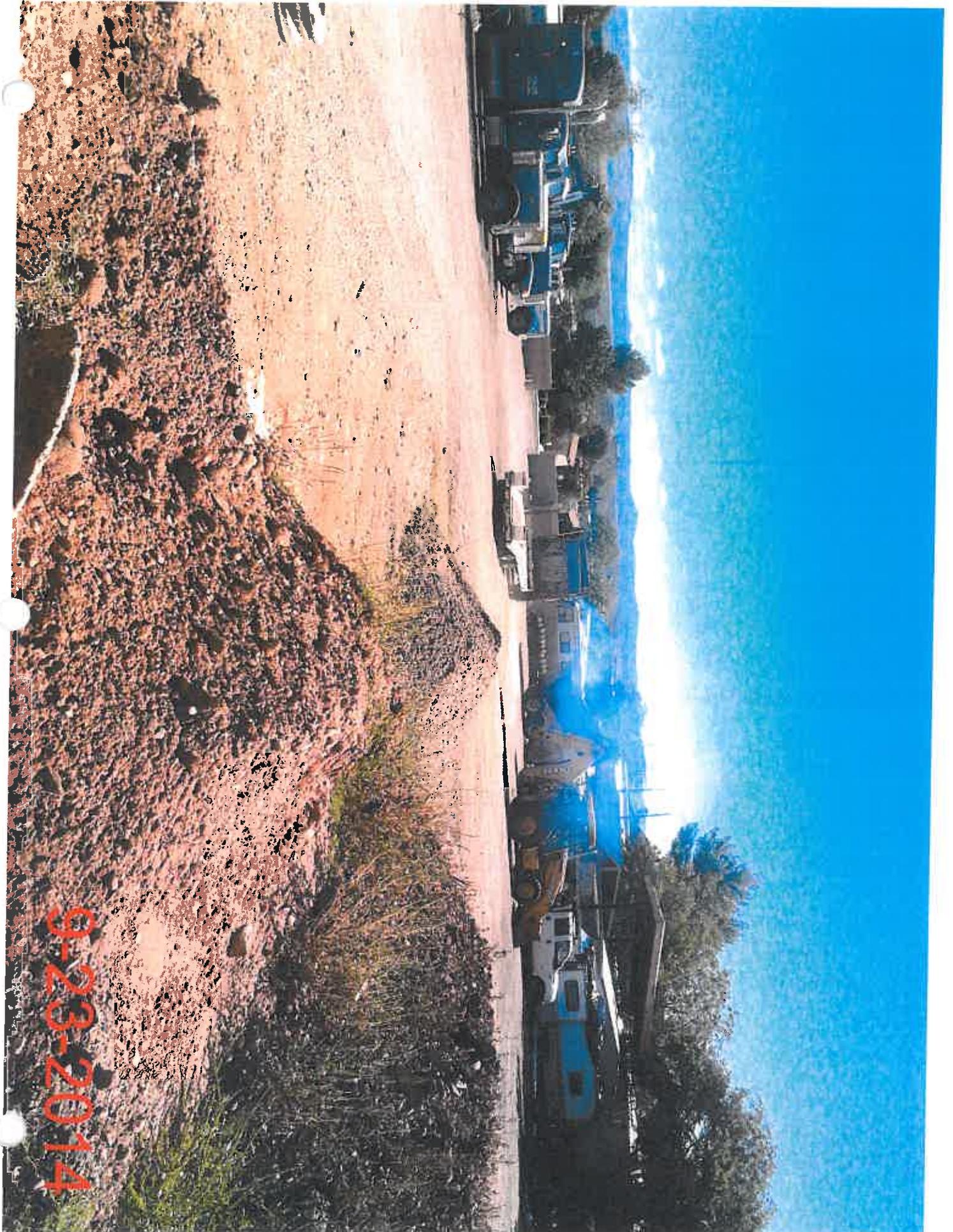




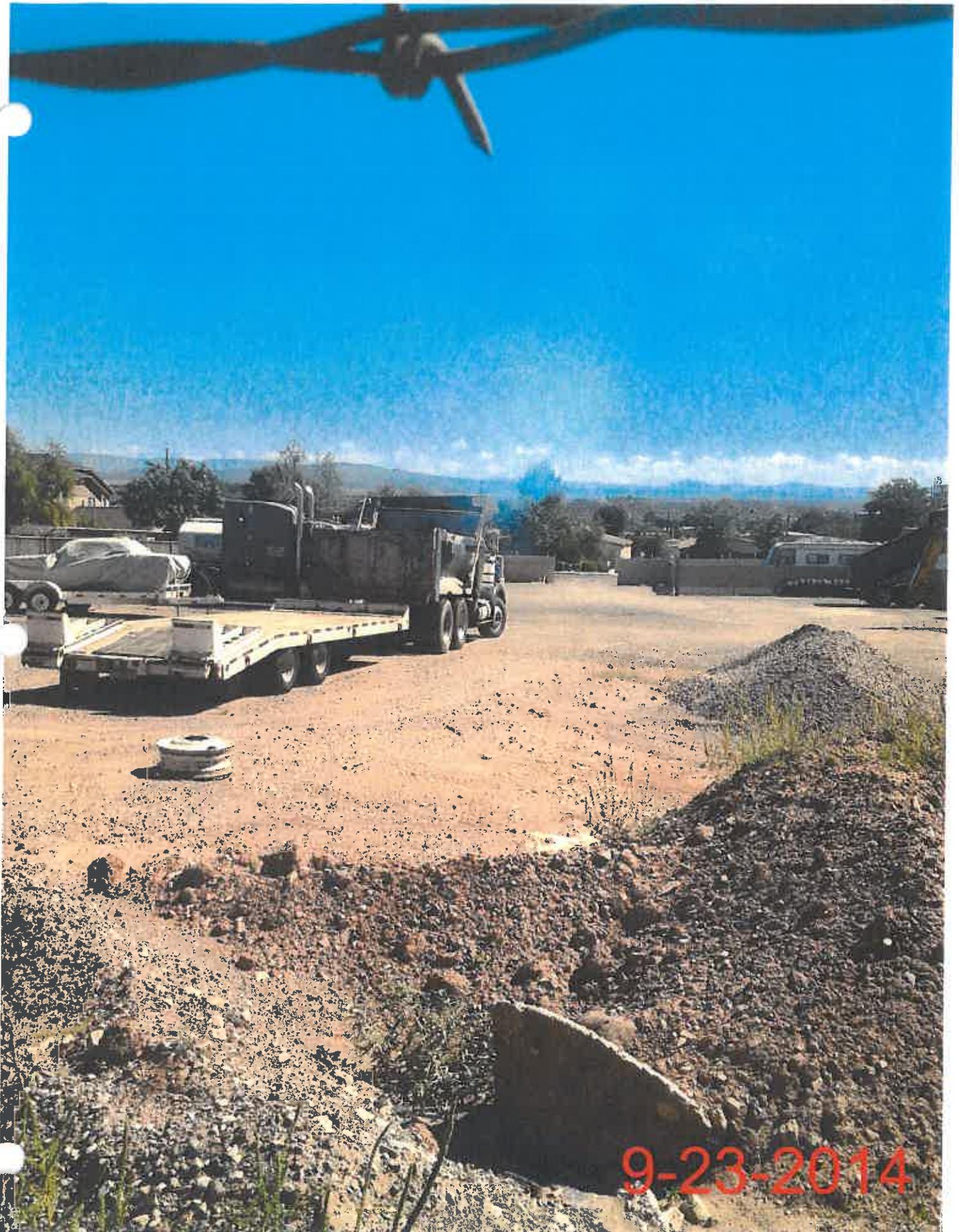
5-7-2015



5-14-2015



9-23-2014



9-23-2014



STAFF MEMO

TO: Planning and Zoning Commission
FROM: Scott Ellis, City Planner
THROUGH: Berrin Nejad, Community Development Manager
HEARING DATE: January 25, 2016
PROJECT NUMBER: **PCU 16-002 Treasure Junkies**

The applicant is requesting approval of a Conditional Use Permit to allow rental of U-Haul trucks and trailers. The proposed site is located at 612 N. Main Street, which is zoned C-1 (Light Commercial).

PROJECT DATA AND FACTS:

Applicant/Agent	Michael Weber and Kathleen Francis
Property Owner	Copper State Land, LLC/Michael Clark
Location of Property	612 N. Main Street
Present Zoning and Land Use	C-1 (Light Commercial, retail)
Description of Applicant's Request	Obtain Conditional Use Permit to operate a U-Haul rental location to provide trucks and trailers to customers.

LAND USE:

Description and Character of Surrounding Area
The site is on the south side of North Main Street, close to the cross roads of North Main Street and North 12th Street.

Adjacent Land Uses and Zoning	
North: Across Main Street	C-1 - Light Commercial – Single family residence and the Cottonwood Cemetery.
South:	R-4 - Single Family/Multiple Family/Manufactured Home – Single Family Homes
East:	C-1 - Light Commercial – Vacant structure.
West:	C-1 - Light Commercial – Vacant lot.

PROJECT PROPOSAL:

Background:

The site consists of two parcels, one of which contains an existing building currently used as a thrift store. The other parcel is part of this business and is a large vacant lot used for parking, and will be used to park the U-Haul trucks and trailers. The existing building is single story and is approximately 1,800 square feet.

Parking:

Nine (9) parking spaces, one of which will be handicap accessible, will be dedicated for the existing thrift store. Approximately 16 vehicle rental storage spaces are available for the U-Haul trucks and trailers. The property owner/applicant has already paved/chip sealed the front of the parking lot as a requirement from code review for this project.

Lighting:

No new lighting is proposed.

Signage:

A staff level review of a sign for the thrift store and a picture of a U-Haul sign to be placed in the window has been submitted (see attachment).

Access:

A single driveway entrance allows access to the property off N. Main Street. No additional access is available or proposed.

Landscape Plans:

No new landscaping has been proposed.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on October 27, 2015 and applicant has already met the majority of the requirements from staff.

REQUIRED FINDINGS:

General Findings:

The current use of a retail thrift store fits within the current C-1 (Light Commercial) zoning designation as a permitted use. The business owners would like to add an accessory use to allow renting of U-Haul trucks and trailers. This type of use falls within the General Commercial characteristics as described in the General Plan and shown on the Land Use Map.

Compatibility with Surroundings Uses:

The proposed accessory use of the property will be consistent with surrounding uses as general commercial, and will not be out of place as a commercial use in this area.

Traffic and Circulation:

The site has one driveway entrance/exit from Main Street. Traffic circulation on the property works adequately.

Infrastructure:

There are no infrastructure issues for this property. The property owner has paved a section of the lot that was dirt/gravel, as required as a condition of approval.

Nuisance Activities:

No nuisances have been identified. Staff has not received any comments, concerns, or questions from neighboring property owners.

Buffering and Screening:

The property does not currently have any screening around it. The east and west sides are bordering vacant lots, with the south side bordering a residential zone, with a chain-link fence running across the property line.

Stipulations:

Staff has reviewed this project and finds it fits within the General Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted 01-04-16 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 11-03-15.
3. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
4. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
5. Any other stipulations the Planning & Zoning Commission deems necessary.

**TREASURE JUNKIES, LLC
612 N. MAIN STREET
COTTONWOOD, AZ 86326
OFFICE: (928) 852-0011**

**COTTONWOOD COMMUNITY DEVELOPMENT
111 N. MAIN STREET
COTTONWOOD, AZ 86326**

OCTOBER 10, 2015

TREASURE JUNKIES RESALE STORE AND UHAUL CENTER PROJECT PROPOSAL

We are located at 612 N. Main Street, Cottonwood, AZ 86324. Our commercial building has approximately 2000 square feet and is zoned C-1 Light Commercial. We have a front patio area that is approximately 352 square feet. The parking lot is approximately 5000 square feet. There is a large chain link, sheet metal fencing section and other fencing on the far right side of our lot and connecting the back edge of the lot.

We sell both used and new items such as furniture, jewelry, hats, boots, bags and art work. We were approached by U-Haul to become a dealer because of the size of the lot, proximity and nature of our business to the cities of Cottonwood and Clarkdale.

Our patio area offers a space for our outdoor furniture, saguaro cactus and other outdoor items.

We currently have a temporary metal fencing structure in the back right corner of the lot that has been downsized and will be removed completely by November 15, 2015. We use this area as a sorting station. We have a white box trailer in the back right side of the lot next to the sorting station. This will be removed by November 15, 2015.

There is a receptacle through the Humane Society to collect clothing in the left upper corner of the lot behind the green bus stop, on the small section of land located on our lot. It is not interfering with the passengers in any way. This will be removed by November 15, 2015.

We have no plans to build any structures, but utilize the existing building, patio and lot.

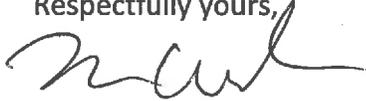
We have seven (8) parking spaces directly in front of the building and three (3) handicap spaces, one (1) the front and two (2) left side of the building. There is ample parking in other areas of the lot. The lot can accommodate approximately eight (8) more vehicles, even with seven (7) U-Haul trucks, two (2) tow dollies, two (2) vehicle transports and two (2) box trailers.

We have a wooden sign to the front left side of the building that is 48 x 48 inches. It is mounted and hung with wooden framing. We have plans to go ahead with painting a sign on this space within the next thirty (30) days, and will be applying for a permit.

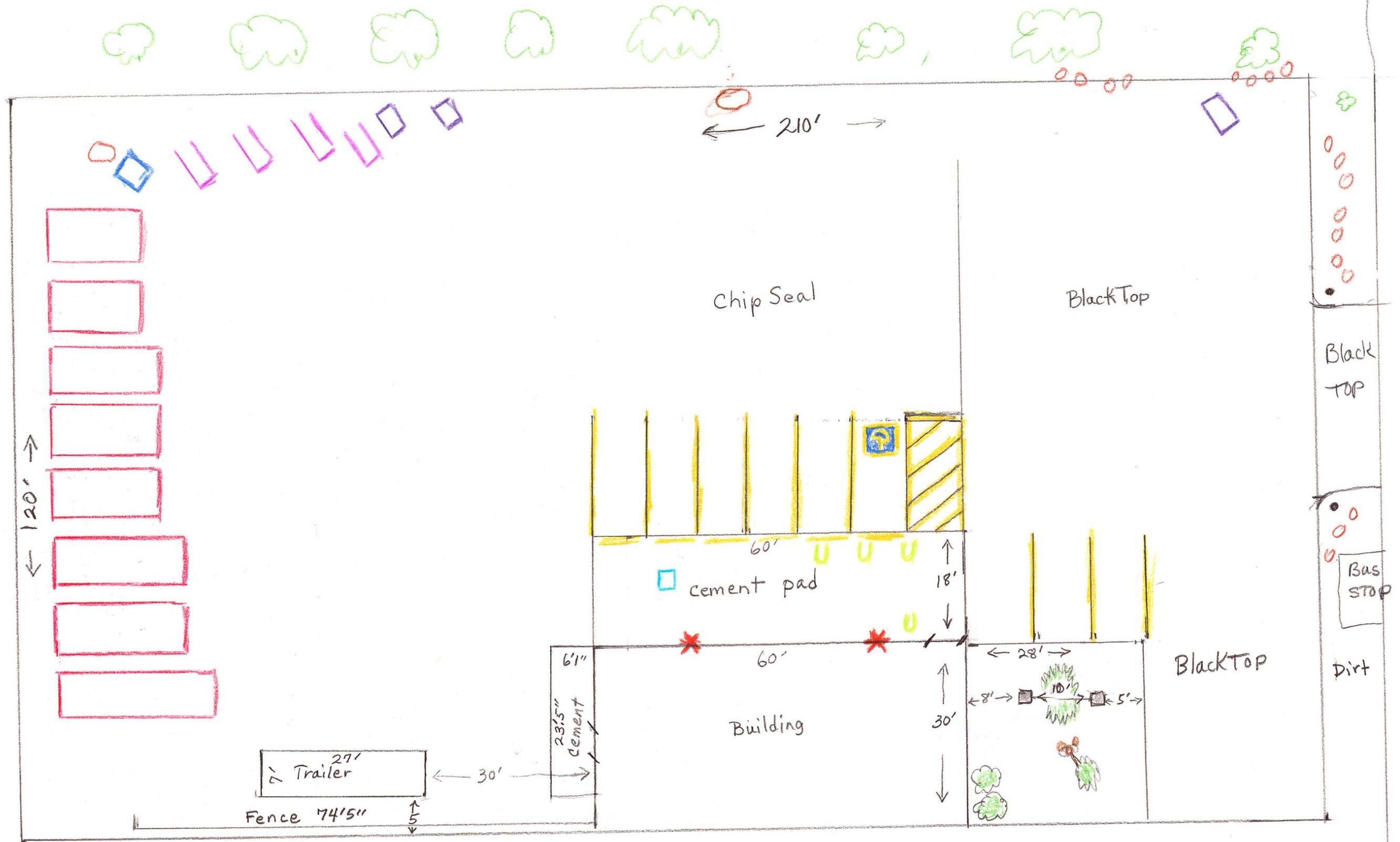
We apologize for any problems or concerns. We are responsible business owners who have lived in the Verde Valley for twenty years. I have been involved with the community coaching little league baseball and football over the years. Kathleen has written several books for the area including Sedona Man and Verde Valley Arizona's Hidden Treasure.

We appreciate your time and attention and look forward to serving the community.

Respectfully yours,

A handwritten signature in black ink, appearing to read "mweber", written in a cursive style.

Michael Weber
Treasure Junkies, LLC



- * Light
- Bush
- cement/rock base
- Rocks
- OPEN TRANSPORT
- Saguaro
- Tree
- stump
- metal Pole
- U haul Truck
- Van Trailer (5x8)
- Scale



32 x 18 Neon Sign Will hang in window on side facing the street



RED ROCK MOUNTAIN STATE COLLEGE
PROPERTY TRAIL
WINTER WALK
BULLY HILL

01/13/2016



NO LEFT TURN
ONE WAY
SPEED LIMIT
25 MPH
GREEN ARROW

01/13/2016



01/13/2016



01/13/2016



01/13/2016 09:32



U-HAUL
ONE DAY & NO HOURS RESTRICTIONS
19%
SEE INSIDE FOR DETAILS

HAUL

U-HAUL

U-HAUL

01/13/2016 09:32



612

2016

01/13/2016 09:32



612

BEACH LANDS
VACATION HOMES

U-HAUL
19.99

01/13/2016 09:32



01/13/2016 09:32



01/13/2016 09:32



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: January 25, 2016

PROJECT NUMBER: **PCU 16-003 Wesie's Customs**

The applicant is requesting approval of a Conditional Use Permit to allow screened outdoor storage of automotive restoration materials as an accessory use. The proposed site is located at 1491 E. Cherry Street, which is zoned C-2 (Heavy Commercial).

PROJECT DATA AND FACTS:

Applicant	Robert Wesighan
Property Owner	Rio Arizona Holdings, LLC
Location of Property	1491 E. Cherry Street
Present Zoning and Land Use	C-2 (Heavy Commercial) – Automotive restoration and storage.
Description of Applicant's Request	Allow storage of various vehicle parts and miscellaneous materials to be used in the restoration of vehicles for applicants business.

LAND USE:

Description and Character of Surrounding Area
The site is on the south side of E. Cherry Street, west of S. Main Street. The property is surrounded by office/retail spaces, and vacant land.

Adjacent Land Uses and Zoning	
North: (across Cherry Street)	C-1 – Light Commercial – Office spaces
South:	C-2 – Heavy Commercial – Back end of a retail parts store
East:	C-2 – Heavy Commercial – Retail stores and a vacant lot.
West:	C-2 – Heavy Commercial – Dog Kennel/Grooming

PROJECT PROPOSAL:

Background:

Currently the site is a long lot, with a building, shade structure, and open rear yard. The applicant currently runs an automotive restoration business, which requires the storage and use of miscellaneous auto parts from other vehicles. The business itself is a permitted use in the C-2 zone, however, the excessive and type of outdoor storage requires obtaining a Conditional Use Permit.

Hours of operation are 8:00am to 5:00pm Monday through Friday, with occasional work being performed later than 5:00pm and on weekends.

Parking:

Adequate parking exists for the current traffic and customers that come to this business. The parking of unlicensed or inoperable vehicles will be required to be in the rear of the property, and not take up any available parking needed for the business.

Lighting:

No lighting changes are proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

A single driveway entrance exists on the property allowing access off E. Cherry Street. No access issues have been noted.

Landscape Plans:

A small portion of the front of the property along E. Cherry Street is already landscaped and the applicant has not proposed any additional landscaping of the property.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on November 24, 2015 and the applicant will be required to meet all conditions to continue operation of the business at this location.

No automotive painting or primer will be allowed unless an approved spray booth is installed complying with all local codes and NFPA 33 standards. This will require Fire Department approval. Aerosol paint cans (rattle cans) are excluded from these requirements.

REQUIRED FINDINGS:

General Findings:

The current zoning of C-2 (Heavy Commercial) allows as a permitted use, automotive repair shops. This business is an auto-repair/auto-restoration shop which is also a permitted use in this zone. The amount and type of outdoor storage that is being done has prompted the need to obtain a Conditional Use Permit to continue the storage as an accessory use to the automotive repair and restoration.

Compatibility with Surrounding Uses:

The property sits within a section of C-2 zoning that continues on 3 sides of it, with C-1 zoning across Cherry Street. There is a mixture of office space, retail, and pet boarding/grooming immediately abutting the property. A few spaces to the west is an auto-body shop which operates as a permitted use in this zone.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property. The existing road is adequate to handle the traffic generated by this business.

Nuisance Activities:

City staff received complaints from neighboring property owners and businesses regarding the type of use at this location. These complaints include noise, smoke, burn-outs, unscreened storage, unlicensed vehicles, and a suspected rat problem. These concerns were brought to the attention of the business owner who has since made significant improvements regarding the organization of the storage, screening, and removal of unlicensed vehicles from the front of the lot. Staff determined that in order to continue storing items additional screening and a Conditional Use Permit would be required.

The applicant removed several vehicles that were stacked above the fence line and were visible from the public streets. He also cleaned and organized the outdoor storage of various parts and vehicles.

Painting of vehicles was also suspected, however, the Fire Department has found no evidence of this to be occurring on site.

A neighboring property owner and business is still not satisfied with the progress made by the applicant, and believes it to be a junkyard, continuing to create problems for her business (see attached letter from the neighboring business).

Buffering and Screening:

The storage of automotive parts and materials takes place at the rear of the lot, behind a fence and gate, and not visible from Cherry Street. At one point the business owner had vehicles stacked to a level that exceeded the height of the fence surrounding the property and was visible from the street. Once staff brought this to the owner's attention, the vehicles were removed to a level acceptable by the ordinance related to screened outdoor storage. The business owner also put slats in a section of chain-link fence along a portion of the property that borders the neighboring pet boarding/grooming facility. The slats should continue further down the fence line to help screen the remaining portion of the property.

Stipulations:

Staff has reviewed this project and finds the business is permitted, with the need to obtain a Conditional Use Permit for outdoor storage. If approved, staff recommends the following stipulations:

1. That all outdoor storage meets ordinance requirements related to screening of all outdoor storage.
2. That the project conforms to Code Review Board comments dated 11-25-15.
3. All outdoor storage is to be screened with slats installed in the chain-link fence surrounding the property. Stacking of vehicles or other materials is not allowed if it can be seen above the fence line.
4. All outdoor storage is to remain in the rear of the property to where it is not visible from the public street.
5. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the Planning & Zoning Commission deems necessary.



Letter of intent.

Automotive repair and restoration with out side storage of parts and materials for this line of work.

1/ Rack

Storage shed

Shed

engine shop

Storage shed

Sheetmetal Rack

Sheetmetal Rack

Steel Rack

Steel Rack

Steel Rack

Differential rack

Storage shed

Storage shed

Canopy

Shop

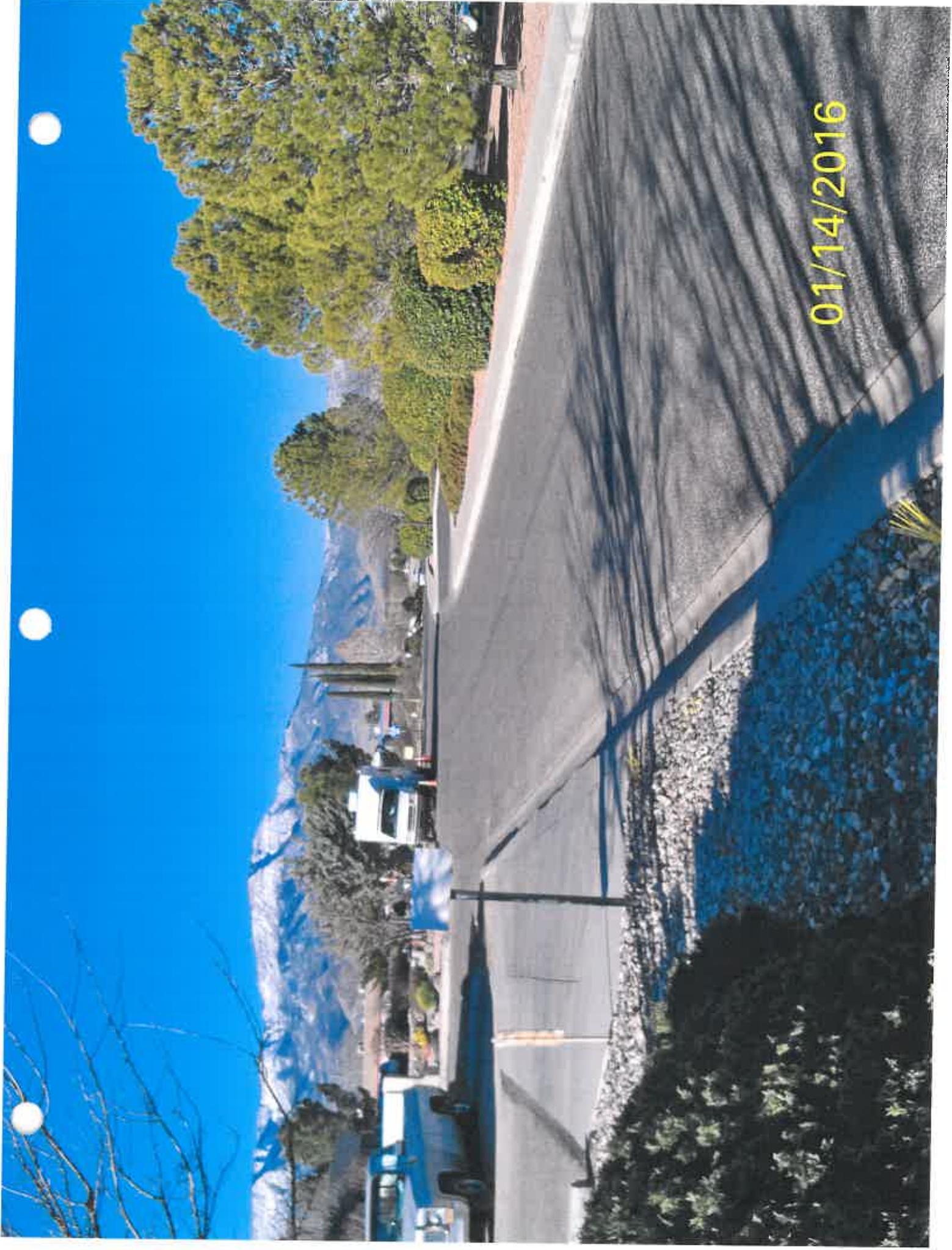
2

Project cars
Customer Cars



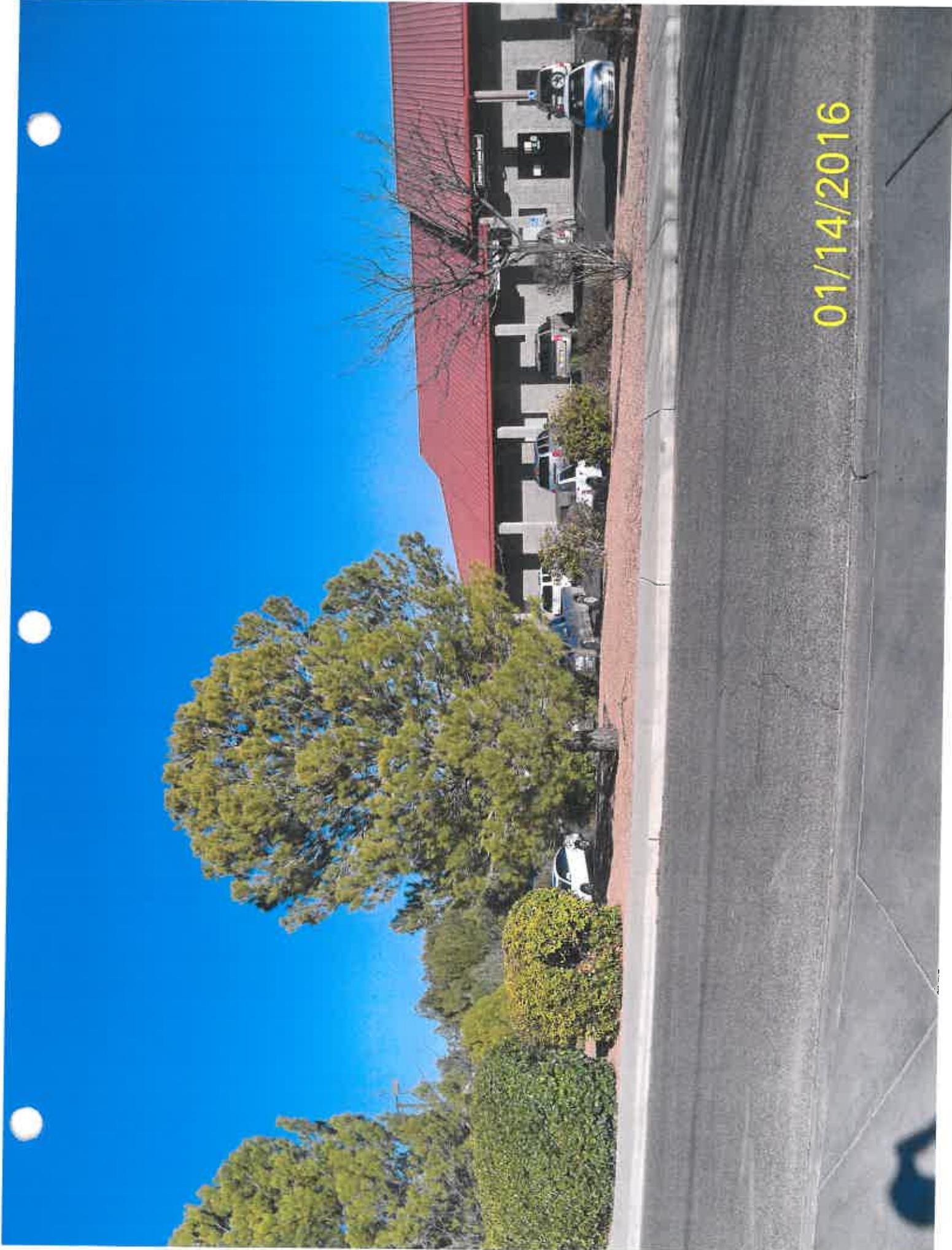
Disclaimer: Map and parcel information is believed to be accurate but accuracy is not guaranteed. No portion of the information should be considered to be, or used as, a legal document. The information is provided subject to the express condition that the user knowingly waives any and all claims for damages against Yavapai County that may arise from the use of this data.

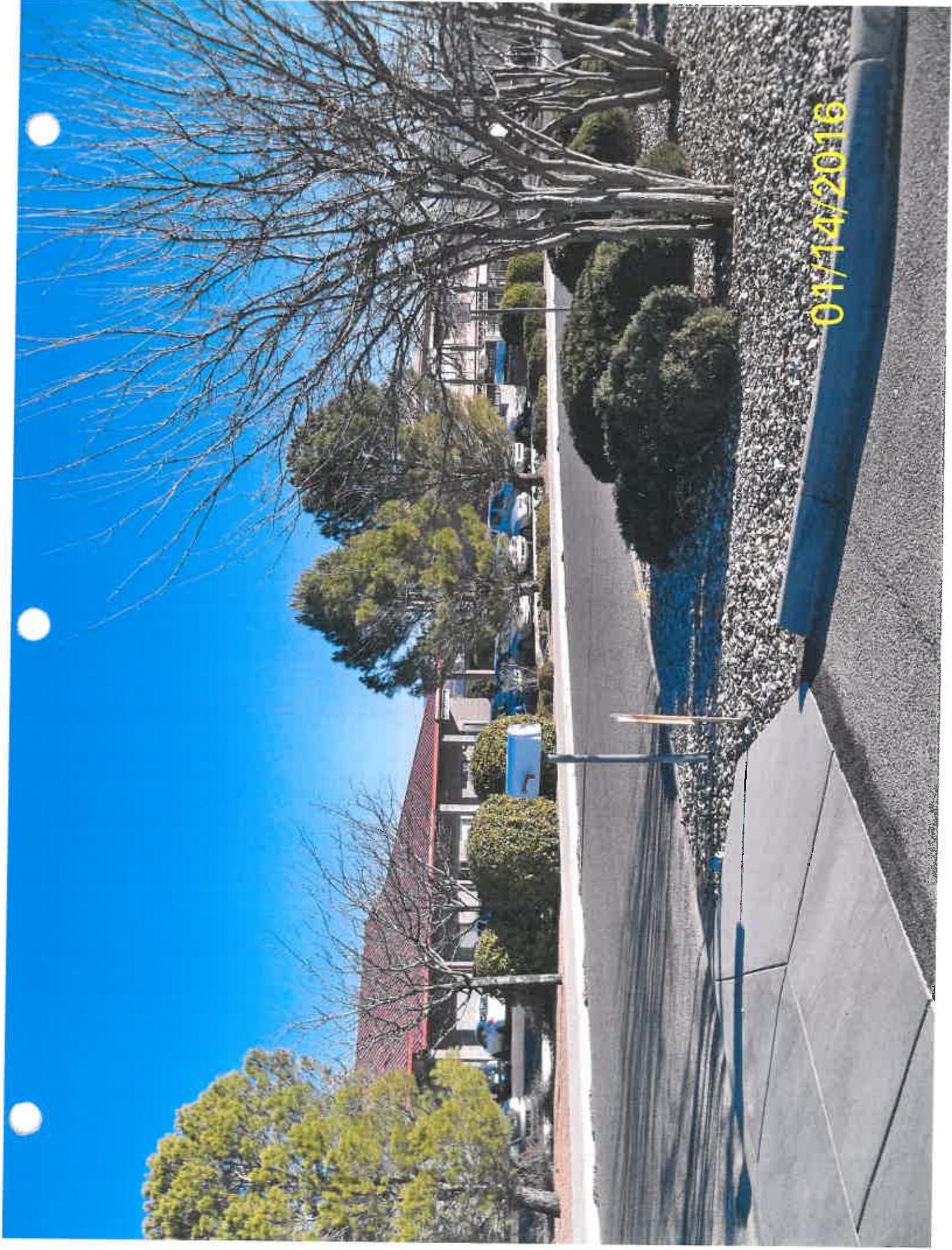
**SURROUNDING
AREA**



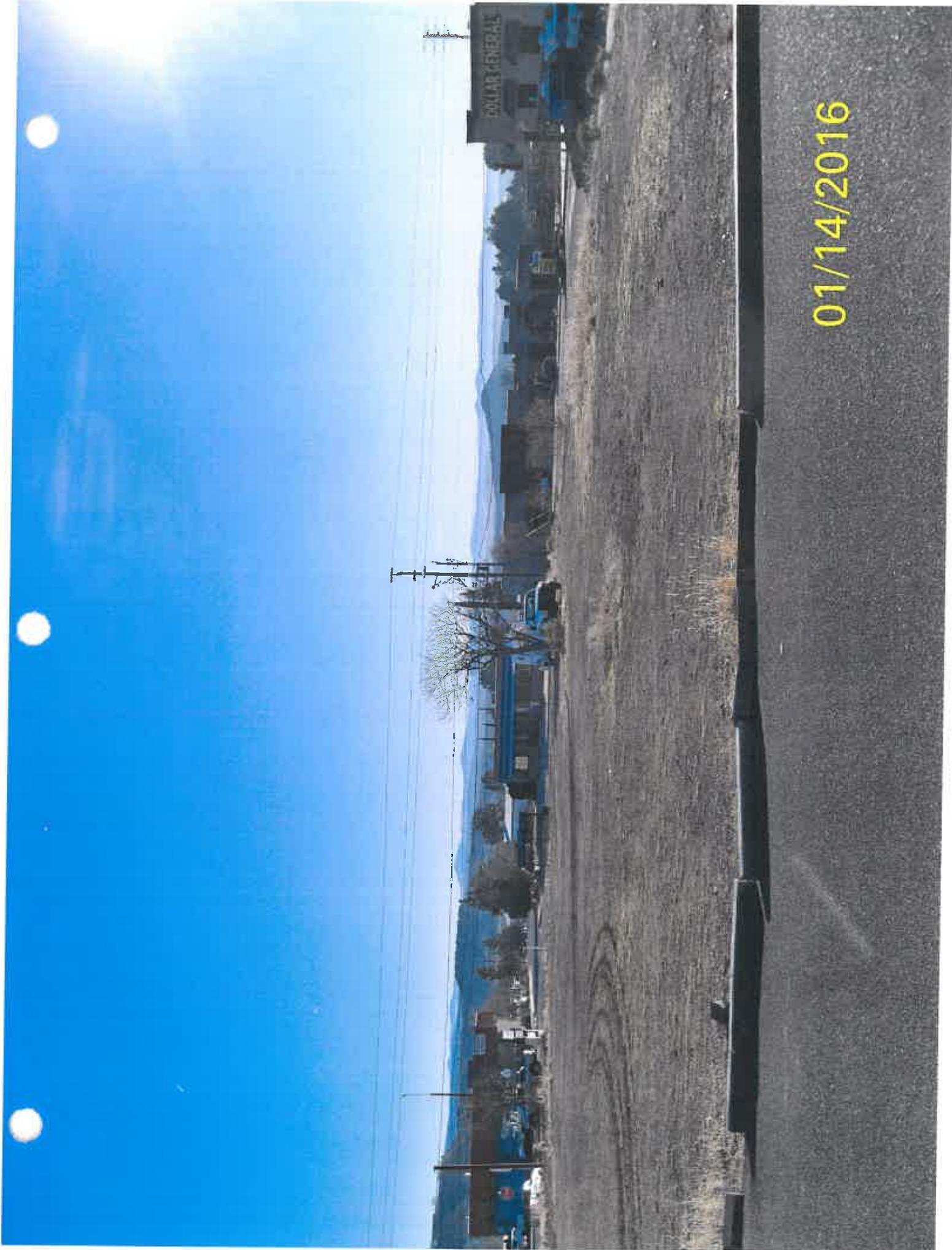
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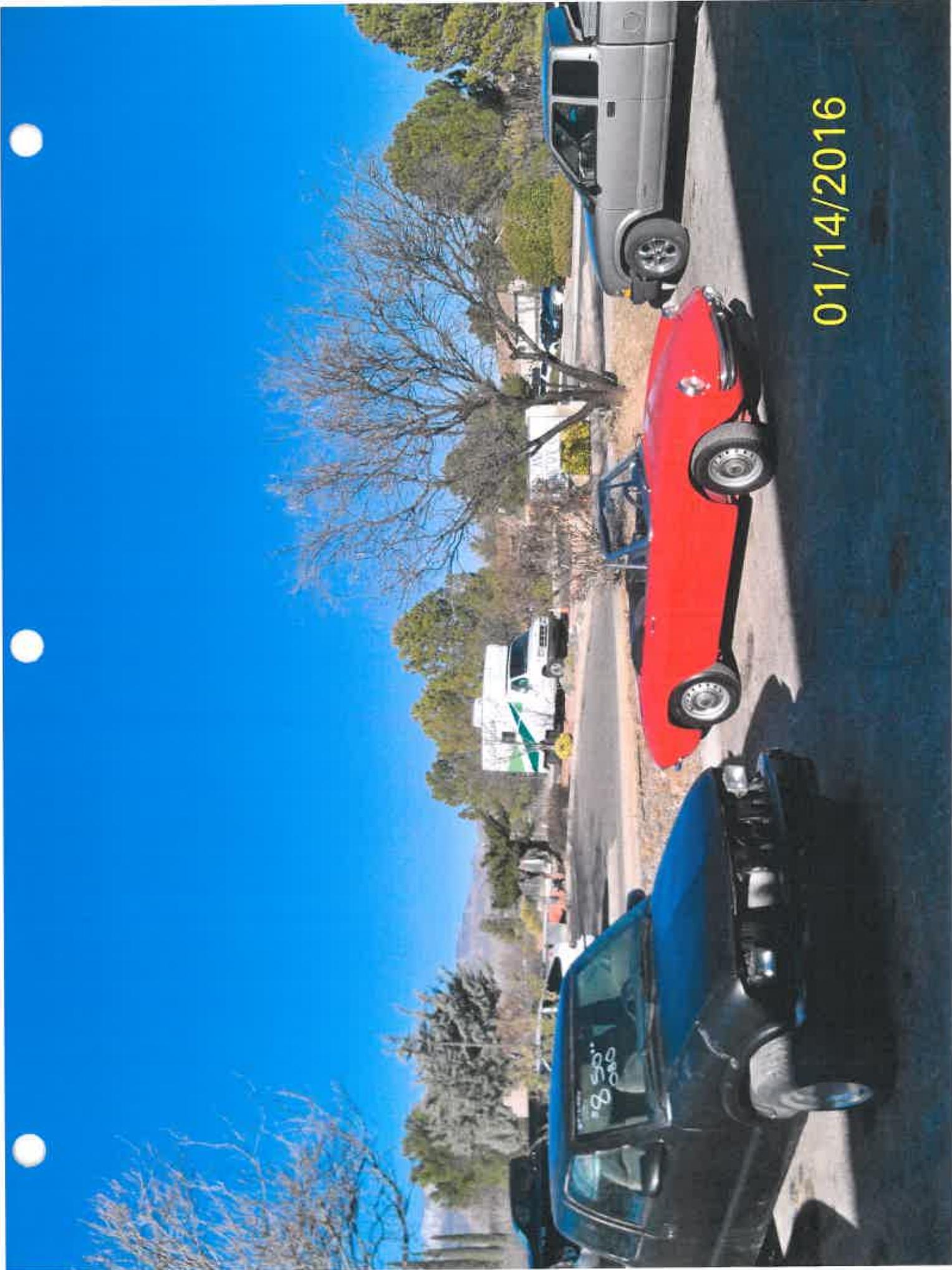
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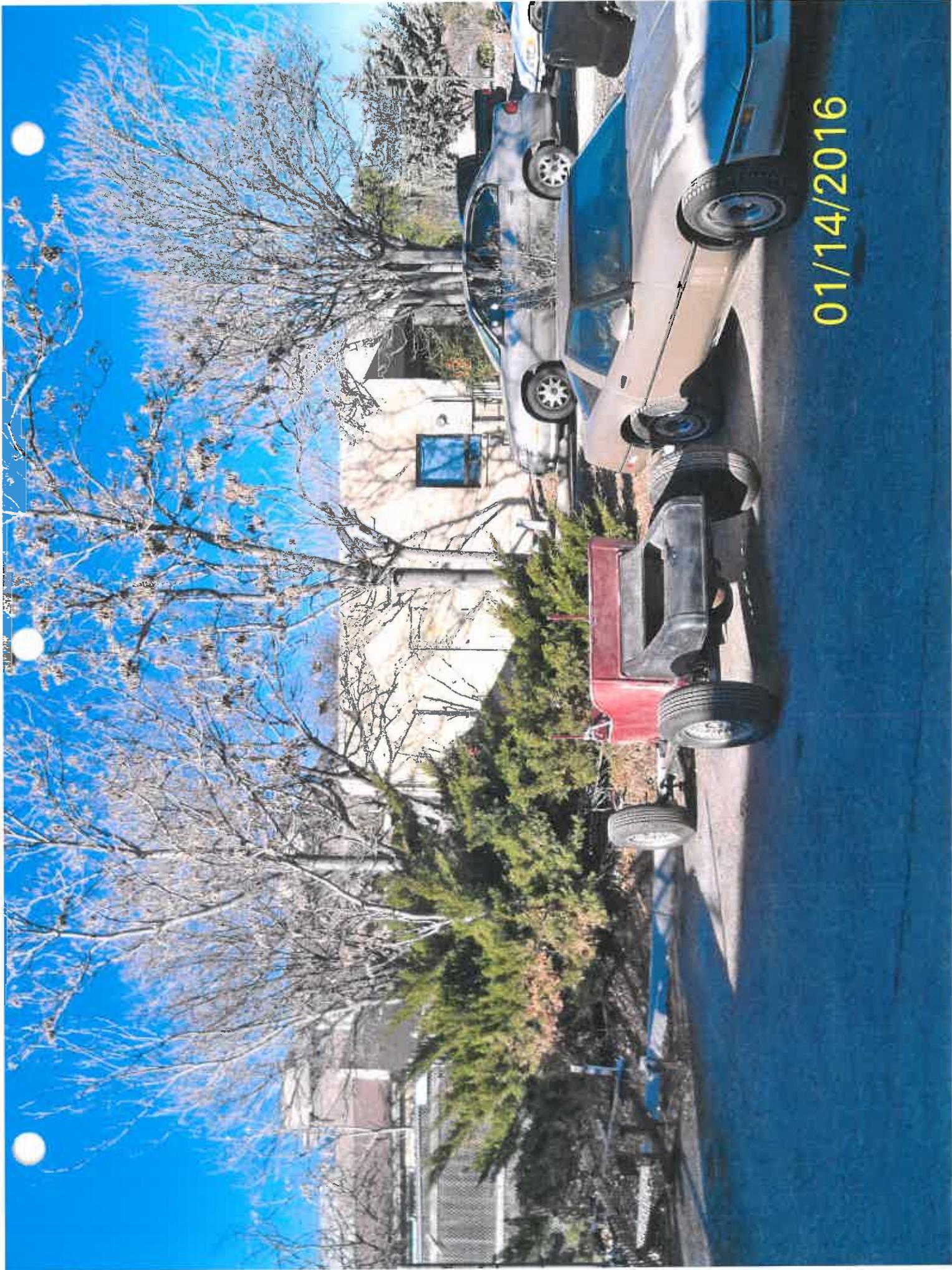
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DOLLAR GENERAL

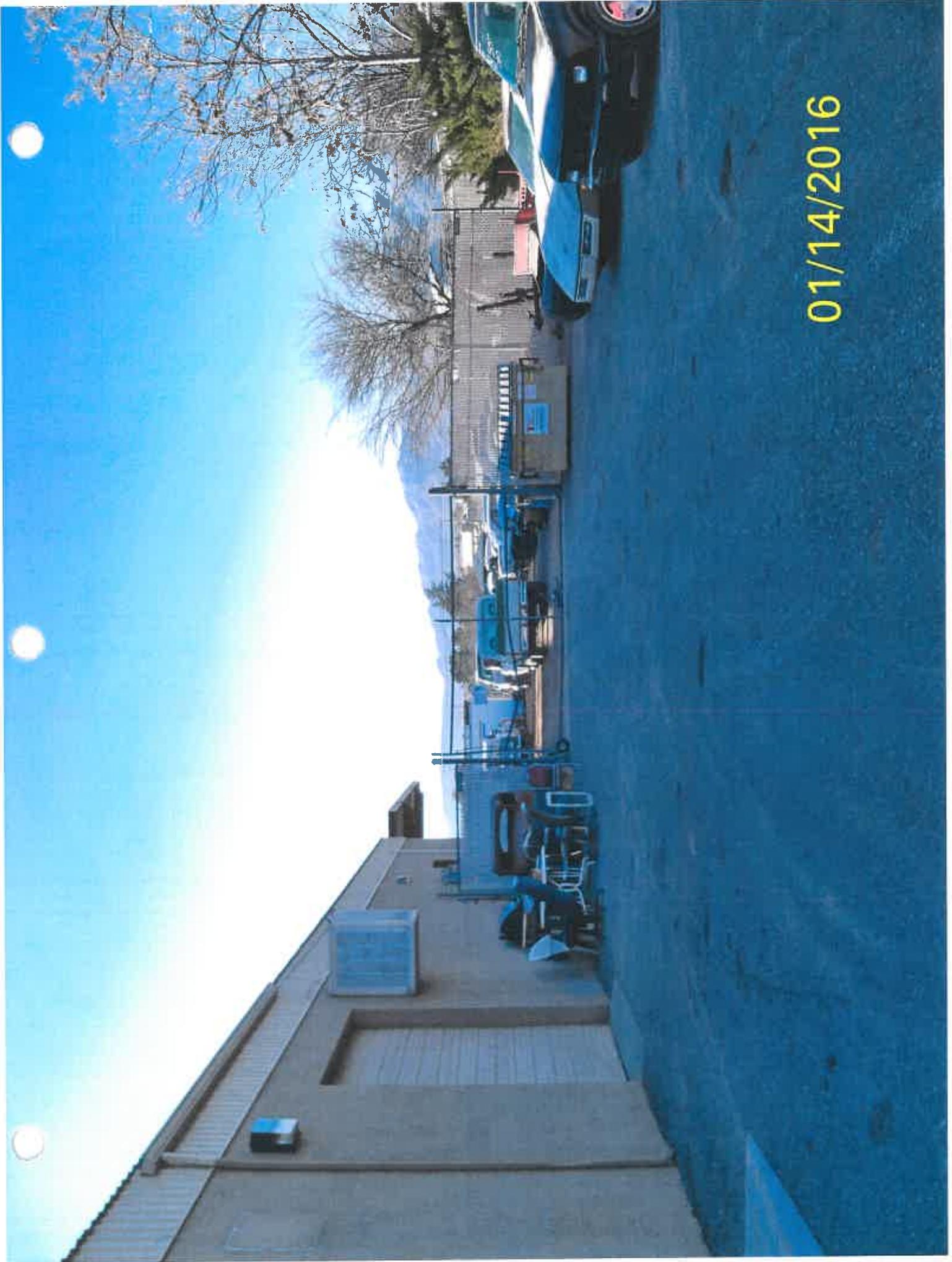
**FRONT
PARKING**



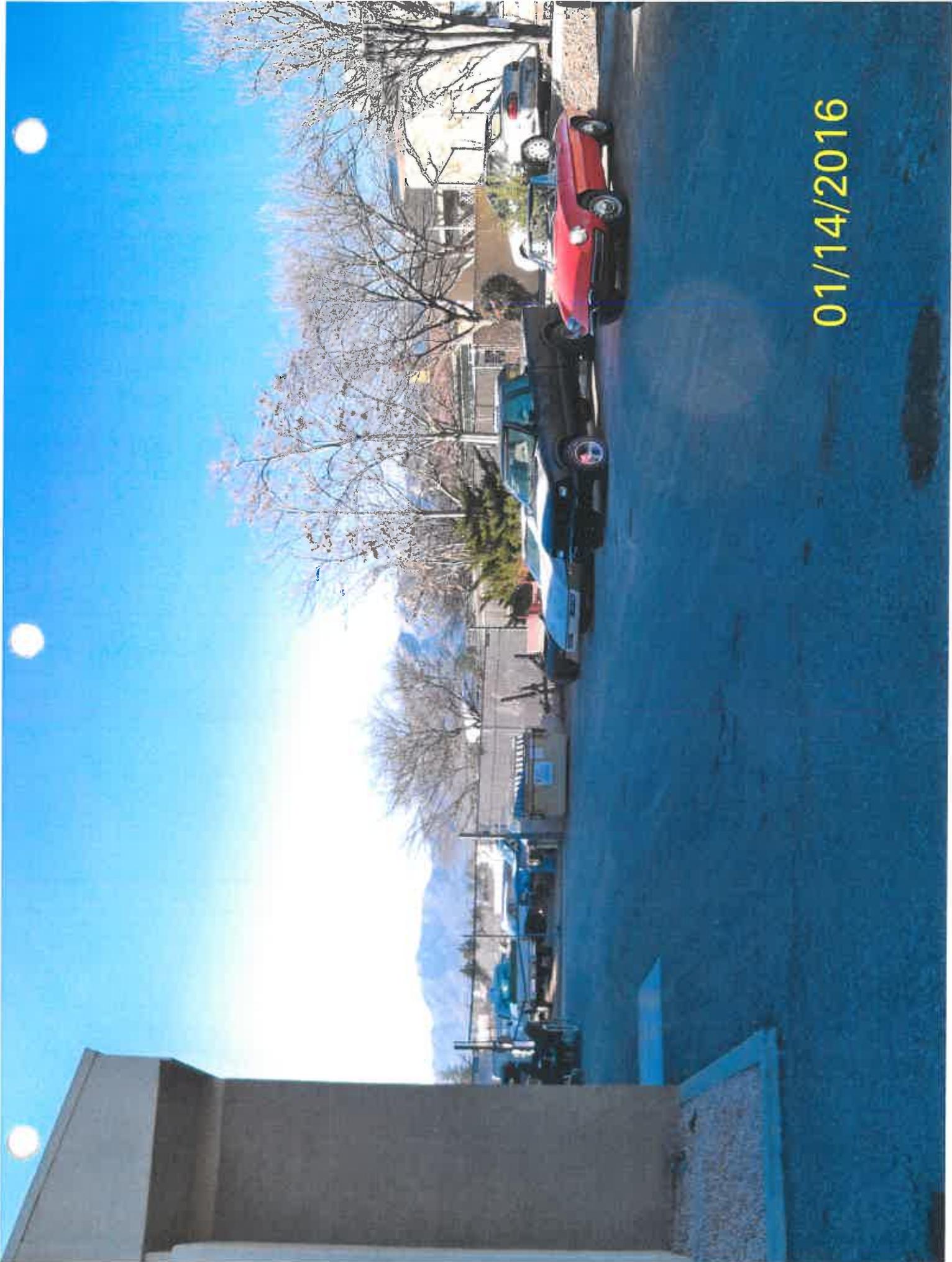
01/14/2016



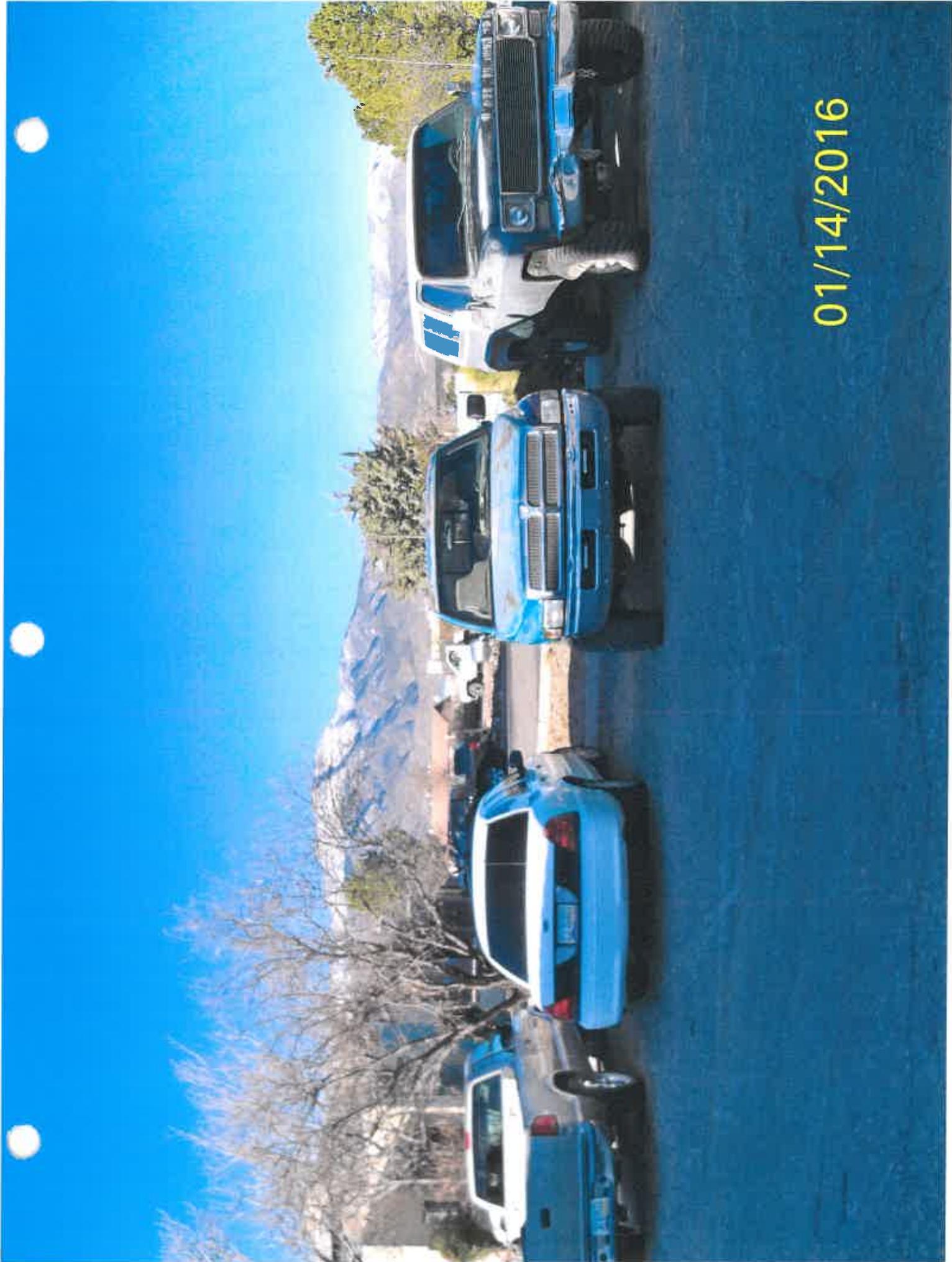
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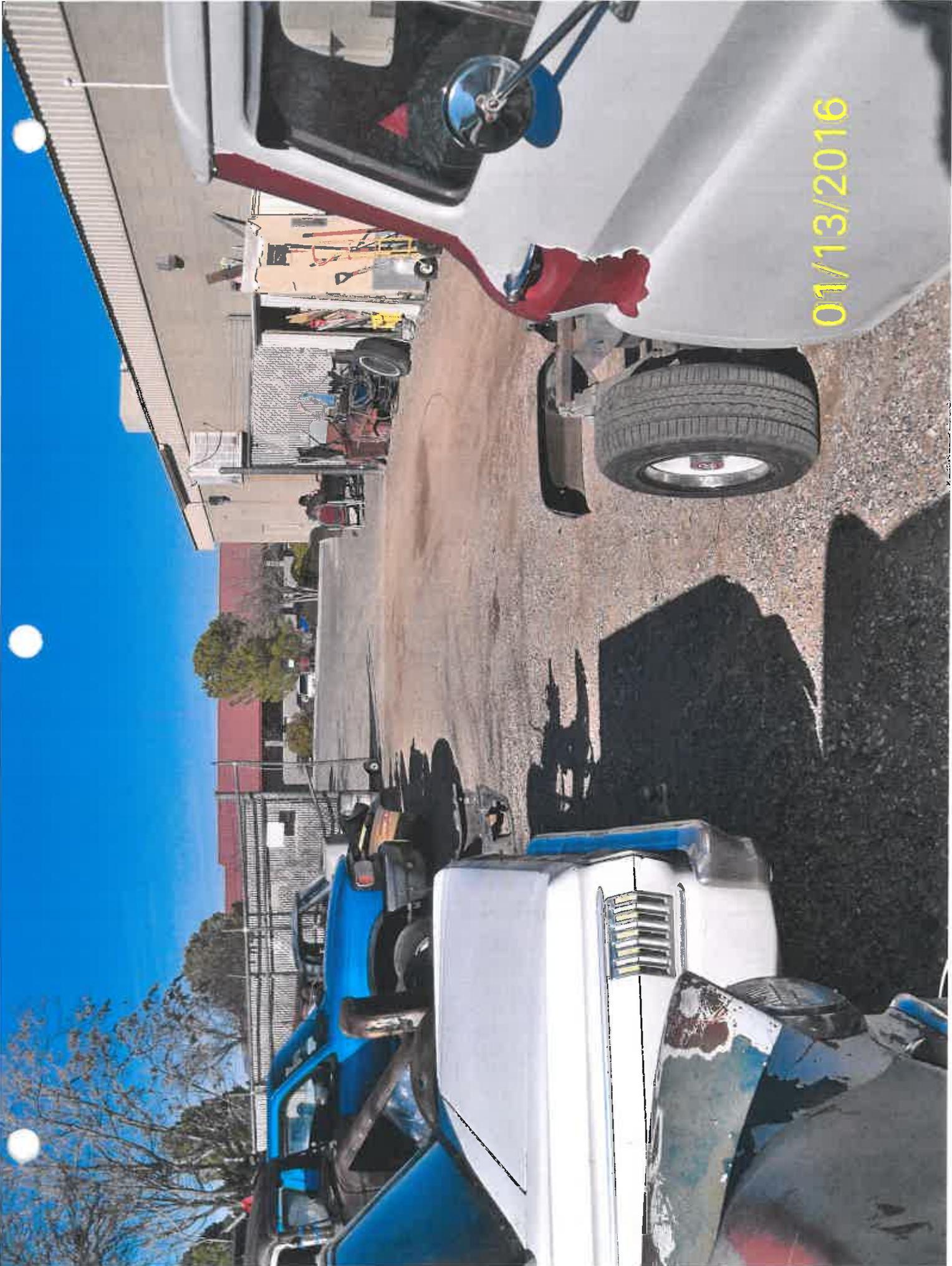
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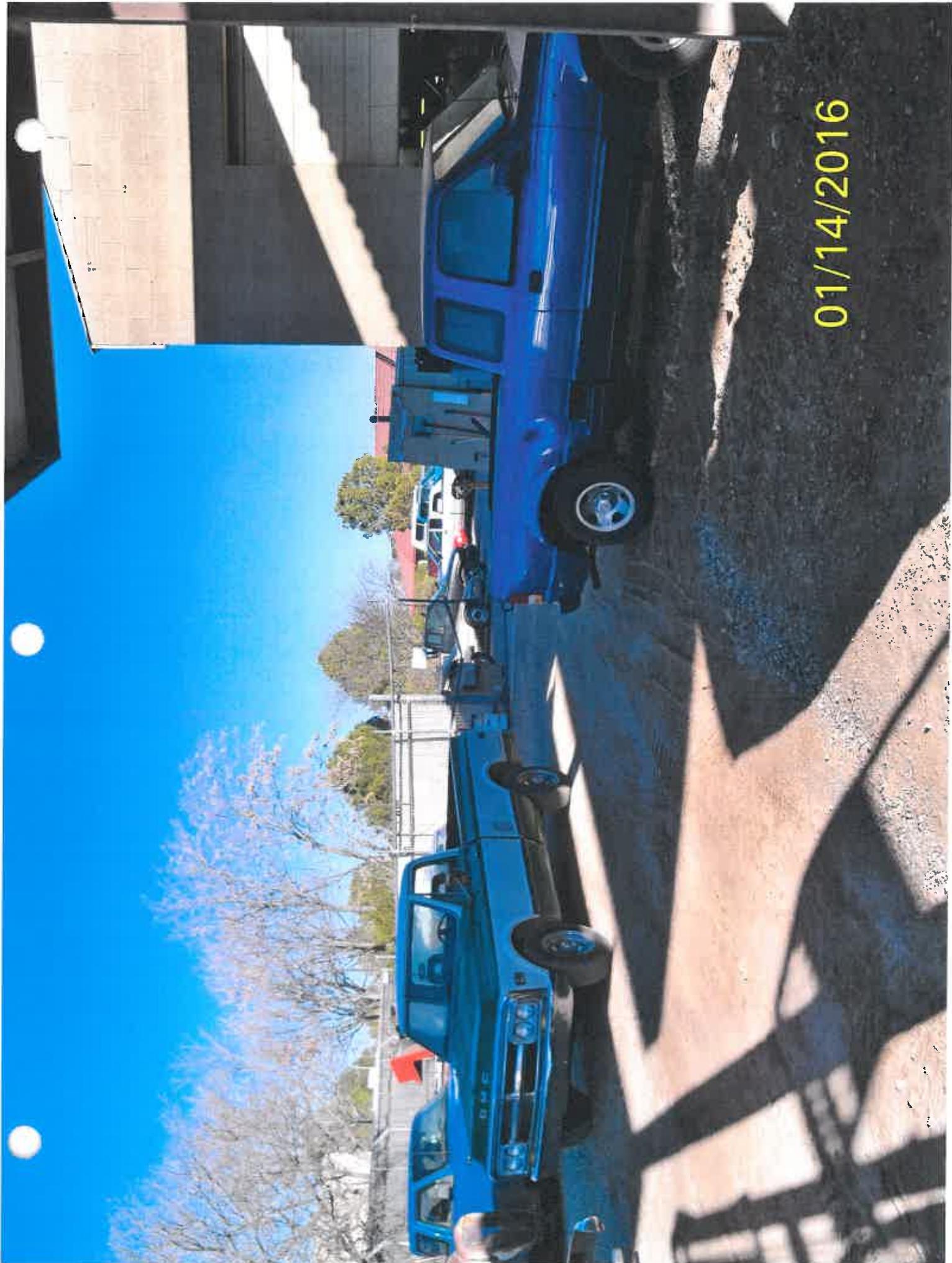


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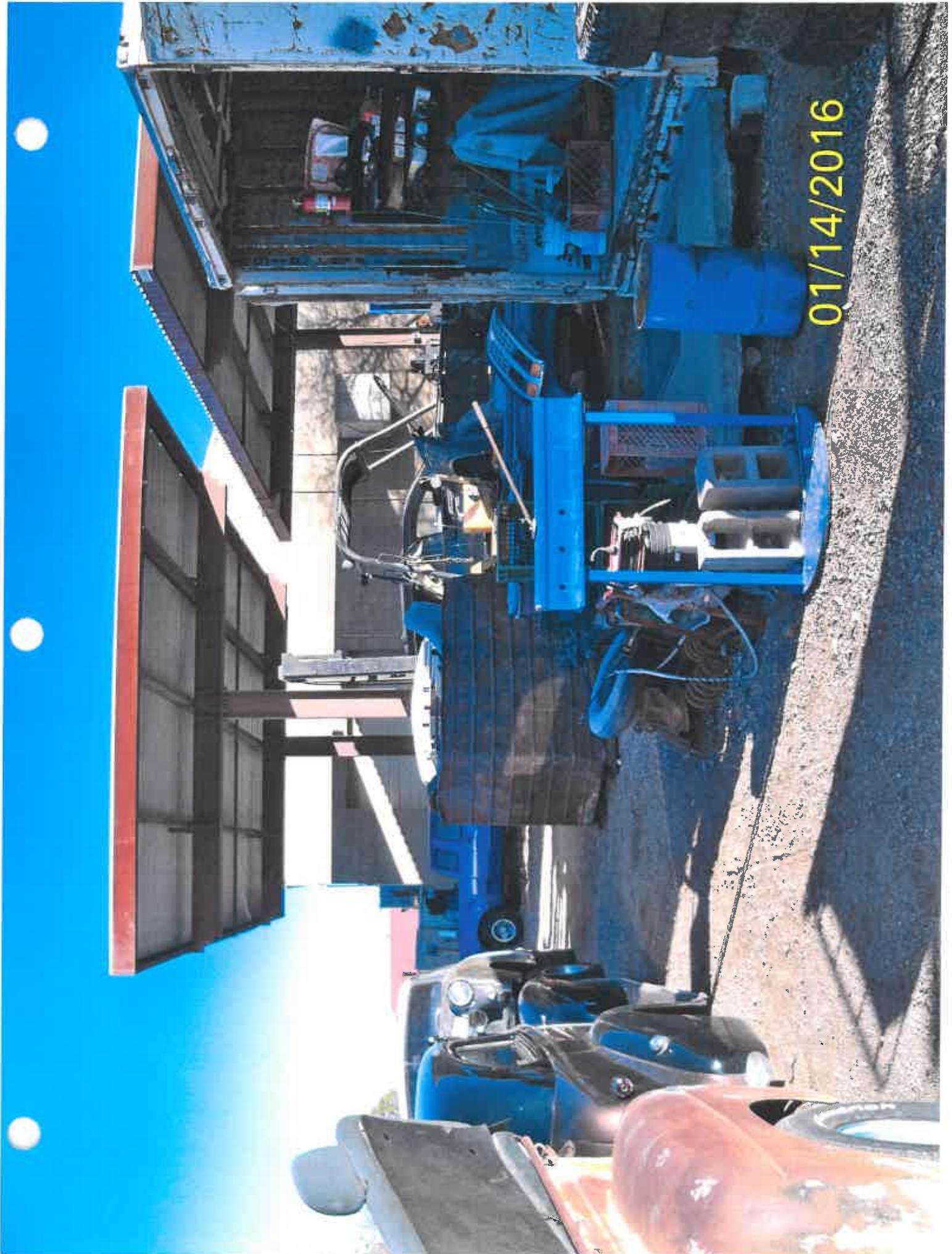


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**STORAGE
AREA**



01/14/2016



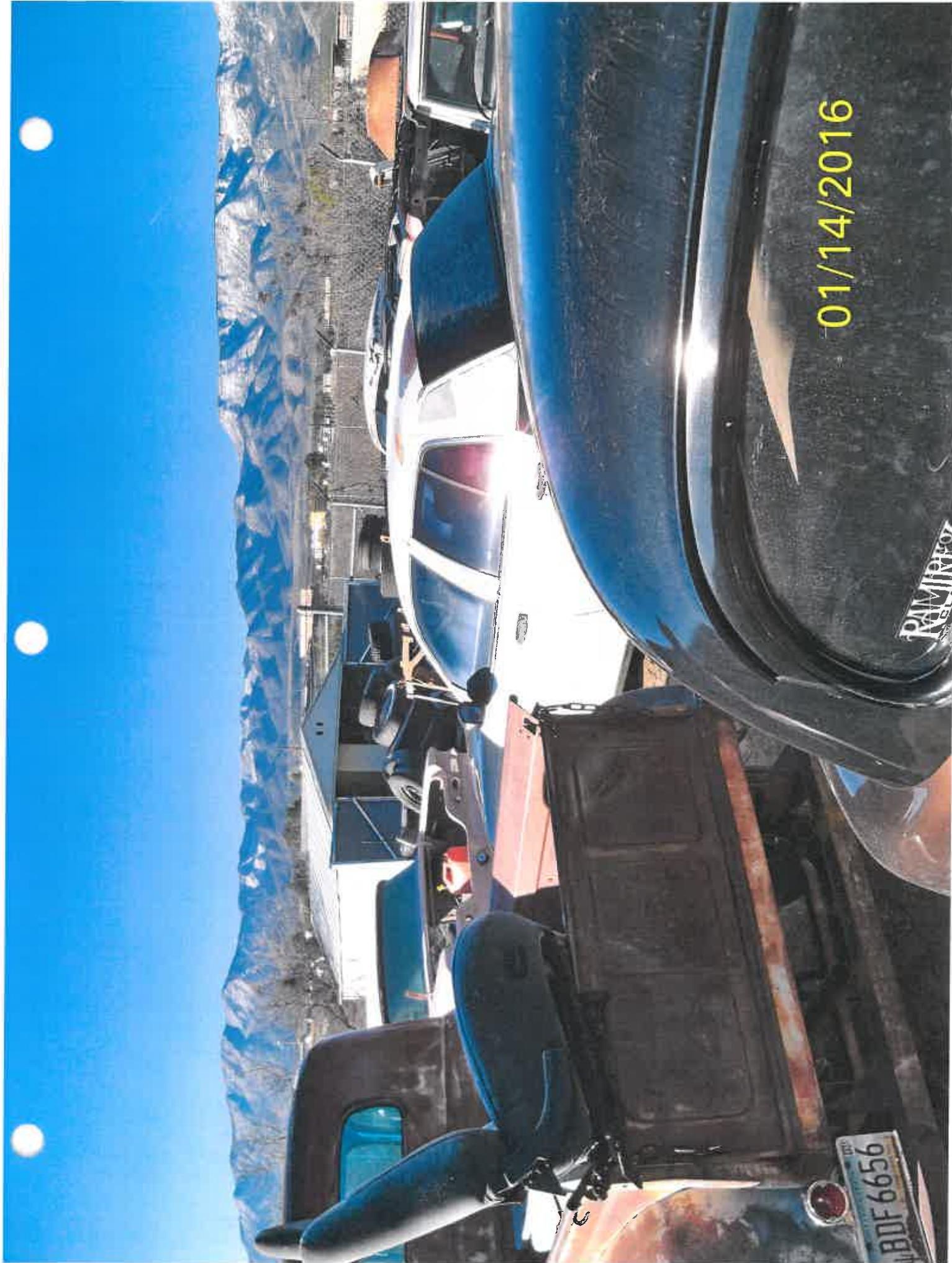
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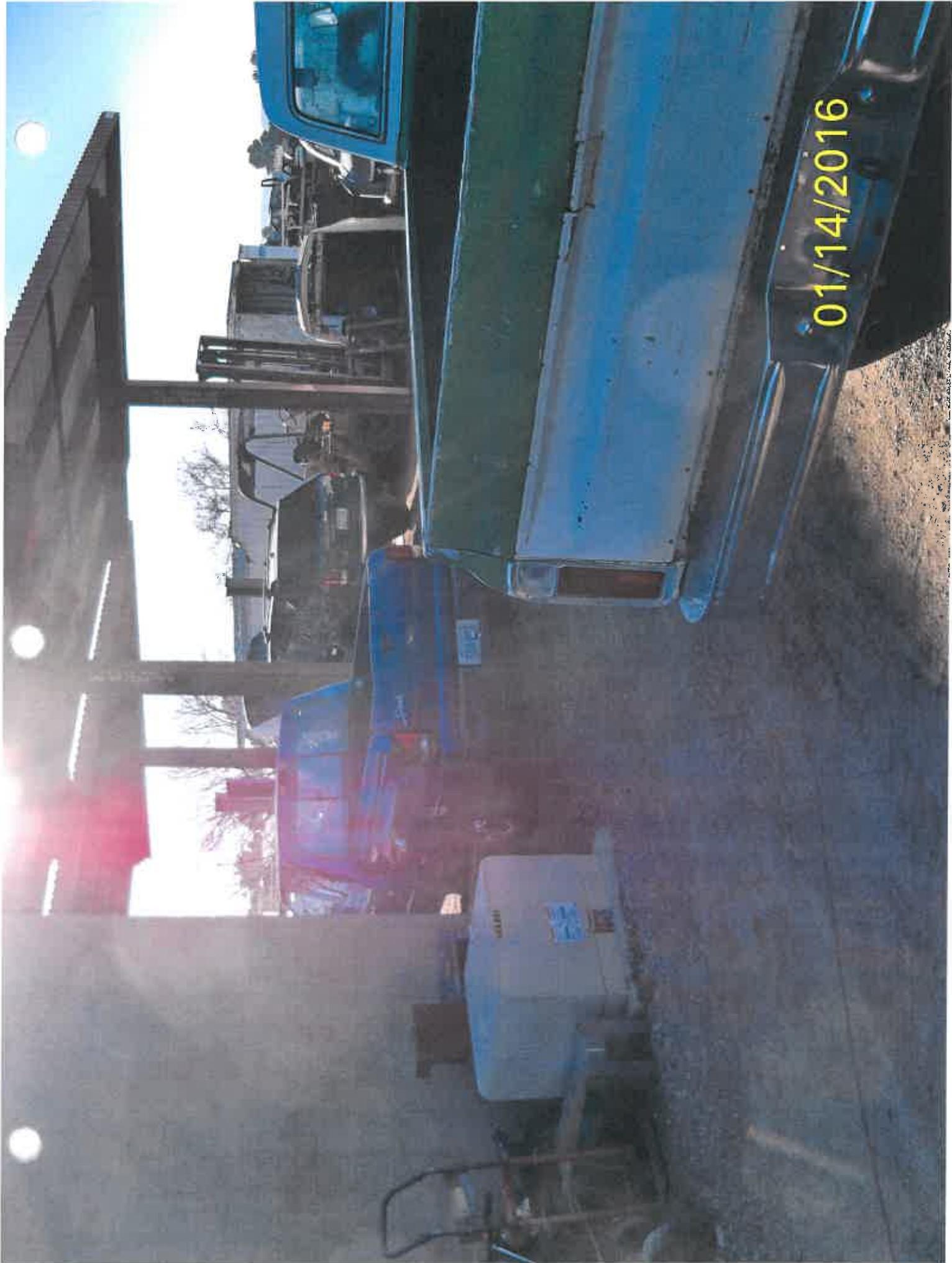
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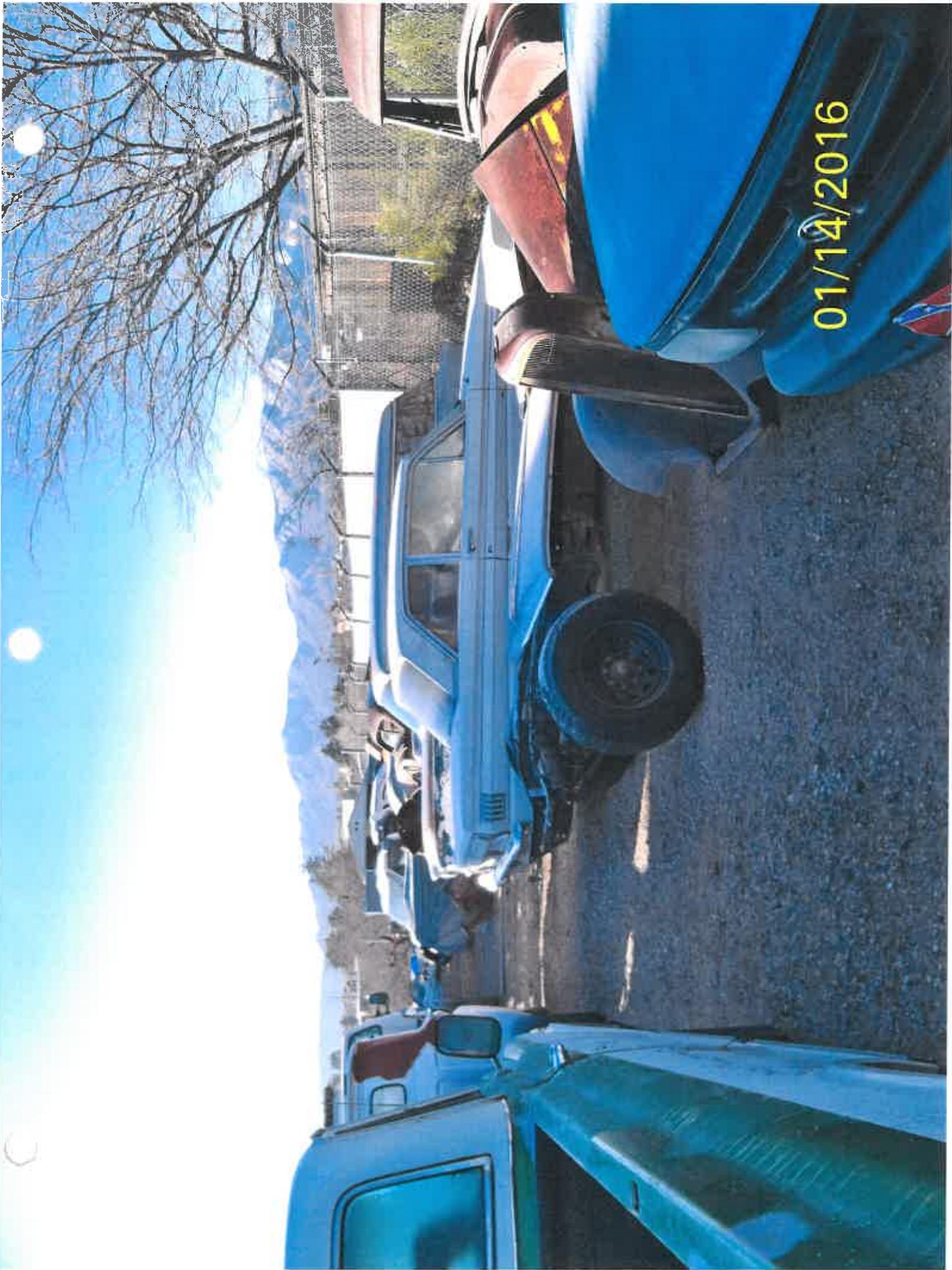




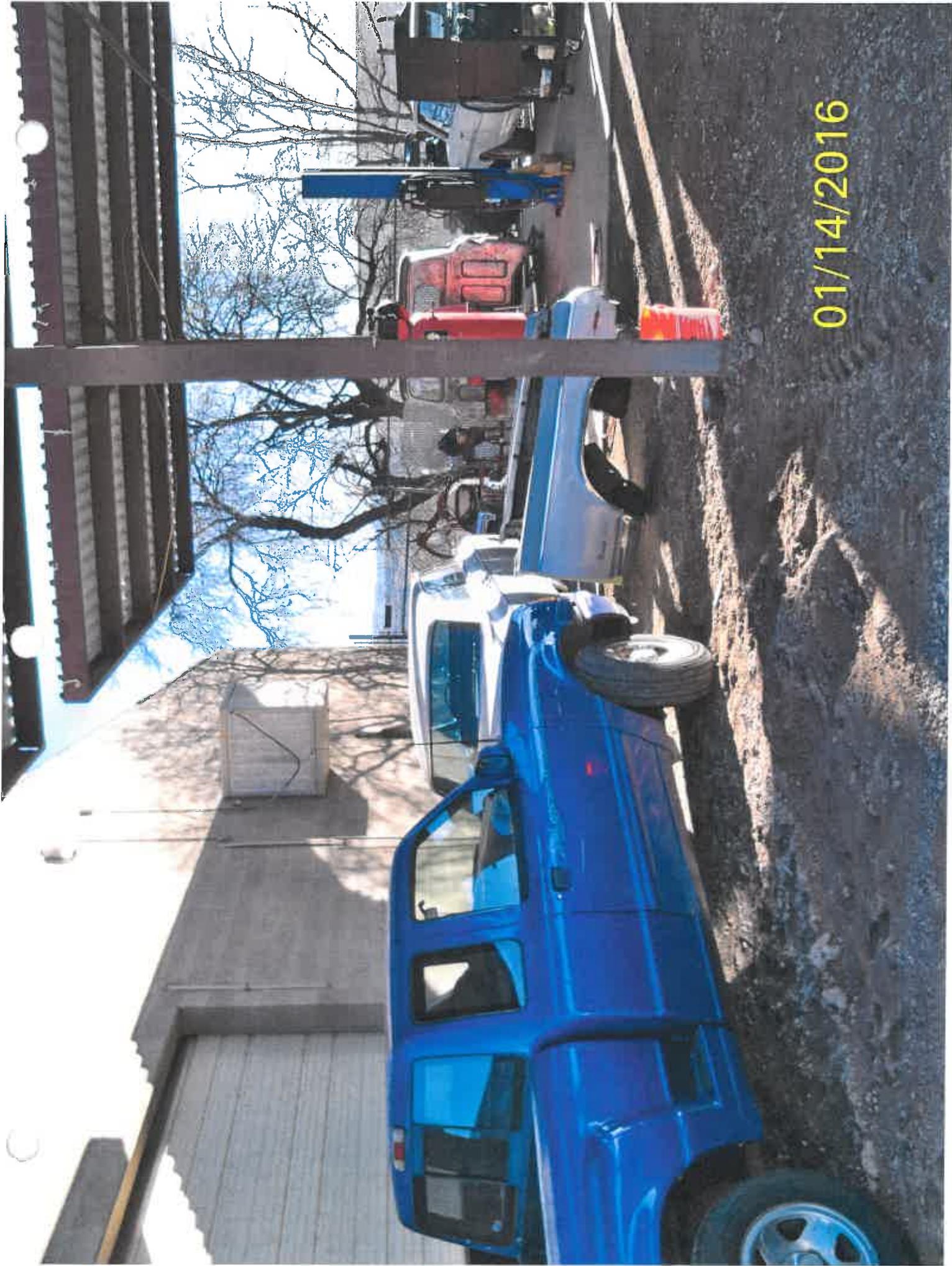


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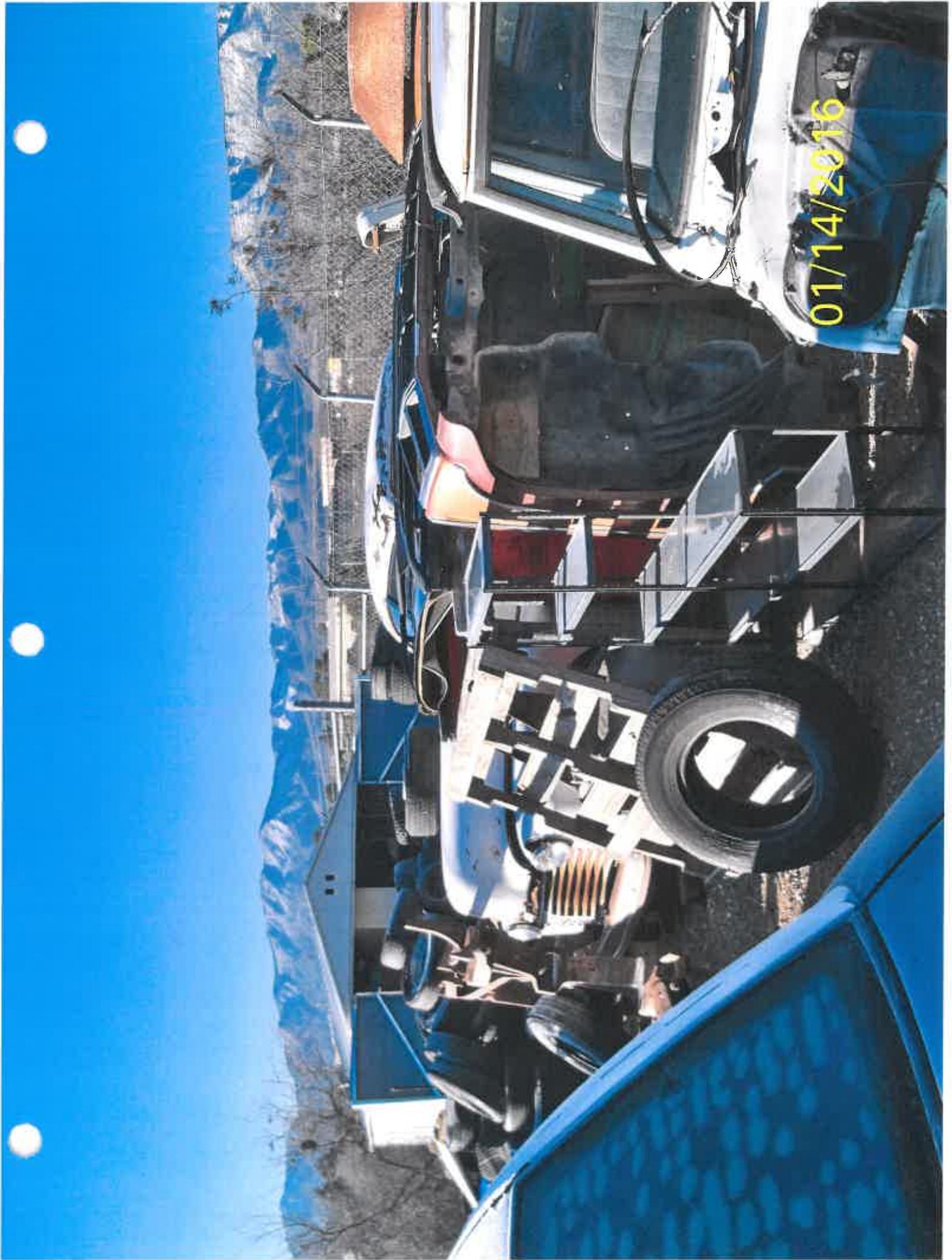




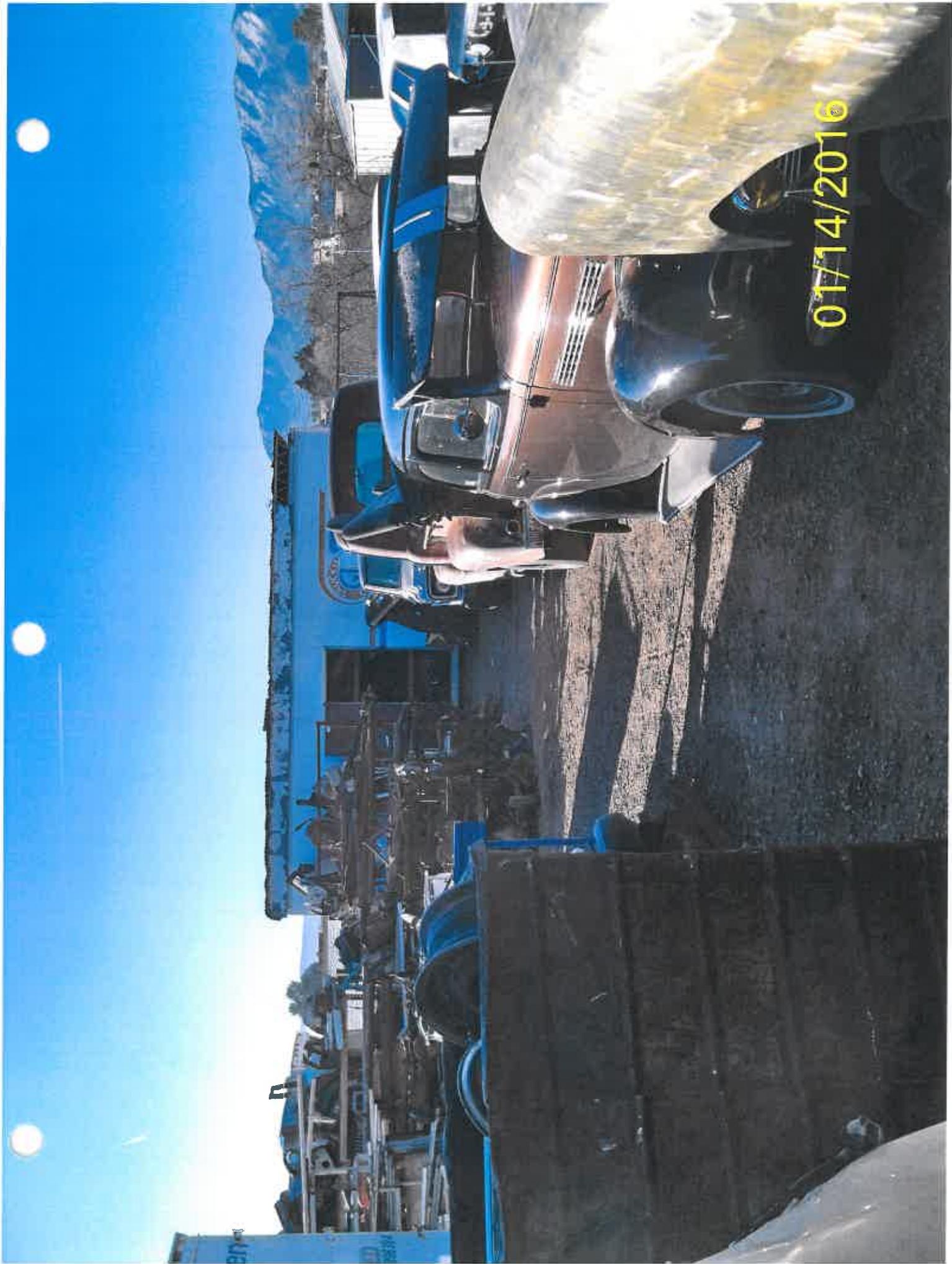
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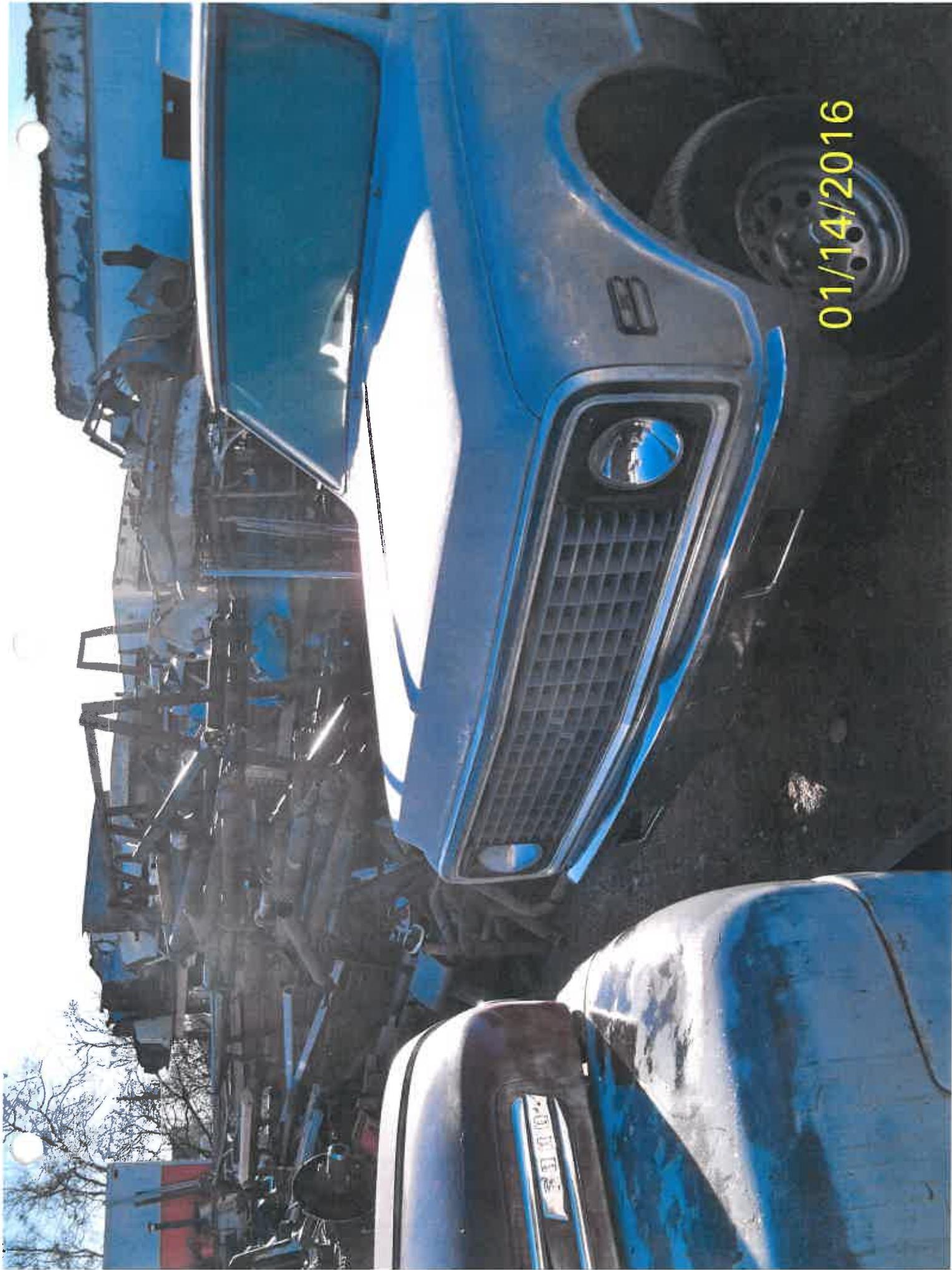


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U-HAUL



01/14/2016

GEMINI

**NEIGHBOR'S
DOCUMENTS**

January 9, 2016

Dear Commission,

My name is Sandra Trautman, my husband Steven and I purchased the Canine Country Club (CCC) in March, 2009. Prior to our offer on the property, we researched the property and the East Cherry Corporate Park's CLR's along with inner city regulations on businesses and junk yards. This information was extremely accessible at the Planning and Zoning Department and in the lobby of the Cottonwood Police Department.

Steven and I believed that we would be protected as property/business owners by the city guidelines and regulations on renters and incoming business being issued Certificate of Occupancy and Business licenses prior to the city code enforcement checking out the area/buildings requirements and use of property.

For the past Seven (7) years my staff and I have worked very hard to improve the property, business and community by giving the clients a sanitary, affordable, professional and safe place to leave their pets for pleasure or emergencies.

Since the Wesies Customs have moved in two (2) years ago we have been continuously bothered with cars burning rubber, loud engines revving, toxic orders and diesel clouds wafting through the property into the air vents which bothers my animals, staff and clients.

My clients ask us how we are doing with a junk yard next door and complain about the smoke and odors coming from their property. This has affected my business, animals and staffs health. I believe that it will affect the value of the property and the business if I choose to sell. Also, my building and property is designed for a kennel and grooming shop only, his business can be located anywhere.

This year was the first year that I have ever had a rodent problem, it is the second year that the junk yard (storage area) has been next door. I approached Bob the owner of Wesies Customs regarding this issue, and his idea of a solution was to poison the rodents, and have non neutered and non-spayed cats running around the property.

Unfortunately, this solution only compounds the problem for my business. When dying, animals usually run for water and what better place to look for water, but the animal hotel next door. If one of my animals were to happen to eat one of the poisoned mice, what would that do to my business and my reputation, how would I tell one of my clients that their pet died due to eating a poisoned rodent?

Every year I pay over \$1,000.00 a year to keep my land clean and clear so not to have any issues. Also this is the first year that my kennel dogs that live on property have gotten fleas this again can't be proven but rodents tend to carry fleas this makes it hard to run a professional business to function properly without using pesticides and other things that could harm my animals and hurts my profits of the business.

Please refer to the attached brochures and Web site or Face Book Wesies Customs. Com and watch the videos so you to may experience firsthand what wonderful neighbors that we have had for the past two years.

So in closing I am asking the Members of this Commission to put yourselves in my place as a property/business owner who belongs to the Chamber of Commerce, donates and contributes to the community and has put seven (7) years of blood sweat and tears along with a half a million dollars of loans and repairs into a business that is barley holding on in this economic disaster. A place that is supposed to be protected by the city and corporate park regulations, wouldn't you too be upset and disheartened after two (2) years of phone calls to the proper city agencies. Still, after two (2) years the business is running an illegal operation in a rented building. If Mr. Wesies license was vetted properly prior to moving in to a designated area and proper channels were followed, maybe my business wouldn't be suffering and relations between neighbors unbroken.

I am asking the Commission to help me fix this error and have the building code process begin from the beginning like everyone in the corporate park had to and does comply with. I would like to thank you for your attention to this matter and ask you to refer to Robbie from ABC Auto statement.

See attached

A handwritten signature in black ink, appearing to read "Sandra Trautman". The signature is written in a cursive style with a large, looping initial "S".

Sandra Trautman

Maintenance Requirements for Residential Rental Properties

In 2008, the Cottonwood City Council adopted a local ordinance regarding basic health and safety requirements for residential rental properties. The regulations require minimum standards for public health and safety and apply to both interior and exterior conditions of rental properties.

1. At the request of either the landlord or the tenant, authorized City officials may enter upon a rental property to inspect the interior and exterior conditions of the structure.
2. Landlords and property owners will be contacted by the City regarding unsafe and dangerous conditions identified.
3. Regulations are intended to ensure unsafe, unhealthy or dangerous conditions are removed or fixed.
4. Regulations apply to basic structural conditions of the building, as well as electrical, plumbing, mechanical, lighting, ventilation, heating and cooling, sanitation and fire safety.
5. Regulations do not apply to personal property or personal conditions within the structure.
6. The rental maintenance code applies to exterior conditions of the structure, such as walls, windows and roof. Exterior conditions of the property, including storage of junk, inoperable vehicles or excessive weeds are also subject to property nuisance codes which have been in effect many years.

See: Arizona Revised Statutes, Title 9, Chapter 12 (ARS § 9-1301), "Residential Rental Property Inspection Programs."



City Codes and Ordinances

Information regarding property maintenance regulations can be found in the Cottonwood Municipal Code and Zoning Ordinance.

City of Cottonwood website:
www.ci.cottonwood.az.us

Summary of Key Regulations

- Outdoor storage must be screened behind an approved six foot fence in the rear portion of lot.
- Remove junk automobiles or inoperable vehicles from front yard or areas of property visible from the street or adjacent properties. No more than two (2) such vehicles may be stored in the rear of yard behind approved fence or screening.
- Maintain landscaping. Remove all dead plants. Cut back all grass and weeds on property to help control fire hazard and unsightly conditions.
- Storage or accumulation of junk, trash, construction debris, discarded appliances, old furniture, household waste, landscape cuttings and similar materials is not permitted and is considered a violation of the "public nuisance" section of the Cottonwood Municipal Code.

City of
Cottonwood

Outdoor Storage, Weeds, Junk, Inoperable Autos



**Property Maintenance
Program**

For more information, please contact:
Community Development Department

Phone: (928) 634-5505

Address: 111 North Main Street
Cottonwood, AZ 86326

Web: www.ci.cottonwood.az.us

Outdoor Storage

Outdoor storage shall not be allowed in the required front yard of a lot with the exception of authorized automobiles, trailers, motorcycles, mobile homes, boats, motor homes, growing plants, nursery stock, Christmas trees, service stations displaying new automotive and related merchandise and landscaping items. Where allowed, outdoor storage shall be screened by a six (6) foot high solid masonry wall or a fence or screening of a height and material as allowed, or as required by the Planning and Zoning Commission. Requirements for storage of vehicles, trailers, outdoor retail or automobiles sales are addressed through other regulations. (*Zoning Ordinance Section 404. L Outdoor Storage*)

Trash Collection

Residential properties that are occupied by the owner are required to ensure proper removal of household garbage. The landlord or owners of Residential Rental properties are required to provide or cause to provide authorized trash collection for all residential rental units in the City of Cottonwood. Failure of the Landlord to provide, or cause to provide, trash collection for all rental units shall be a violation of the Cottonwood Municipal Code Title 8, and shall be subject to enforcement as necessary for compliance.

Weeds, Junk and Trash

Weeds and grasses. All premises shall be maintained so that grasses or weeds do not appear as uncontrolled growth lacking maintenance, or consist primarily of dead or damaged materials, or be of sufficient height to be deemed a fire hazard. This section shall not pertain to cultivated flowers and gardens.

All premises shall be kept free from dry bushes, trees, tumbleweeds or other vegetation which create a blighted condition, which may harbor insect or rodent infestations, or which is likely to become a fire hazard or result in a condition which may threaten the health, safety or welfare of the occupants or any adjacent property owners.

Junk, Trash, Debris. A "Public Nuisance" is defined in the Cottonwood Municipal Code as the existence of a dilapidated building or an accumulation of junk, trash, debris, rubbish, weeds, or other accumulations of material which constitute a hazard to public health and safety.

It is considered a violation of the Municipal Code when a landlord or tenant shall have created or allows such condition to remain on their property or adjacent streets, alleys or sidewalks.

All such junk, trash, debris, rubbish, weeds, filth or other accumulations of material that is considered a public nuisance or hazard to public safety must be removed and cleaned up or the owner or tenant may be subject to enforcement actions by the City. (*From the Cottonwood Municipal Code, Title 8, Health and Safety*)

Inoperable Vehicles

No more than 2 junk automobiles may be stored between the rear of the main structure and the rear lot line and shall not be visible from any public street. In no case shall junk automobiles be stored on a lot, tract or parcel unless screened from view from any public street by a screened fence in accordance with the screened fencing provisions of the Zoning Code pertaining to height and materials. (Permit required for new fence. Six foot maximum height for rear and side yards in most cases. Contact the Planning Division for more information.) No more than two (2) junk automobiles shall be stored on any lot, tract or parcel unless authorized by Conditional Use Permit granted by the Planning and Zoning Commission. (*Zoning Ordinance Section 404. L Junk Automobiles*)

Storage and Parking of Mobile Homes and Trailers

Mobile homes, house trailers, commercial trailers, boat trailers, campers or travel trailers shall not be stored, parked, or located in any zone other than as listed in the zone regulations or as otherwise provided herein, except that the storage of one (1) boat trailer and not more than one (1) uninhabited camper or uninhabited travel trailer shall be allowed for each residence. Such vehicles may not be located in the front yard of a residence. Exceptions allowed for construction trailers and security trailers for approved building projects during construction phase.

NOISE PROCEDURES

Responsible parties. Any contractor, subcontractor, tradesman, materials supplier, owner, or bona fide representative or employee who is present at the job site at the time of a violation of operating outside of authorized time periods will be held responsible.

Emergency exceptions. For cases of urgent necessity or emergency work which are in the interest of public health, safety and welfare, the Building Official may grant an exception for the hours of operation of construction activity. The permit may be granted for a period not to exceed thirty (30) days or less while the emergency exists and may be renewed for periods of thirty (30) days or less while the emergency continues.

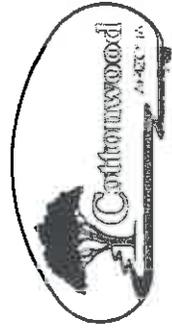
Noise resulting from emergencies, including but not limited to, repair of roofs, windows, doors, electrical, plumbing and mechanical (HVAC) shall be permitted whenever necessary. An emergency shall be defined as any situation where work must be performed in order to prevent serious injury to persons or property.

Stop orders. Whenever any work on a construction project is in violation of the provisions of this section, the Building Official may order the construction project stopped by notice in writing served on any persons responsible for the project, and any such persons shall forthwith stop work on the project

Exemptions. The following noises shall be exempt from the provisions of this section:

Official City activities. Any noise created by City of Cottonwood vehicles, equipment or facilities while being operated for necessary public business.

Official night time work. Excavations or repairs of bridges, streets or highways by or on behalf of the City or the State, at night, when the public welfare and convenience renders it disruptive or inconvenient to perform such work during the day.



City of
Cottonwood

NOISE REGULATIONS for Construction Activity

*Ordinance 547 amending Cottonwood Municipal Code,
Section 9.12.010 Noise Regulations, Adopted by the
Cottonwood City Council 3-17-2009*



**Construction
Noise Regulations**

For more information, please contact:
Community Development Department

Phone: (928) 634-5505

Address: 111 North Main Street
Cottonwood, AZ 86326

Web: www.ci.cottonwood.az.us

Residential zone construction activities. It shall be unlawful for any person within a residential zone or within a radius of five hundred feet (500') therefrom to operate construction, demolition, or excavation equipment; perform any outside construction or repair work on buildings, structures, or projects; or use any industrial power tools or landscaping and yard maintenance equipment, or operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or any other construction-type device in order to erect (including excavate), demolish, alter, or repair any building, street, or highway excluding emergency work, other than during the following time periods, unless allowed by this ordinance, as follows:

- Prior to **6:00 A.M.** and after **7:00 P.M.**
Monday through Friday from the first day of May through the first day of October.
- Prior to **7:00 A.M.** and after **7:00 P.M.**
Monday through Friday during the remainder of the year.
- Prior to **7:00 A.M.** and after **5:00 P.M.**
on Saturdays, Sundays and Legal Holidays throughout the year.

See: *Cottonwood Municipal Code, Section 9.12.010 Noise Regulations*

Non-residential construction activities. Except where restricted by this Ordinance, it shall be unlawful for any person within a non-residential zone to operate construction, demolition, or excavation equipment; perform any outside construction or repair work on buildings, structures, or projects; or use any industrial power tools or landscaping and yard maintenance equipment, or operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or any other construction-type device in order to erect (including excavate), demolish, alter, or repair any building, street, or highway excluding emergency work, other than during the following time periods, unless allowed by this ordinance, as follows:

- Prior to **5:00 A.M.** and after **7:00 P.M.**
Monday through Friday from the first day of May through the first day of October.
- Prior to **6:00 A.M.** and after **7:00 P.M.**
Monday through Friday during the remainder of the year.
- Prior to **7:00 A.M.** and after **5:00 P.M.**
on Saturdays, Sundays and Legal Holidays throughout the year.

Permanent exceptions: If the Building Official should determine that the public health, safety and welfare will not be impaired by the erection, demolition, alteration, or repair (including excavation) of any building or the excavation of streets and highways at such times other than allowed by this ordinance, the Building Official may grant permission for such work to be done at times other than those permitted by this Ordinance upon application being made in writing at the time the permit for the work is awarded or during the progress of the work and such work may continue through the authorization of the construction permit provided there are no complaints from neighboring properties or the general public at which time said exception to the hours of operation will be reconsidered and may be revoked.

Mufflers. All engine driven equipment or motorized equipment used in construction and demolition activity shall be operated with a muffler. Construction tools or equipment shall be in good working condition and shall be operated properly according to the manufacturers' instructions and applicable federal and state regulations.

Robbie (928) 301-2434

(SAUDY)
(STEVE)

WESIE'S CUSTOMS

STATE OF ARIZONA, County of Yavapai—
I do hereby certify that the within instrument was filed and recorded at the request of Town of Cottonwood
on JUN 30 2000 11 50 AM o'clock Book 1275 Official Records Page 575-576-577
Records of Yavapai County, Arizona. WITNESS my hand and official seal the day and year first above written.

CHERRY PARK DEED RESTRICTIONS

1. No operations shall emit noises which exceed levels established by appropriate authorities.
2. No operations of a nature which pollutes the environment shall be allowed.
3. No auto wrecking yards will be allowed.
4. No toxic or explosive materials which would endanger neighboring areas shall be used.
5. Construction shall be of new materials and no used buildings may be moved into the Park.
6. No mobile homes or mobile offices shall be located within the park.
7. Outdoor storage of raw materials, finished products or merchandise held for sale shall be allowed only within areas shielded by solid walls or fences, except limited front display areas may be allowed.
8. Fences and walls shall be constructed to observe the same setbacks as buildings except that fences or walls for architectural effect or traffic control may extend beyond the front of the building provided said fence or wall does not exceed three feet in height.
9. Walls and fences constructed to shield materials referred to in Covenant No. 7 shall be no less than six feet in height and no materials shall be stacked higher than the property fence.
10. Front of buildings shall be kept in good repair and maintained in such a way as to present an attractive appearance.
11. No accumulations of trash, debris or junk, including but not limited to junk cars, shall be allowed in view.
12. No easements through lots to properties outside Cherry Park shall be allowed without express written consent of the developers.
13. Building setbacks shall conform with Town of Cottonwood requirements.
14. Front parking areas shall be surfaced and dust free.



300

BOOK 1275 PAGE 575

15. All purchasers of lots along Cherry Street shall be entitled to a sign, design, position and size of which shall be prescribed by developers within the parameters of the Town of Cottonwood's sign ordinance, at the corner of Cherry Street and Main Street. Signing shall be at the expense of the lot owner.

16. Plans for building of any type shall be approved in writing by the architectural committee consisting of Dan F. Mabery, Doug Bergsma and Charles F. Mabery. Successors to members of the initial committee shall be named by members of the initial committee until such time as the developers determine otherwise.

17. In order to establish and maintain an attractive appearance, landscaping shall be established along the street frontage of each lot in the area lying between the curb (or sidewalk) and any buildings or loading and parking areas except for necessary driveways which shall be well defined.

All area within ten feet of the curb must be landscaped. No less than ten shrubs or trees of which at least three must be fifteen gallon size or larger shall be used in landscaping. No trees or shrubs, new or existing, over four feet in height shall be allowed within 20 feet of a front driveway. Any existing plants on the property at the time of original purchase which are retained by the buyer shall be trimmed and maintained.

18. Access drives on lots facing Cherry Street shall be well defined by landscaping borders. Driveways shall begin no closer to side lot lines than five feet and shall be no wider than 30 feet. Should more than one access driveway be established on the same lot, there shall be a minimum of five feet between them.

19. For purposes of garbage and trash pickup and emergency access to the rear of each lot, a 12-foot access shall be left vacant and unobstructed from front and back according to the following schedule:

- 1) Along the easterly boundary of Lot 9.
- 2) Along the easterly boundary of Lot 5.
- 3) Along the easterly boundary of Lot 3.
- 4) Along the westerly boundary of Lot 2.

These access designations may be altered in the event of lots being combined, with consent of the developers, but will revert to conformation of the above restrictions at such time as the lots are returned to use as originally platted.

MS 1275 MS 576

20. It is understood these covenants are drawn primarily for lots fronting on Cherry Street and that there may be some variations from these restrictions on lots fronting Main Street. Variations which do not detract from Cherry Park or adjoining properties may be negotiated with the developers.

Violators of these covenants shall be brought into compliance through whatever force of law, including injunctive action, may be required. If such effort to force compliance requires court action, violators shall be liable for attorney fees, court costs and any other expenses incurred in effecting compliance. Such action against violators may be initiated by the developers or any other owners of Cherry Park properties.

DATED: January 30, 1980

Ben F. Mabery President
WACI MAGANN CORPORATION

STATE OF ARIZONA)
COUNTY OF YAVAPAI) ss:

This instrument was acknowledged before me, Linda S. Weadon, this 30th day of January, 1980 by Ben F. Mabery, President of WACI MAGANN CORPORATION.

In witness whereof I have hereunto set my hand and official seal.



Linda S. Weadon
NOTARY PUBLIC

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STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: January 25, 2016

PROJECT NUMBER: **PCU 16-004 Terra Beni**

The applicant is requesting approval of a Conditional Use Permit to allow agricultural land use. The proposed site is located on S. Willard St. north of E. Tierra Verde Dr., which is zoned I-2 (Heavy Industrial).

PROJECT DATA AND FACTS:

Applicant/Agent	Bernadette Selna
Property Owner	Beaver Creek Development Inc., et al.
Location of Property	S. Willard St. north of E. Tierra Verde Dr.
Present Zoning and Land Use	I-2 (Heavy Industry, empty lots)
Description of Applicant’s Request	To implement agricultural land use on the vacant parcels to grow and sell local produce at farmer’s markets.

LAND USE:

Description and Character of Surrounding Area
Three large pieces of property are located east of S. Willard Street, north of E. Tierra Verde Drive, and south of Crimson Road and Clover Way. A smaller piece of the property is on the west side of S. Willard Street, east of S. Airpark Road. All of the land is currently vacant and undeveloped. Surrounding uses include industrial and residential.

Adjacent Land Uses and Zoning	
North:	I-2 - Heavy Industry – Various industrial uses and empty lots.
South:	AR-43 - Agricultural Residential – Single family homes.
East:	MH - Manufactured Home – Manufactured home subdivision.
West:	I-2 - Heavy Industry – Vacant lots, airport hangars, Cottonwood Airport.

PROJECT PROPOSAL:

Background:

The property owner would like to use 3 parcels, approximately 25.84 acres, of land in an industrial zone to develop agricultural uses. The intent is to grow local produce to sell at farmer's markets and set up on-site produce stands to sell from. The project will develop in phases, beginning with prepping of the land and starting with easily grown produce.

Parking:

Various sections of parking will be available off the east side of S. Willard Street, and off the north side of the property.

Lighting:

Lighting has not been proposed for this project.

Signage:

Signage has not been proposed for this project.

Access:

Will be accessed through Clover Way on the north end of the property to start. During phase II and/or III additional entrances will be added on Willard Street and Airpark Road. Interior roads will be available for farming equipment only.

Landscape Plans:

No landscaping is proposed for this project.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on December 22, 2015 and applicant will be required to adhere to comments from staff.

REQUIRED FINDINGS:

General Findings:

An agricultural use in the industrial zone can be considered a compatible use with industrial use. With it being located in a Heavy Industrial area, it will require approval of a Conditional Use Permit. This type of use should not create any detrimental impacts to neighboring property owners.

Compatibility with Surroundings Uses:

Agricultural use is not a conflicting use with Industrial. There are very similar aspects of each use that complement each other such as, hours of operation, production, processing, outdoor storage, noise, machinery, etc.

Traffic and Circulation:

No traffic impact issues.

Infrastructure:

The property owner will be working with the utility department to allow use of reclaimed water for irrigation purposes.

Nuisance Activities:

Staff has received at least four phone calls from neighboring property owners requesting information about the type of agriculture being done. The only concern raised was with fertilizer, which the applicant has indicated will not impact any neighbors.

Dust could be a possible nuisance from machinery and harvesting of produce.

Buffering and Screening:

Where practical, staff recommends landscaping as a buffer between different zoning districts. An agricultural use with planting produce will be similar to a landscape buffer and should provide an aesthetic site. The applicant is also proposing a barbed-wire fence to surround the property.

Stipulations:

Staff has reviewed this project and finds it fits within the Cottonwood General Plan Land Use requirements, and needs a Conditional Use Permit. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted 01-12-16 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 12-24-15.
3. Parking will need to be reviewed and approved by staff.
4. Dust control will be required over the life of the project. Applicant will submit dust control plan to staff for approval.
5. A lighting plan will need to be submitted and approved by staff prior to installation of any lighting structures. All lighting must meet Dark Sky requirements and ordinance requirements.
6. All structures will need building permits and approval.
7. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
8. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
9. Any other stipulations the Planning & Zoning Commission deems necessary.

December 7, 2015

Letter of Intent for Farm on Willard Street, Cottonwood, Arizona

From: Beaver Creek Development Company, Inc., etal. Land owner
Bernadette Selna, Contact Person and Project Manager
P. O. Box 35
Jerome, Arizona 86331

To: City of Cottonwood
Community Development Department
Berrin Nejad, Manager
111 North Main Street
Cottonwood, Arizona 86326

Re: Parcel #s 406-08-009D	~ 5.3 acres
406-08-009C	~ 5.3 acres
406-08-010A	~15.1 acres
Totaling	~21.7 acres

Please refer to attached Yavapai County parcel map for above referenced properties. Said properties are owned by Beaver Creek Development Company, Inc. et.al. hereinafter referenced as BC. Bernadette Selna, a principal in the company, is the agriculture project business manager. The site is located on Willard Street, Cottonwood, Arizona, roughly between Crimson Road and East Tierra Verde Drive.

The land is proposed to be used for agricultural purposes. The project will be implemented in phases. Please see Exhibit "A."

This is a simple project that requires no permanent structures, has no historic or topographic features to be addressed, and has no deed restrictions attached to the land. There have been no prior reviews or requests for reviews.

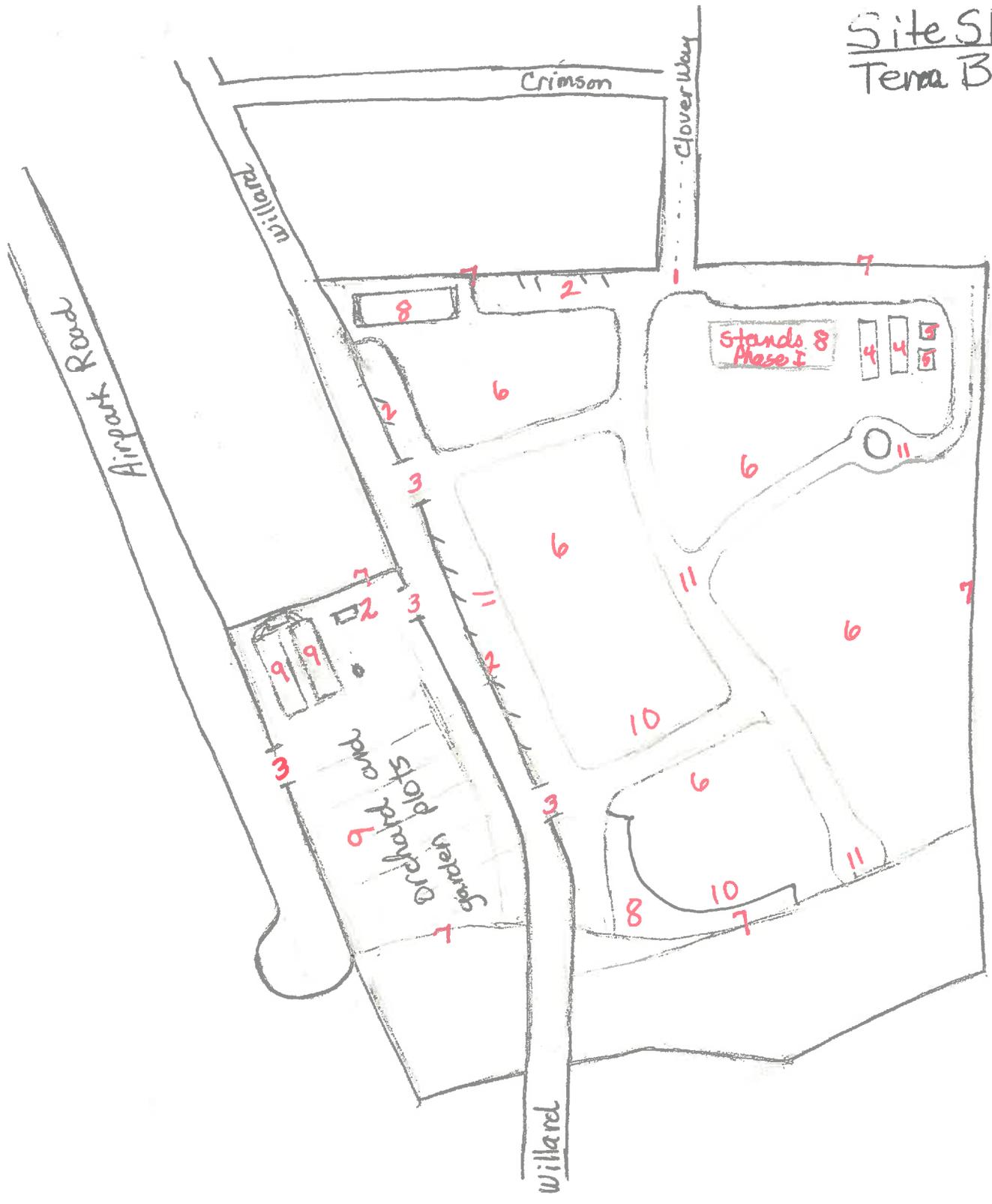
This is not a request for a zoning change. The property is currently zoned industrial, an appropriate zone for the proposed conditional use request. The land will be used for agriculture purposes and will need a special agriculture barbed-wire fence. The proposed use request is appropriate to the land due to the close proximity of reclaimed water, an efficient and environmentally sound application of limited resources. The site will be developed into farmland open space with food production on site, making the land an asset to the community in terms of food, controlled open space, and aesthetics. The land is naturally suited for food production and does not require excavation. The current growth of Spanish broom weed, an invasive and highly allergenic species, will be removed and replaced with aesthetically pleasing farm lands.

Bernadette Selna
Project Manager for
Beaver Creek Development Company, Inc, et.al.
P. O. Box 35
Jerome, Arizona 86331

DIAGRAM AND MAP LEGEND

1. Cattle Gate flat entry at end point of Clover Way
 - a. Main access to property, gate entry
 - b. Phases I, II, III
2. Parking
3. Sidewalk breaks
 - a. Future vehicle access, Phases II and III
4. Solar refrigeration
 - a. Non-permanent and mobile trailer units
 - b. Seasonal, only during production periods
5. Farm Sheds
 - a. Non permanent structures
6. Seed Cover Crop
 - a. Phases I, II, III
7. Fencing
 - a. Perimeter of property lines, except where the property edge is in the middle of a wash; fence will then be at the appropriate location as contour of land dictates
 - b. Best use of land
8. Stands
 - a. Phases II and III
 - b. Seasonal and Mobile
 - c. Part of project services as a result of farm, not project content
9. Closed Environment System Hoop Houses
 - a. 30'x60' non-permanent structures
 - b. Closed environmental ecology system
 - c. Enclosed hen house and compost tube
10. Airpark Road Access to Willard West
 - a. Phase II or III
11. Farm Roads - Access Areas

Site Sketch Terra Beni



Terra Beni Timeline and Schedule

Refer to Site Sketch Diagram

Phase I	December 2015 - January 2016	<p>Prep 18 acres soil for spring seeding and planting</p> <ul style="list-style-type: none"> • Grubbing *1 <ul style="list-style-type: none"> • Pull, Pile, Burn vegetation (broom weed, cat claw; leave mesquite • Burn permit obtained by construction crew • Notice to appropriate fire department • Soil Test <ul style="list-style-type: none"> • Determine deficiencies, organically correct soil (cover crops that affix nitrogen, crops for micronutrients, herbs and crops for natural critter repellent, low water usage, air quality • Grading <ul style="list-style-type: none"> • No grading necessary; irrigation by sprinkler system, not flood • Existing grading plan on file with City of Cottonwood attached to this piece of property specifically
	January 1, 2016 - February 15, 2016	<p>Perimeter fence parcel on east side of Willard, Parking</p> <ul style="list-style-type: none"> • *7 Standard cattle fence, three-line barbed wire • *1 Fencing to include gate entry at pavement end on Clover Street • *3 Fencing to include gate entries on Willard, north and south edges of property boundaries (sidewalk cuts and gates to come in Phase III) • *2 Parking and market “floor;” Clover Street access Gravel foundation, use of natural resources already on property, the intent is to allow water to naturally absorb into the ground, improving land conditions. Natural drainage will be enhanced for water absorption and retention on property, not washed away. • *7 Fence Willard (West side)
	January 1, 2016 - February 15, 2016	<p>Install irrigation and water system to entire property *5</p> <ul style="list-style-type: none"> • Sprinkler system to follow natural contour of land in order to maximize use of existing grade, leaving proper water drainage and absorption undisturbed. • No flood irrigation, optimizing water usage, proper drainage, and natural land preservation and soil improvement. • Farm roads access paths <p>Note: Project personnel and City of Cottonwood personnel are collaborating on water:</p> <ul style="list-style-type: none"> • Reclaimed water usage • Well water lines future date installation • Use existing? Water pressure? Line size? Road Bore? (moratorium has expired, as per preliminary hearing) • Terra Beni Project plans are to replicate existing City of Cottonwood irrigation system on nearby property

	February - June, 2016	<p>Seed cover crop *6</p> <ul style="list-style-type: none"> • For organic soil improvements as determined by soil test • Exact cover crops will be determined by test outcomes • Turn crop in to top soil for nutrients, micronutrients, and organics; reseed
Phase II	February 2016 - April 30, 2016	<p>Planting: Spring/Summer 2016/Autumn Prep 2016</p> <p>Garden Plots and Orchard *9 West *10 East Prep for fall plantings, both sides of Willard</p> <ul style="list-style-type: none"> • Tree placement to maximize solar movements • Plot placement to maximize tree placement advantages • Irrigation • Closed system hoop houses (not permanent structures--hen house, compost heating tube, environment control)
		<p>Produce Stand, Cottonwood Farmer's Market *8 Supplier/Vendor</p> <ul style="list-style-type: none"> • Location at Clover entrance (Phase I) • Placement of solar farm refrigerator units, mobile not permanent • Future stand locations at north and/or south property entrance on Willard, when produce volume requires relocation and/or additional location
Phase III	August 2016 - September, 2017	<p>*10 Orchard, West side of Willard</p> <p>*3 Vehicular access to West side of Willard (best use of land considerations, may be off Airpark or off Willard)</p> <ul style="list-style-type: none"> • Plant Orchard
		<ul style="list-style-type: none"> • *2 Parking, gravel mulch to maximize water absorption, retention and best use of natural on-site natural resources
		<p>*10 Education garden plots and programs, Fall 2016 and forward</p> <ul style="list-style-type: none"> • School garden plots • Garden to Table individual programs • Family garden plots • Theme plots • Experimental gardens: herbs, companion, climate
		<p>Produce Stand, Cottonwood Farmer's Market Supplier/Vendor</p> <ul style="list-style-type: none"> • Terra Beni plans include being a produce vendor at he Cottonwood Farmer's Market
		<p>*11 Farm Roads and Access Areas</p> <ul style="list-style-type: none"> • Farm truck and vehicular access • Fire access



01/13/2016



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OR ARE CLOSER
APPEAR



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STAFF MEMO

TO: Planning and Zoning Commission
FROM: Charlie Scully, Planner
THROUGH: Berrin Nejad, Community Development Manager
MEETING: January 25, 2016
SUBJECT: **General Plan Annual Update**

REQUESTED ACTION

Review and recommendations for annual report to City Council on the status of the Cottonwood General Plan.

BACKGROUND

The Cottonwood General Plan 2025 was adopted by the City Council on June 3, 2014, and ratified by the voters of Cottonwood on November 4, 2014. As per Arizona Revised Statutes, the City planning agency shall provide an annual update to the City Council on the progress and implementation of the Plan.

The report is presented to the Planning and Zoning Commission for review and recommendations to be forwarded to the City Council. The recommendation is to develop a model report or template that can be updated on an annual basis.

Arizona Revised Statutes §9-461.07. Administration of general plan

A. After the municipal legislative body has adopted a General Plan, or amendment thereto, the planning agency shall undertake the following actions to encourage effectuation of the plan:

1. Investigate and make recommendations to the legislative body upon reasonable and practical means for putting into effect the General Plan or part thereof in order that it will serve as a pattern and guide for the orderly growth and development of the municipality and as a basis for the efficient expenditure of its funds relating to the subjects of the general plan. The measures recommended may include plans, regulations, financial reports and capital budgets.
2. Render an annual report to the legislative body on the status of the plan and progress in its application.

STAFF ANALYSIS

Annual Update – Review of Plan Implementation

Indicators for measuring the status of the General Plan implementation are based on the Goals and Objectives sections found in each of the 10 Plan Elements. The Goals and Objectives are assembled in a combined table format with an area for notes.

In addition, various recommendations described in the text sections of the Plan can also be included with the annual review. In some cases the General Plan includes large and broad aspirational statements concerning the vision of the city. Those may be less specific in terms of measuring progress. However, there are examples of various projects and programs where recommendations are measurable in terms of specific implementation – so those should be documented where applicable.

Status Indication:

Some goals may be indicated by completion of a project, whereas others may be shown as ongoing programs. Other unique conditions may be indicated as necessary to describe status. The following includes typical status indicators for goals and objectives:

- Preliminary Review
- In Progress
- Completed
- Ongoing

ATTACHMENTS

- General Plan Goals and Objectives Table.
- Land Use Sub-Area Recommendations.
- Proposed Circulation/Transportation Projects.

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GOALS AND OBJECTIVES**

LAND USE ELEMENT - 3		
LU - GOAL 3-1	SUPPORT ORDERLY PATTERNS OF GROWTH AND DEVELOPMENT WITH A WELL-BALANCED MIX OF QUALITY RESIDENTIAL, COMMERCIAL, INSTITUTIONAL, AND RECREATION LAND USES.	
Objective 3-1. A	Protect existing neighborhoods from incompatible land uses.	
Objective 3-1. B	Encourage mixed use development with focused, compact centers comprised of residential, retail, office, entertainment and recreational uses in order to promote walkable neighborhoods.	
Objective 3-1. C	Support the use of detailed design guidelines to help guide city-wide development, as well as for specific sub-areas and unique situations.	
Objective 3-1. D	Encourage special studies for Planning Sub-Areas to carefully evaluate development alternatives resulting in quality sustainable projects.	
Objective 3-1. E	Support development that provides for a variety of residential types and styles.	
Objective 3-1. F	Support development proposals that provide opportunities for quality commercial uses.	
LU - GOAL 3-2		
	PROMOTE REGIONAL LAND USE PLANNING AND COORDINATION WITH NEIGHBORING COMMUNITIES AND AGENCIES SO AS TO ENSURE MUTUAL GOALS ARE ACHIEVED.	
Objective 3-2. A	Participate in regional planning efforts with surrounding jurisdictions, and state and federal agencies to address issues of regional concern.	
Objective 3-2. B	Work cooperatively with other jurisdictions and agencies to coordinate various issues of mutual concern, including transportation systems, open space, recreation, and economic development.	
LU - GOAL 3-3		
	SUPPORT THE SUB-AREA PLANNING PROCESS AS A KEY PROGRAM FOR CITY-WIDE REVITALIZATION AND ECONOMIC DEVELOPMENT.	
Objective 3-3. A	Identify and prioritize key sub-areas for implementation of the area planning process.	
Objective 3-3. B	Ensure the sub-area planning process is guided by public involvement, including local residents, property owners and businesses, from the initial visioning program through the plan development.	
Objective 3-3. C	Support development of unique design guidelines that respect the existing character and future vision for planning sub-areas.	
Objective 3-3. D	Develop a model template for the sub-area planning process and a model outline for the plan document.	
Objective 3-3. E	Implement the recommendations outlined in the Planning Sub-Areas section detailed in the Land Use Element.	

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LU – GOAL 3-4 SUPPORT LAND USE DECISIONS THAT RECOGNIZE AND PROMOTE COTTONWOOD AS THE COMMERCIAL AND MARKET CENTER FOR THE REGION.		
Objective 3-4. A	Promote a quality business environment within designated commercial, industrial and mixed use areas that is conducive to the formation, retention and expansion of business and employment opportunities.	
Objective 3-4. B	Foster a strong and diverse economy that provides a full range of employment and economic choices, as well as provides a range of retail, service, manufacturing, and professional support for employers, employees and residents.	
Objective 3-4. C	Ensure economic growth and development is balanced with preservation of the natural environment and enhancement of the quality of life.	
Objective 3-4. D	Continue to support development of Cottonwood as a major tourist destination with a range of attractions, services and supporting facilities.	
LU - GOAL 3-5 CONTINUE SUPPORT FOR REVITALIZATION OF THE HISTORIC OLD TOWN AREA AS A COMMUNITY WIDE ASSET AND SOURCE OF PRIDE.		
Objective 3-5. A	Support a well-balanced mix of residential, specialty retail, office, commercial, entertainment, cultural and civic uses as part of Old Town.	
Objective 3-5. B	Support additional multi-unit residential and mixed use development in appropriate locations within walking distance to the Old Town commercial and civic areas.	
Objective 3-5. C	Rehabilitate the historic Cottonwood Civic Center building to improve functionality as a valued multi-use community facility and to improve accessibility.	CDBG Grant and HVAC upgrades pending
Objective 3-5. D	Identify and enhance gateway entrance areas and transitional zones between Old Town and the surrounding neighborhoods through coordinated signage, landscaping, lighting and street improvements.	
Objective 3-5. E	Support professional and administrative office development in the Old Town area to complement retail, restaurant and entertainment uses, and to bring more people into the area on a regular basis.	
Objective 3-5. F	Ensure that adaptive reuse of Cottonwood’s historic buildings is done in a manner that preserves the historic integrity and significance of such structures that are a key part of the City’s heritage.	
Objective 3-5. G	Support programs to ensure preservation of historic buildings and districts. Ensure new construction in the historic areas is designed to be compatible with the existing architectural and historic context.	

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LU GOAL 3-6	SUPPORT REVITALIZATION OF EXISTING NEIGHBORHOODS.	
Objective 3-6. A	Support sub-area and corridor planning for existing developed areas as a method to encourage neighborhood revitalization efforts.	
Objective 3-6. B	Prepare area plans and neighborhood plans with the involvement of residents, businesses and property owners to guide future development and re-development in and near existing neighborhoods.	
Objective 3-6. C	Encourage in-fill development and re-development that is compatible with the established neighborhood character.	
Objective 3-6. D	Support block watch and similar neighborhood organizing efforts.	
Objective 3-6. E	Provide educational programs to encourage neighborhood pride and support enforcement of property maintenance codes and code enforcement efforts to ensure compliance.	
Objective 3-6. F	Use community development block grants and other grant resources to improve housing, streets, sidewalks and parks in the older neighborhoods.	
Objective 3-6. G	Support historic preservation overlay zoning districts for historic neighborhoods and individual landmark properties.	
LU GOAL 3-7	PROMOTE LAND USES THAT ARE RESPECTFUL OF THE NATURAL ENVIRONMENT AND WHICH CONSERVE VALUABLE NATURAL RESOURCES SUCH AS OPEN SPACE, CLEAN AIR, WATER, AND ENERGY.	
Objective 3-7. A	Pursue the establishment and expansion of parks and open space in Cottonwood neighborhoods to enhance social interaction and create a sense of place.	
Objective 3-7. B	Encourage design of buildings to reflect the City's unique natural surroundings, including the use of compatible natural materials.	
Objective 3-7. C	Protect steep slope hillsides, natural washes and scenic view opportunities through appropriate design standards and site development regulations, including through implementation of the Hillside Development Ordinance adopted in January 2013.	
LU GOAL 3-8	ENSURE THAT ANY PROPOSED ANNEXATION IS BENEFICIAL FOR THE CITY OF COTTONWOOD.	
Objective 3-8. A.	Ensure a fiscal impact analysis is included for all annexations. Public costs shall not be greater than anticipated revenues unless the City Council finds that the proposed annexation will further an identifiable community goal that offsets such revenue loss.	
Objective 3-8. B	The city shall cooperate with the Arizona State Land Department in developing Conceptual Land Use Plans for any proposed annexation of State Land holdings adjacent to the city limits.	

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Objective 3-8. C	Require a pre-annexation agreement for any new development project wishing to be annexed into the city. Pre-annexation development agreements entered into with the city shall address mutually interests, such as responsibility for infrastructure, schedules for any required dedication to the city, preliminary development plans, design standards and similar concerns.	
LU GOAL 3-9	SUPPORT LOCAL SUSTAINABLE FOOD POLICIES.	
Objective 3-9. A	Provide support and encouragement for the development of a community-based plan to achieve a sustainable food system. Encourage individual, public and private-sector participation in the establishment of sustainable food system policies and programs.	
Objective 3-9. B	Support regional planning and coordination efforts regarding sustainable local food systems.	
Objective 3-9. C	Develop a plan to identify and mitigate barriers to local food production, including financial, regulatory, logistical, social and natural constraints.	
Objective 3-9. D	Establish benchmarks for sustainable local food systems through the ongoing collection of data and setting of annual target goals so as to provide healthy, affordable, sustainable food resources and to increase quantity, improve quality and ensure adequacy.	
Objective 3-9. E	Provide support and resources for the Cottonwood Community Garden and provide opportunities for expanding or establishing new community gardens and school garden projects.	
Objective 3-9. F	Support ecologically sustainable food production practices, including best management practices for water conservation and appropriate use of land resources.	
Objective 3-9. G	Support home-based food production that includes opportunities for commercial trade , including back yard poultry and home gardens.	
Objective 3-9. H	Continue support for the Cottonwood farmers market summer series, including consideration of new and expanded facilities for the program.	
Objective 3-9. I	Facilitate the reduction, reuse or recycling of food-related waste.	

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CIRCULATION ELEMENT - 4		
C - GOAL 4-1	PROVIDE FOR A COMPREHENSIVE, INTEGRATED TRANSPORTATION SYSTEM THAT SERVES THE COMMUNITY IN A SAFE, EFFICIENT, COST EFFECTIVE AND AESTHETICALLY PLEASING MANNER.	
Objective 4-1. A	Maintain system of functional classifications for the city street system, including arterial, collector and local streets, to ensure that the city-wide circulation system functions in a safe, efficient and practical manner.	Ongoing
Objective 4-1. B	Conduct periodic traffic volume studies on city streets to evaluate growth trends and projected needs.	
Objective 4-1. C	Require development projects, including new subdivisions, commercial developments, and planned area developments to address the adequacy of access and circulation according to the functional classification system and overall interconnection with the city circulation system.	
Objective 4-1. D	Establish guidelines for when traffic studies are required in the review of new development (pertaining to significant change in land use, new streets, expanded arterial access, overall traffic increase, etc.).	
Objective 4-1. E	Discourage direct single-family residential driveway access to collector and arterial streets.	
Objective 4-1. F	Ensure that commercial and industrial developments provide primary access to collector streets and arterial streets and not local streets.	
Objective 4-1. G	Encourage commercial developments to coordinate shared driveway access.	
Objective 4-1. H	Conduct a city-wide study to identify and categorize street and transportation safety issues and to prioritize improvements necessary for safety.	
Objective 4-1. I	Consider development of a comprehensive city-wide neighborhood traffic safety improvement program that includes traffic calming techniques and protects neighborhood streets from high-speed, cut-through traffic.	
Objective 4-1. J	Conduct annual reviews of the city circulation system to identify and prioritize facilities which may need further study, including areas where traffic may need to be rerouted, new streets developed or other measures taken to improve the effectiveness of the system.	
C - GOAL 4-2		
C - GOAL 4-2	SUPPORT REGIONAL, MULTI-JURISDICTIONAL TRANSPORTATION PLANNING.	
Objective 4-2. A	Continue involvement with the Verde Valley Transportation Planning Organization (VVTPO), ADOT, NACOG, Yavapai County, neighboring jurisdictions and others regarding regional transportation planning.	Ongoing
Objective 4-2. B	Support regional transportation studies and project identification, prioritization and coordination between jurisdictions.	
Objective 4-2. C	Support regional efforts to coordinate and improve multi-modal systems, including bicycle routes, public transit and pedestrian routes.	

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C - GOAL 4-3 IMPROVE OPPORTUNITIES FOR ALTERNATE MODES OF TRANSPORTATION, INCLUDING BICYCLING, WALKING AND TRANSIT.		
Objective 4-3. A	Provide a safe, convenient and interconnected system of pedestrian and bicycle facilities throughout the City.	Ongoing
Objective 4-3. B	Develop sidewalk engineering standards and design criteria for new development and for upgrades to existing streets.	
Objective 4-3. C	Update design standards for intersections to ensure safe bicycle and pedestrian access.	
Objective 4-3. D	Identify and implement programs to address improvements for persons with disabilities along sidewalks and other access ways, including access ramps, intersection improvements and tread improvements.	
Objective 4-3. E	Support school child safety as a priority on all streets through the Safe Routes to Schools Program and through the City's Capital Improvement Planning process.	
Objective 4-3. F	Support innovative transit programs, such as door-to-door, dial-a-ride services for special needs populations, including elderly, sick or disabled persons, and for the general public in dispersed areas.	
Objective 4-3. G	Establish and maintain working relationship with all regional transit providers so as to coordinate linkages where feasible.	
Objective 4-3. H	Provide attractive and safe bus passenger shelters, pull out bays and informational signs for transit routes so as to encourage increased ridership.	
C - GOAL 4-4 SUPPORT DEVELOPMENT OF A COMPREHENSIVE BICYCLE PROGRAM.		
Objective 4-4. A	Improve opportunities for bicycling for people of various ages, skill levels and interests. Establish a comprehensive bicycle program that includes physical improvements to streets, bicycle parking facilities, signed route systems, and education programs.	
Objective 4-4. B	Provide bicycle access to mixed-use corridors, neighborhood districts, community centers and various types of activity centers and key destinations throughout the city.	
Objective 4-4. C	Encourage ADOT to include adequate width and/or designated bicycle lanes on all state highways to allow safe bicycle travel, as per accepted state and national design standards.	
Objective 4-4. D	Establish a city-wide bicycle route plan that provides safe, convenient connectivity throughout the city.	
Objective 4-4. E	Work with neighboring communities for bike route connections where feasible. Support a regional bicycle planning process.	
Objective 4-4. F	Support 4-E bicycle improvement program, including engineering, education, enforcement and encouragement.	
Objective 4-4. G	Integrate bicycle improvements into the city's five-year capital improvements plan based on the approved bicycle plan and proposed route system.	

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C - GOAL 4-5	DEVELOP AND IMPROVE PEDESTRIAN AND BICYCLE ROUTES FROM COMMERCIAL AREAS, SCHOOLS AND ACTIVITY CENTERS TO NEARBY NEIGHBORHOODS AND RESIDENTIAL AREAS.	
Objective 4-5. A	Identify and develop improved pedestrian and bicycle routes connecting the Old Town Cottonwood area with nearby neighborhoods, including Verde Heights, On The Greens, Clemenceau and Mingus Avenue.	
Objective 4-5. B	Evaluate and provide improvements where necessary to ensure safe continuous pedestrian and bicycle routes from commercial shopping areas along arterial and collector streets to nearby residential neighborhoods.	
Objective 4-5. C	Consider pedestrian and bicycle linkages within existing right-of-way corridors, as well as securing easements for new routes that provide direct connections outside of right-of-way where safety standards are adequately addressed.	
Objective 4-5. D	Support “walkability audit” and “bike-ability audit” programs to review, analyze and make recommendations regarding the pedestrian and bicycling qualities of various areas, including continuity, safety, and aesthetic qualities for sidewalks, bicycle routes, intersections and connecting routes.	
Objective 4-5. E	Consider the advantages of walkable and bikeable neighborhoods in lowering vehicle use, improving public health and reducing harmful pollutants from automobiles.	
C - GOAL 4-6	RELIEVE CONGESTION FROM HIGHWAYS AND COMMERCIAL AREAS.	
Objective 4-6. A	Make better use of the City’s collector street system in providing alternate routes which relieve traffic from congested areas; support use of major collector streets for business and visitor traffic; and improve local street connections so residents can get to nearby locations without the need to use arterial streets or state highways for short and mid-length trips.	
Objective 4-6. B	Identify areas around the City which may have special traffic problems and conduct sub-area and corridor planning to establish better opportunities for relief of congestion.	
Objective 4-6. C	Conduct a study to identify appropriate truck routes within the City and develop a comprehensive truck route policy.	
Objective 4-6. D	Regularly monitor traffic movement through the City and calibrate traffic signals so that traffic movement is most efficient.	
Objective 4-6. E	Adopt engineering guidelines for commercial driveways to include criteria for size, spacing, design and location.	
Objective 4-6. F	Support appropriate access management programs for state highways and other major City streets.	

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C - GOAL 4-7	ENSURE ADEQUATE FUNDING AND IMPLEMENTATION MECHANISMS TO ADDRESS SHORT AND LONG TERM CIRCULATION NEEDS.	
Objective 4-7. A	Evaluate circulation impacts and roadway maintenance costs associated with new development and identify short and long term funding sources, ways that adequate fees can be assessed, and “fair share” contributions from various sources.	
Objective 4-7. B	Support the use of facility improvement districts to provide street improvements within specific areas to meet area needs.	
Objective 4-7. C	Continue to prioritize and implement necessary traffic improvement projects and right-of-way acquisition in coordination with the Capital Improvements Plan.	
Objective 4-7. D	Maximize the use of available state and federal transportation funding through match monies, grants, in-kind contributions, other leveraging strategies and inclusion of special projects providing additional benefits.	
Objective 4-7. E	Support funding and partnership opportunities that focus on maintenance and repair to existing roadways and circulation facilities.	
C - GOAL 4-8	IMPROVE THE VISUAL AND AESTHETIC COMPONENTS OF CITY STREETS, STREET CORRIDORS AND OTHER PUBLIC AREAS.	
Objective 4-8. A	Develop standards for streetscape design, including landscaping, signage and lighting, which acknowledges the importance of the public realm and supports the goals of maintaining small town character and quality.	
Objective 4-8. B	Encourage the planting of appropriate, drought-tolerant street trees and plants along streets so as to provide shade and attractive character.	
Objective 4-8. C	Use sub-area and corridor planning process to develop character studies that define unique streetscape design standards in those areas.	
C - GOAL 4-9	SUPPORT AND IMPLEMENT COMPLETE STREETS DESIGN CRITERIA FOR NEW STREETS AND CORRIDOR REVITALIZATION.	
Objective 4-9. A	Develop comprehensive street corridor design standards that incorporate vehicles, transit, walking and bicycles in a functional yet attractive environment.	
Objective 4-9. B	Develop a street improvement and maintenance plan which addresses bus stops, bike facilities, trails, sidewalks, street trees and otherwise encourages use by bicyclists and pedestrians.	
Objective 4-9. C	Encourage concentrated housing and “transit-oriented design” near bus routes and transit stops to support the viability of the transit system.	
Objective 4-9. D	Adopt design guidelines for new streets and roadway improvements which protect neighborhoods from high-speed, cut-through traffic, do not exacerbate traffic speeds or street capacity, and better accommodate pedestrians, bicycles and buses.	

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Objective 4-9. E	Consider installation of medians where useful, necessary and desired on major street corridors to control turning movements in busy, high traffic areas.	
C -GOAL 4-10 INTEGRATE ACCESSIBILITY STANDARDS WITH ALL CIRCULATION PROJECTS.		
Objective 4-10. A	Develop an ongoing program to identify barriers to movement in the City and prioritize project implementation to improve accessibility based on established criteria, including safety, use and public input.	
Objective 4-10. B	Ensure street intersections throughout the city are designed to allow safe convenient use by persons using wheelchairs and others persons with mobility disabilities, including accessible ramps, crosswalks, refuge islands and signal control devices.	

OPEN SPACE / PARKS - 5		
OS - GOAL 5-1 IDENTIFY, PRIORITIZE AND PROTECT OPEN SPACE RESOURCES.		
Objective 5-1. A	Support establishment of open space buffers between Cottonwood and neighboring communities in the Verde Valley, including between Camp Verde to the south along SR 260 and toward Cornville and Sedona along SR 89A.	
Objective 5-1. B	Ensure development projects do not negatively affect key wildlife migration corridors as identified by the Arizona Game and Fish Department.	
Objective 5-1. C	Support the primary goals and objectives of the Verde River Greenway State Natural Area to secure and manage lands along the Verde River system.	
Objective 5-1. D	Ensure that any areas proposed for annexation, including the 10 square mile State Trust Land block northeast of the city, protect critical open space resources, with attention to protecting wildlife corridors, sensitive riparian areas, buffering between uses and important visual assets.	
Objective 5-1. E	Preserve major open space connections between the Verde River and the Mingus foothills and Black Hills mountain range. Major washes and drainages linking these areas should be preserved as continuous open corridors for wildlife migration and watershed values.	
OS - GOAL 5-2 SUPPORT MULTI-AGENCY EFFORTS TO IDENTIFY AND PROTECT KEY OPEN SPACE RESOURCES WITHIN THE CITY AND IN SURROUNDING AREAS.		
Objective 5-2. A	Support cooperative regional planning efforts for an integrated system of open space and recreation development with adjacent communities, the U.S. Forest Service, State Land Department, Arizona State Parks, ADOT, Yavapai County, private land owners, the general public and others.	Ongoing with Verde Front
Objective 5-2. B	Support partnership agreements for cooperative management of certain National Forest lands within and adjacent to the City of Cottonwood where there is mutual commitment to manage such lands for the public good for recreation, open space and appropriate uses. Cooperative activities could include public safety activities, trash removal and clean up, facility maintenance, and funding partnerships.	Under Consideration with West Mingus Avenue

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OS - GOAL 5-3	DEVELOP A COMPREHENSIVE FUNDING AND ACQUISITION STRATEGY FOR KEY OPEN SPACE RESOURCES AND PARKS DEVELOPMENT.	
Objective 5-3. A	Participate with various organizations, agencies and jurisdictions to identify and acquire properties which have significance as regional open space; evaluate the impact of open space acquisitions on the developable land base.	
Objective 5-3. B	Consider neighborhood park acquisition and development as part of the Capital Improvement Program, as well as through other sources of funding.	
Objective 5-3. C	Ensure new master planned communities, planned area developments and residential subdivisions provide land for neighborhood park sites as part of the rezoning and subdivision process.	
Objective 5-3. D	Evaluate the status of National Forest lands within the City that may be suitable for inclusion in base and exchange programs and consider support for programs that provide acceptable net benefits.	
Objective 5-3. E	Support volunteer programs that provide opportunities for citizens to assist with various parks and recreation activities. Such programs should include leadership training, established standards and recognition programs.	
OS - GOAL 5-4	ESTABLISH A TIERED SYSTEM OF PARK FACILITIES TO BE DISTRIBUTED THROUGH THE COMMUNITY.	
Objective 5-4. A	Establish a tiered system of regional, city-wide and neighborhood types of park facilities throughout the city to meet the needs of people with different interests and skill levels.	
Objective 5-4. B	Identify potential locations for neighborhood park sites as part of a city-wide neighborhood revitalization program. Include various types of facilities, such as playgrounds, picnic areas and seating areas in neighborhood parks.	
Objective 5-4. C	Include neighborhood parks as part of new planned development and master planned communities.	
OS - GOAL 5-5	ESTABLISH DEVELOPMENT STANDARDS FOR OPEN SPACE AND RECREATION FACILITIES.	
Objective 5-5. A	Encourage methods to protect the wild land character of National Forest and other public lands adjacent to private development, including design standards that provide effective buffering between uses and a method to step down residential densities adjacent to public lands.	
Objective 5-5. B	Amend codes and subdivision regulations to address specific standards for public areas, parks, trails and other open space and recreational development.	
Objective 5-5. C	Encourage the development of open space and recreational amenities as part of new development. Require new development to provide public parks and connective trails.	

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Objective 5-5. D	Create standards for development on steep hillsides, washes and flood areas that ensure the preservation of key natural resources while allowing comparable levels of development opportunity on such properties.	
Objective 5-5. E	Development or redevelopment of park facilities shall use reclaimed water for irrigation where available, preserve natural areas and washes to the greatest extent possible, use native plants and drought-tolerant varieties for any installed landscaping, and employ rainwater harvesting techniques where feasible.	
OS - GOAL 5-6	SUPPORT DEVELOPMENT OF RECREATIONAL TRAILS IN COTTONWOOD AND ON NEARBY PUBLIC LANDS.	
Objective 5-6. A	Work with private developers to incorporate trails and open space networks within new planned developments and subdivisions.	
Objective 5-6. B	Encourage the use of easements, particularly in washes and near the Verde River, to obtain public use and access over private property.	
Objective 5-6. C	Continue to work collaboratively with public lands agencies in and around Cottonwood to encourage development of new trailheads and trail facilities.	
OS - GOAL 5-7	PROVIDE LEADERSHIP FOR REGIONAL COORDINATION OF OPEN SPACE, TRAILS, RIVER ACCESS AND RELATED TOURISM AND ECONOMIC GOALS.	
Objective 5-7. A	Support opportunities for City of Cottonwood elected officials, residents and staff to be involved with regional open space, trails and river access programs.	
Objective 5-7. B	Identify, prioritize and promote opportunities to coordinate regional open space, trails and recreational planning efforts.	
Objective 5-7. C	Continue to support the regional, multi-agency Verde Front planning process concerning lands between Cottonwood to below Camp Verde and from the Verde River Greenway to the Black Hills with emphasis on implementing the goals of the Sustainable Recreation Strategy for Central Arizona.	Ongoing

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GROWTH AREA ELEMENT - 6		
GA - GOAL 6-1	SUPPORT MANAGED AND ORDERLY GROWTH THAT CONSERVES RESOURCES, REDUCES AUTO DEPENDENCY AND PROVIDES FOR COST EFFECTIVE INFRASTRUCTURE.	
Objective 6-1. A	Support efficient, compact, mixed-use, innovative development in designated growth areas where infrastructure is existing or extension of infrastructure is practical and cost effective.	
Objective 6-1. B	Support a city-wide sub-area planning process that identifies development needs and opportunities and that helps to coordinate infrastructure planning for identified growth areas.	
Objective 6-1. C	Continue to monitor development demand and land availability as a means to guide sub-area planning.	
Objective 6-1. D	Develop incentives that encourage infill development based on compact, mixed use, multi-modal design. Support redevelopment of existing developed areas with similar innovative design and planning.	
Objective 6-1. E	Ensure consistency between the Growth Area, Open Space, Land Use, Circulation and other general plan elements.	
Objective 6-1. F	Coordinate open space designation in growth areas with surrounding areas so as to ensure interconnected networks of open space, wildlife corridors, major drainages and washes, and riparian corridors.	
Objective 6-1. G	Participate in the review process for Prescott and Coconino National Forest management plans and related regional recreation and land use planning efforts so as to ensure proposed development projects in adjacent areas of the City are planned in a compatible manner.	
GA - GOAL 6-2		
	COORDINATE INFRASTRUCTURE PLANNING AND FUNDING WITH RELATED PUBLIC AND PRIVATE DEVELOPMENT ACTIVITY.	
Objective 6-2. A	Coordinate needed public improvements, including transportation, water, sewer and drainage, through the City's Capital Improvements Plan.	
Objective 6-2. B	Continue to investigate and pursue grant opportunities and other funding strategies that support ongoing infrastructure improvements related to growth and development.	WIFA funding approved
GOAL 6-3		
	ENSURE THAT PLANNING FOR STATE TRUST LANDS WITHIN THE CITY AND ANY AREAS PROPOSED FOR ANNEXATION ARE COORDINATED WITH THE ARIZONA STATE LAND DEPARTMENT SO AS TO ACHIEVE A MUTUALLY BENEFICIAL OUTCOME.	
Objective 6-3. A	Ensure there is an open public planning process to guide the vision and future use of State Trust Lands.	
Objective 6-3. B	Encourage residential development that offers a choice of housing types, sizes and designs so as to meet the needs of a diverse population.	
Objective 6-3. C	Encourage residential development that provides opportunities for a variety of income levels, including affordable workforce housing.	

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Objective 6-3. D	Provide continuous open space corridors along major highways abutting State Trust lands so as to maintain attractive visual corridors.	
Objective 6-3. E	Preserve unique and sensitive lands as open space so as to protect wildlife, scenic views, watershed values and economic investment in a manner that balances conservation of the natural environment with land development.	
Objective 6-3. F	Identify and protect key wildlife corridors so as to mitigate corridor and habitat fragmentation.	
Objective 6-3. G	Encourage the protection of steep slopes and hillsides, ridgelines, significant mountainous areas, wildlife habitat, and washes and riparian areas.	
Objective 6-3. H	Designate all State Trust lands with the “Planned Development” Land Use classification in the General Plan so as to support innovative yet efficient, mixed-use development projects.	
Objective 6-3. I	Ensure proposed development projects include the most efficient multi-modal transportation strategies, including interconnected pedestrian and bicycle routes throughout the project, neighborhood traffic calming techniques to emphasize safe, people-oriented residential areas, and collector and arterial streets designed according to “complete streets” principles to accommodate all modes safely and efficiently with attractive streetscapes.	
Objective 6-3. J	Support state-of-the-art water conservation planning, including use of reclaimed water for irrigation, sub-area waste water treatment strategies, system-wide water harvesting techniques, and comprehensive water conservation programs.	

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ENVIRONMENTAL PLANNING ELEMENT -7		
EP - GOAL 7-1	PROVIDE A SAFE AND SUSTAINABLE ENVIRONMENT FOR COTTONWOOD AND THE SURROUNDING COMMUNITY.	
Objective 7-1. A	With respect to the principles of civility in talk and action, continue to work closely with regional groups, agencies, municipalities and other land jurisdictions to coordinate efforts to preserve natural resources in Cottonwood and throughout the Verde Valley.	
Objective 7-1. B	Support energy-efficient and environmentally sound building and construction practices, including nationally recognized ratings programs, such as the LEED (Leadership in Energy & Environmental Design) Certification program by the U.S. Green Building Council.	
Objective 7-1. C	Ensure all existing and updated building codes allow and encourage sustainable development and energy efficient construction.	
Objective 7-1. D	Ensure that proposed master planned communities and other planned development projects incorporate the highest standards for environmentally beneficial objectives.	
Objective 7-1. E	Create educational programs, including information on the City web site, as well as brochures and printed materials that address environmental protection, mitigation measures, and conservation techniques for both residential and commercial properties.	
Objective 7-1. F	Support comprehensive programs that include high level of air and water quality, household and commercial recycling, energy conservation and related public education.	
EP - GOAL 7-2		
	MAINTAIN AND IMPROVE AIR QUALITY STANDARDS	
Objective 7-2. A	Continue to identify and address the issues that contribute to the degradation of air quality and work towards minimizing the issues before air pollution can become a problem.	
Objective 7-2. B	Support efforts to pave or place impervious compacted and/or sealed surfaces on unpaved roads, alleys, driveways and parking areas so as to control dust.	
Objective 7-2. C	Ensure that dust control measures are enforced during construction and grading activities, including use of reclaimed water for dust suppression.	
Objective 7-2. D	Ensure compliance with landscaping regulations pertaining to the installation and maintenance of ground cover on undeveloped portions of development sites.	
Objective 7-2. E	Encourage alternate modes of transportation as a means to reduce automobile trips through continued improvements to the city-wide pedestrian and bicycle route systems and continued support for the Cottonwood Area Transit (CAT) system.	

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EP - GOAL 7-3 ENSURE THE HIGHEST POSSIBLE LEVEL OF WATER QUALITY AND WATER CONSERVATION PRACTICES.		
Objective 7-3. A	Continue to protect and maintain the City's excellent water quality by utilization of Best Management Practices, including controlling stormwater runoff from construction projects, educating the public on non-point source pollution activities and other measures that reduce the potential to degrade surface and groundwater quality.	
Objective 7-3. B	Support development of the reclaimed water plant and distribution system, and promote the use of reclaimed water for open space, public recreation areas and other non-potable uses.	
Objective 7-3. C	Support use of storm water, rainwater harvesting and gray water for irrigation of site landscaping within existing and proposed developments.	
Objective 7-3. D	Develop and implement a comprehensive system-wide water conservation program for the Cottonwood Utility Department service area.	
EP - GOAL 7-4 SUPPORT ENERGY CONSERVATION PROGRAMS.		
Objective 7-4. A	Develop coordinated building code and design review standards for energy conservation, including the use of native drought tolerant shade trees, building orientation, roof and building colors, architectural shading, use of wind or solar energy, reclaimed water, high efficiency appliances, the use of recycled materials, and natural day-lighting techniques.	
Objective 7-4. B	Perform energy audits and support upgrades to City of Cottonwood municipal buildings and facilities to improve energy conservation techniques and materials, including energy-efficient heating and cooling systems, energy-efficient lighting, building insulation, and technical control systems.	
Objective 7-4. C	Develop a comprehensive plan to upgrade the energy efficiency of City fleet vehicles, including retrofitting existing vehicles where feasible, ensuring all new vehicles are fuel efficient, and adjusting management operations where cost-effective, energy savings are indicated.	
EP - GOAL 7-5 SUPPORT RECYCLING AND RESOURCE RECOVERY PROGRAMS.		
Objective 7-5. A	Support recycling programs by continuing to make space available for the material drop-off collection facilities and through on-going education programs.	
Objective 7-5. B	Encourage economic development programs that support use of secondary materials in local businesses and development of new business that use or process recycled content materials and products.	
Objective 7-5. C	Support a comprehensive recycling program for City of Cottonwood facilities and programs, including recycling stations for City offices and facilities, purchase of recycled materials and supplies for City uses, and policies to repair and reuse equipment where such programs are cost effective.	

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Objective 7-5. D	Continue to look for ways to reduce and divert household hazardous waste products from the municipal waste mix or from being flushed down drains or run off into washes and drainages. Such materials that can add up and cause environmental damage include many household cleaners, solvents and adhesives, personal care products, automotive products, left over paint, garden products and building products, used batteries and CFL light bulbs.	
EP - GOAL 7-6	ENCOURAGE AND SUPPORT PROGRAMS THAT MAINTAIN BALANCE BETWEEN THE NATURAL AND BUILT ENVIRONMENT.	
Objective 7-6. A	Review and update management of storm water runoff standards so as to further reduce waste of potable water, enhance wildlife and reduce the impact of erosion.	
Objective 7-6. B	Protect existing washes from pollution through educational programs that describe non-point source pollution and related mitigation alternatives.	
Objective 7-6. C	Review existing City codes and zoning regulations to encourage development that is sensitive to local topography, including natural washes, native vegetation, steep hillsides, riparian corridors, view corridors and solar orientation.	
Objective 7-6. D	Support volunteer groups and individuals that adopt major washes, open space areas and other public land natural areas for the purpose of removing trash, beautification and monitoring.	
Objective 7-6. E	Establish buffer zones adjacent to riparian areas and other critical wash corridors that help to preserve the integrity of the natural setting and serve to filter pollutants from stream channels.	

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WATER RESOURCES ELEMENT - 8		
WR - GOAL 8-1	MAINTAIN AND IMPROVE WATER SUPPLY FOR USERS OF THE COTTONWOOD WATER SYSTEM TO MEET EXISTING AND LONG TERM NEEDS.	
Objective 8-1. A	Support regional and statewide efforts related to the planning, management, development and conservation of water resources within the Verde Valley.	
Objective 8-1. B	Develop an integrated water resource management plan that provides guidance for long-term planning, quantifies the needs for water resources, and determines the necessary water, wastewater and reclaimed water infrastructure needed over time.	
Objective 8-1. C	Support legislation that protects local riparian habitats and water supplies.	
Objective 8-1. D	Pursue the recharge and reuse of all reclaimed water.	
Objective 8-1. E	Actively pursue the acquisition of surface water rights from all available sources.	
Objective 8-1. F	Regularly update and maintain the distribution system to optimize efficiencies and provide a reliable supply for all uses including fire flows.	
WR - GOAL 8-2	MAINTAIN AND IMPROVE WATER QUALITY.	
Objective 8-2. A	Support monitoring of water quality data by federal, state and local agencies.	
Objective 8-2. B	Support additional water quality base line studies.	
Objective 8-2. C	Develop standards that prohibit any development that may adversely affect surface and groundwater quality.	
Objective 8-2. D	Identify potential sources of surface and ground water pollution and develop methods to prevent and/or mitigate impacts that may occur.	
Objective 8-2. E	Maintain buffers of natural vegetation along washes and rivers to restrict and/or minimize impacts from non-point source pollution.	
WR - GOAL 8-3	PROTECT THE VERDE RIVER BASEFLOW AND MAINTAIN RIPARIAN HABITATS ALONG THE RIVER CORRIDOR AND TRIBUTARIES.	
Objective 8-3. A	Monitor and support measures that maintain historical base flow levels in the river system.	
Objective 8-3. B	Designate protective corridors and buffers for the river and major tributaries as part of land use planning and design review.	
Objective 8-3. C	Support educational programs that inform people of all ages of the importance and role the river plays in supporting the riparian habitat, wildlife and the culture of the region.	

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WR - GOAL 8-4	PROMOTE WATER CONSERVATION, RECLAIMED WATER, RECHARGE AND REUSE.	
Objective 8-4. A	Construct a state-of-the-art reclaimed water treatment plant and expand the distribution system where feasible to make reclaimed water available for use throughout the city system.	
Objective 8-4. B	Develop and adopt a comprehensive water conservation program.	
Objective 8-4. C	Strategically develop and locate recharge projects that will offset groundwater pumping and recharge all unused reclaimed water.	
Objective 8-4. D	Amend the Zoning Ordinance to limit the amount of irrigated turf for any new golf course to minimum levels based on conservation standards for arid landscapes (5 acres or less of irrigated turf per hole) and require them to be irrigated with reclaimed water only.	
Objective 8-4. E	Reduce the annual Total Gallons per Capita per Day (GPCD) water to 104 (5% reduction) by 2020.	
WR - GOAL 8-5	DEVELOP SUSTAINABLE FUNDING SOURCES FOR WATER DEVELOPMENT.	
Objective 8-5. A	Develop a funding plan to pursue the acquisition of surface water rights and the implementation of upgrades to the water supply and distribution system.	
Objective 8-5. B	Coordinate water related improvements and funding with the Capital Improvements Plan.	

COST OF DEVELOPMENT - 9

CD - GOAL 9-1	MEET LOCAL EXPECTATIONS FOR PUBLIC FACILITIES AND SERVICES IN A COST EFFICIENT, FAIR AND EQUITABLE MANNER.	
Objective 9-1. A	Ensure that development occurs in a fiscally sound and equitable manner.	
Objective 9-1. B	Encourage efficient, infill development and re-development in areas already served by existing infrastructure and public facilities.	
Objective 9-1. C	Establish a reasonable threshold of public facilities and services.	
Objective 9-1. D	Conduct “quality of life” surveys, and conduct public meetings and other activities to ascertain resident and visitor satisfaction with the current services, facilities, equipment and infrastructure serving the city.	
Objective 9-1. E	Develop a comprehensive strategy of redevelopment which addresses facilities and service needs for older portions of the city.	
Objective 9-1. F	Identify the costs of City of Cottonwood operations and facilities to maintain current and preferred service level standards. Maintain an inventory of costs associated with City facilities and services.	
Objective 9-1. G	Study activities which affect the cost of facilities, such as facility usage; baseline traffic counts of major roadways and intersections, and police and fire department response times.	

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Objective 9-1. H	Coordinate planning with non-municipal utility providers to ensure that future community needs are being addressed.	
CD - GOAL 9-2	EQUITABLY ASSESS AND MANAGE THE FISCAL AND CAPITAL IMPACTS RESULTING FROM NEW DEVELOPMENT.	
Objective 9-2. A	Identify methods to measure the impacts of development on existing services so as to determine reasonable requirements imposed on the cost of development.	
Objective 9-2. B	Conduct periodic traffic counts on major roadways throughout the city as a baseline for traffic impact studies for new development projects.	
Objective 9-2. C	Support regional transportation planning programs that provide funding sources for roadway improvements that impact the City of Cottonwood.	
Objective 9-2. D	Support efforts to regularly update the wastewater master plan to measure the impacts of growth on the sewer system and wastewater facility.	
Objective 9-2. E	Perform a fiscal impact analysis and identify other methods to measure the actual impacts of development on existing services and facilities to ascertain reasonable requirements and fees to be imposed on new development and re-development. The analysis and policy should also acknowledge how new development helps to fund or attain capital improvements.	
Objective 9-2. F	Continue to develop and investigate mechanisms for funding public improvements and for relieving the public of financial burdens which may be associated with new development.	
CD - GOAL 9-3	IDENTIFY INNOVATIVE AND NON-TRADITIONAL FUNDING MECHANISMS TO ENABLE FUNDING OF PUBLIC SERVICES, FACILITIES, EQUIPMENT AND INFRASTRUCTURE NECESSARY TO MEET THE CITY'S NEEDS.	
Objective 9-3. A	Identify funding and development strategies for other necessary improvements associated with growth and development, including off-site street and infrastructure improvements, park facilities, public safety needs and other necessary city programs and public improvements.	
Objective 9-3. B	Support the establishment of special improvement districts where approved by a majority of the property owners of affected properties, to provide necessary improvements, such as utility improvements, drainage improvements, sidewalks, various street enhancements and other publicly identified needs.	
Objective 9-3. C	Explore opportunities for public/private partnerships which may help to provide financing for facilities and services.	
Objective 9-3. D	Annually evaluate the City's Capital Improvement Plan to coordinate public projects in a manner that is compatible with City development goals and to ensure maximum usefulness and affordability to the residents of Cottonwood.	
Objective 9-3. E	Investigate the possibility of revenue sharing to offset costs for facilities and services which may be associated with both local and regional impacts and which provide for mutual benefit for affected parties.	

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HOUSING ELEMENT - 10

H - GOAL 10-1	PROVIDE A COMPREHENSIVE APPROACH TO ADDRESSING HOUSING NEEDS IN THE COMMUNITY.	
Objective 10-1. A	Support a multi-level approach for housing that includes emergency and transitional housing, special needs housing, first time homebuyers programs, workforce housing, owner-occupied housing rehabilitation programs, senior housing, multi-unit, single-family and manufactured housing opportunities.	
Objective 10-1. B	Consider working with nonprofit organizations to acquire and rehabilitate residential rental units for resale to first-time and low-moderate income households.	
Objective 10-1. C	Support opportunities for manufactured housing in appropriate locations.	
Objective 10-1. D	As a component of a comprehensive economic development program, support land use and zoning decisions that provide opportunities for executive level housing.	
Objective 10-1. E	Continue enforcement of the city's Residential Rental Maintenance Code, as permitted by state statute.	
H - GOAL 10-2		
	SUPPORT A REGIONAL, MULTI-AGENCY APPROACH FOR COORDINATION AND IMPLEMENTATION OF HOUSING PROGRAMS.	
Objective 10-2. A	Support regional programs with other jurisdictions, agencies and organizations to plan and implement housing goals.	
Objective 10-2. B	Evaluate and if feasible, provide support for the establishment of a regional non-profit housing organization, such as a Community Housing Development Organization (CHDO).	
Objective 10-2. C	Encourage ongoing communication and interaction between agencies, elected officials, staff and the public regarding housing issues.	
H - GOAL 10-3		
	SUPPORT HOUSING OPPORTUNITIES FOR SPECIAL NEEDS AND NON-TRADITIONAL POPULATIONS.	
Objective 10-3. A	Support senior/elderly housing options, including independent living developments, nursing homes, assisted care homes integrated into neighborhoods, and other effective formats.	
Objective 10-3. B	Survey senior/elderly housing developers and providers so as to identify facility and affordability gaps. Periodically update information regarding available programs and resources for senior housing. Work with developers and providers of senior/elderly housing to identify appropriate locations for senior housing.	
Objective 10-3. C	Support federal and state funded, owner-occupied housing rehabilitation assistance programs that benefit, low income, senior/elderly and disabled persons households.	
Objective 10-3. D	Support efforts by local groups providing emergency and transitional housing programs in appropriate locations for at-risk populations.	

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Objective 10-3. E	Support housing programs and opportunities for various types of special needs housing, including persons with disabilities and persons with developmental disabilities.	
H - GOAL 10-4 COORDINATE ECONOMIC DEVELOPMENT PROGRAMS WITH HOUSING POLICIES AND ACTIONS.		
Objective 10-4. A	Identify and work to implement common goals related to both housing and economic development.	
Objective 10-4. B	Identify mechanisms and resources to ensure housing is available to attract and retain a stable employment base within the City of Cottonwood, and promote employer-assisted housing opportunities.	
Objective 10-4. C	Survey major employers in Cottonwood, including medical care, education, manufacturing, retail, government and other sectors, to determine qualifications and interest in participating in employer-assisted or “workforce” housing programs.	
H - GOAL 10-5 SUPPORT EXPANDED HOMEOWNERSHIP OPPORTUNITIES.		
Objective 10-5. A	Work with local, state and federal agencies, as well as private organizations, that offer homeownership education, counseling services and financial resources, and help promote any programs offered locally.	
Objective 10-5. B	Support incentives, policies and resources to provide homeownership opportunities for Cottonwood residents, including low-moderate income households.	
Objective 10-5. C	Consider participation in the creation of a regional housing trust fund to assist qualified individuals and households in the purchase of housing.	
H - GOAL 10-6 SUPPORT EFFORTS TO IMPROVE ENERGY EFFICIENCY AND GREEN BUILDING FEATURES IN NEW AND EXISTING HOUSING.		
Objective 10-6. A	Identify and amend any related City codes and ordinances that create barriers to implementation of alternative building methods or use of materials that provide energy-efficiency benefits, use local resources, lower waste and provide related cost savings.	
Objective 10-6. B	Support home weatherization assistance programs that provide home energy audits and grants to qualified home owners, including those that offer assistance with materials and installation of energy saving improvements.	

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HISTORIC PRESERVATION ELEMENT - 11

HP - GOAL 11-1	IDENTIFY, PRESERVE AND PROTECT HISTORIC PROPERTIES AND RESOURCES WITHIN THE CITY.	
Objective 11-1. A	Maintain status in Certified Local Government (CLG) Program for Historic Preservation, as defined by the National Park Service and State Historic Preservation Office.	Ongoing
Objective 11-1. B	Support the Historic Preservation Commission as the main City program for the promotion of historic preservation goals, including historic property identification and documentation, review of proposed changes to historic properties and districts, and related public outreach and education programs.	Ongoing
Objective 11-1. C	Establish criteria for identifying Historic Landmark Properties and maintain the Cottonwood Historic Property Register documenting such Historic Landmarks.	3 properties listed 2015.
Objective 11-1. D	Establish an ongoing program to identify eligible historic sites, structures, districts, and other resources and update the City's historic resource inventory.	preliminary
Objective 11-1. E	Participate in the development of applications and support nominations for listing individual properties and eligible districts on the National Register of Historic Places.	
Objective 11-1. F	Support the preservation of significant historic and contributing historic properties listed on the National Register of Historic Places.	
Objective 11-1. G	Promote the preservation of historic streetscapes and landscapes within historic areas, so as to recognize the significance and context of the historic style and materials of sidewalks, street edge condition, drainage features, light fixtures, street signs, trees and supporting design elements.	
Objective 11-1. H	Follow the standards and procedures identified by SHPO regarding the treatment of pre-historic and historic archaeological resources in Cottonwood.	
Objective 11-1. I	Ensure that any significant archeological resources identified or discovered within the city are treated according to the highest standards of respect and according to the best practices, as well as all applicable state and federal laws. If such resources are disturbed, mitigation measures shall be undertaken.	
HP - GOAL 11-2	INTEGRATE HISTORIC PRESERVATION PROGRAMS WITH OTHER CITY PLANNING AND DEVELOPMENT PROGRAMS.	
Objective 11-2. A	Evaluate and amend various City policies, codes and ordinances to be consistent with historic preservation goals.	
Objective 11-2. B	Ensure that City policies, codes and ordinances are in place to resolve conflicts and provide beneficial results regarding preservation of existing resources in relation to proposed new development.	
Objective 11-2. C	Promote coordination between various city functions and programs regarding review of proposed development activities so as to support the goals of historic preservation.	

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Objective 11-2. D	Evaluate alternative building safety code and fire safety protection codes for historic buildings to ensure that life safety objectives are not compromised.	
Objective 11-2. E	As an incentive for historic preservation, simplify and expedite the planning and building safety review process for work on contributing historic properties through the establishment of clear policies and criteria for such work.	
HP - GOAL 11-3	PROMOTE AWARENESS AND APPRECIATION OF THE COMMUNITY’S HISTORY.	
Objective 11-3. A	Promote historic preservation through city marketing efforts, public displays, brochures, walking tours and newspaper articles.	
Objective 11-3. B	Promote improved signage programs to identify historic districts and properties through the use of integrated historic district street signs, individual property markers and interpretive display signs.	
Objective 11-3. C	Support National Historic Preservation Month activities in May of each year through proclamations, media releases, educational events and historic preservation tours.	2nd annual home tour Nov 2015
Objective 11-3. D	Provide expanded information through the City website describing the history of Cottonwood, various historic buildings, historic figures, available resources and programs, financial incentives and other related information.	
Objective 11-3. E	Build partnerships with City boards and commissions, historical societies, business associations, school districts, and private owners to promote cultural heritage.	
Objective 11-3. F	Participate in state and regional historic preservation conferences, workshops, and programs.	
HP - GOAL 11-4	SUPPORT HISTORIC PRESERVATION AS AN ECONOMIC DEVELOPMENT AND REVITALIZATION PROGRAM.	
Objective 11-4. A	Promote the historic roots of Cottonwood and historic preservation resources as part of City marketing and tourism promotion efforts.	
Objective 11-4. B	Support regional programs related to historic preservation, including local, state and federal historic sites, museums and organizations, and combined tourism promotion programs.	
Objective 11-4. C	Provide strong, effective support for the preservation of historic properties through adopted ordinances that require review of alterations to historic properties according to adopted standards.	HP Ordinance applies to Landmarks
Objective 11-4. D	Assure new construction within historic areas is compatible with the existing character of the area so as to protect the historic context and district standards.	Applies to Landmarks
Objective 11-4. E	Support the process that places a temporary delay on proposed demolition of historic properties so as to allow time to work with property owners to adequately consider preservation alternatives.	Applies to Landmarks
Objective 11-4. F	Provide information to property owners and the public regarding any local, State and Federal incentive programs, including grant and tax incentive programs for rehabilitation and maintenance of historic properties.	

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Objective 11-4. G	Consider developing financial support programs, such as revolving loan fund for rehabilitation of properties, and a small grant program to provide matching funds for individual rehabilitation grants that meet identified criteria.	
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ECONOMIC DEVELOPMENT ELEMENT

Economic Development Goals & Objectives are organized to support the seven Program Focus Areas: Education & Workforce, Innovation and Entrepreneurship, Tourism, Old Town, Sustainability, Leadership, and Quality of Place, as well as general goals identified in the Introduction section.

FOCUS AREA: INTRODUCTION

ED - GOAL 12-1	PROMOTE COTTONWOOD AS THE COMMERCIAL HUB OF THE REGION.	
Objective 12-1. A	Support business retention and expansion (BR&E) program in order to stabilize existing businesses and create new job growth. Open up communications with local business, understand the business needs and issues, and provide assistance.	
Objective 12-1. B	Implement a business visitation program in order to gain an understanding of local business issues and concerns, visit four businesses per quarter, establish a database of issues/concerns, and follow-up with the businesses. Additionally, gain an understanding of business suppliers and vendors that could be attracted to the area.	
Objective 12-1. C	Periodically update the Cottonwood Market Study to better focus program elements and targeted marketing materials.	
Objective 12-1. D	Support the business incubator model that creates a climate for new business start-ups. The incubator program shall provide the technical assistance, staffing support, and other assistance in a single location where small businesses have support from initial start-up.	
Objective 12-1. E	Continue support for the Business Assistance Center (BAC). The BAC provides tremendous technical assistance to new business start-ups and business expansions.	
Objective 12-1. F	Take advantage of regional transportation corridor locations for mixed use development to meet increasing demand for jobs, services and housing.	
Objective 12-1. G	Work with other area agencies to secure funding to complete a telecommunications assessment and support expanded broadband capabilities.	
ED - GOAL 12-2	PROMOTE COTTONWOOD AS A BUSINESS-FRIENDLY COMMUNITY THROUGH FOCUSED COMMUNICATION PROJECTS AND OUTREACH.	
Objective 12-2. A	Identify and implement a “Brand Identity” program that defines the community as a forward-thinking, innovative, quality place to live, work and invest.	New logo 2015

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Objective 12-2. B	Develop key messages about Cottonwood’s assets, strategic vision, and business opportunities and promote such attributes through an on-going marketing program.	
Objective 12-2. C	Enhance the City’s business-related informational materials, including print, electronic and social media outlets.	
Objective 12-2. D	Support community events that include participation and feature local businesses, their services and products.	
FOCUS AREA #1: EDUCATION AND WORKFORCE		
ED - GOAL 12-3	SUPPORT EDUCATION, TRAINING AND WORKFORCE DEVELOPMENT EFFORTS SO AS TO PROVIDE EXISTING AND FUTURE BUSINESS WITH A “JOB READY” EMPLOYMENT BASE.	
Objective 12-3. A	Create a first class workforce that provides existing and future business with a “job ready” employment base.	
Objective 12-3. B	Review Yavapai College regional labor study and supplement where necessary in order to document the education and skill sets of the area workforce and identify gaps.	
Objective 12-3. C	Support the efforts of the Southwest Wine Center at Yavapai College and the emerging local wine industry, to include viticulture curriculum and vineyard management programs that support local work force objectives.	
Objective 12-3. D	Evaluate existing online job boards, including DES, Yavapai College, and Chamber of Commerce, and promote coordination, marketing and user-friendly effectiveness.	
Objective 12-3. E	Support efforts to achieve full employment for Cottonwood's residents, including efforts to attract and retain a broad base of businesses and industries providing well-compensated jobs with career growth potential.	
Objective 12-3. F	Improve access for the community's economically disadvantaged to job training or retraining opportunities to provide them with skills for career and job development.	
Objective 12-3. G	Continue to reduce barriers to employment for people of differing abilities by increasing opportunities to participate in the work force through specialized public transit accessibility programs, employee outreach programs and other programs determined to be effective in achieving accessibility goals for all.	
Objective 12-3. H	Identify solutions to address practical work force issues, such as affordable childcare and public transportation needs.	
Objective 12-3. I	Establish and maintain partnerships between business, education, and government to build a skilled workforce, including management and leadership training programs, to meet the needs of local businesses.	
Objective 12-3. J	Work with Yavapai College, high school districts and local businesses to create a work study and internship program for qualified local high school and college students so they gain experience working in local employment institutions, such as government, education, banking, medical or business entities.	

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ED - GOAL 12-4	ENCOURAGE EXCELLENCE IN EDUCATIONAL AND JOB TRAINING PROGRAMS AT ALL LEVELS.	
Objective 12-4. A	Encourage efforts to provide a full range of high quality educational opportunities for all residents and for life-long learning through library resources and continuing education programs.	
Objective 12-4. B	Support and foster efforts to provide excellence in public education and life-long learning in Cottonwood, including scientific, technical, humanistic, cultural, the arts, and the social sciences, and by the continuing support for public libraries.	
Objective 12-4. C	Ensure the City continues close ties with Yavapai College through the Verde Campus to ensure coordination of locally-oriented programs and resources.	
Objective 12-4. D	Promote coordination of the personnel needs of new and existing business with skills training programs to ensure a stable, productive labor force.	
FOCUS AREA # 2: INNOVATION AND ENTREPRENEURSHIP		
ED - GOAL 12-5	PROMOTE INNOVATION AND ENTREPRENEURSHIP IN COTTONWOOD.	
Objective 12-5. A	Support local programs to retain existing business and attract new business in order to create a more balanced economy and diversity in jobs.	
Objective 12-5. B	Support the Small Business Development Center (SBDC) at Yavapai College to foster entrepreneurship and facilitate business start-ups.	
Objective 12-5. C	Eliminate the barriers to home based businesses by ensuring that zoning regulations and community CCRs do not hamper this activity.	
Objective 12-5. D	Support the full range of business development opportunities related to sustainable agriculture and the wine industry.	
Objective 12-5. E	Maintain an up-to-date site and building inventory and explore the creation of a certified site or "shovel ready" program with on-line databases.	
Objective 12-5. F	Ensure that telecommunication infrastructure is in place to attract and retain broad-based business opportunities, including home-based and start-up businesses.	
Objective 12-5. G	Research the viability of Cottonwood attracting alternative and renewable energy production, manufacturing, and/or related R&D type activities.	
ED - GOAL 12-6	PROVIDE RESOURCES AND PROGRAMS THAT FOCUS ON SMALL BUSINESS DEVELOPMENT NEEDS.	
Objective 12-6. A	Utilize the Business Assistance Center (BAC) to facilitate communication between the City and small businesses, to evaluate and streamline City procedures, to evaluate City policies and regulations for their impacts on small businesses, and to encourage entrepreneurship and resolve problems.	Ongoing

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Objective 12-6. B	Continue support for small business advocacy services and assistance programs, including marketing, venture capital, financing, and City procurement procedures.	
Objective 12-6. C	Provide assistance for entrepreneurial efforts and technological innovation in small businesses.	
Objective 12-6. D	Support the Arizona Local First program, a state-wide effort that provides resources and strategies to support locally owned and operated businesses as an essential component of a sustainable economy and community.	
ED - GOAL 12-7	PROVIDE ASSISTANCE AND SUPPORT FOR THE RETENTION AND EXPANSION OF EXISTING BUSINESS.	
Objective 12-7. A	Continue support for the Business Assistance Center as the one-stop center providing assistance for existing businesses so as to assist with employee retention and expansion.	Ongoing
Objective 12-7. B	Identify and support programs that provide financial resources and strategies to assist local companies with expansion needs	
Objective 12-7. C	Support the use of technologies to assist companies to profitably expand.	
ED - GOAL 12-8	SUPPORT EFFORTS TO RECRUIT NEW BUSINESSES AND INDUSTRIES TO COTTONWOOD.	
Objective 12-8. A	Focus recruitment efforts and resources on specific industries which will diversify the existing economic base.	
Objective 12-8. B	Identify and recruit new firms that supply or otherwise support businesses already located in the Cottonwood area.	
Objective 12-8. C	Pursue recruitment of industries that are nonpolluting and compatible with the environment.	
Objective 12-8. D	Improve recruitment methods and strategies by analyzing results through established performance and evaluation criteria.	
Objective 12-8. E	Identify and support community resources which assist new businesses, such as marketing, venture capital, financing and management.	
Objective 12-8. F	Encourage and support entrepreneurial efforts and technological innovation in local businesses.	
Objective 12-8. G	Promote the Verde Valley as a location for film activities, including motion pictures, television, commercials and still photography.	
ED - GOAL 12-9	ENSURE NEW DEVELOPMENT LOCATED IN PROXIMITY TO THE VERDE VALLEY MEDICAL CENTER MEETS APPROPRIATE STANDARDS OF QUALITY SO AS TO ENSURE THE AREA REMAINS ATTRACTIVE AS THE PREEMINENT MEDICAL CENTER FOR THE REGION.	
Objective 12-9. A	Work with affected property owners and citizens to develop an Area Plan for the Medical Center area so as to provide a coordinated vision to guide the long-range development in and around the Medical Center area.	

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Objective 12-9. B	Develop design guidelines for the area to assist with the planning and design of future development projects.	
Objective 12-9. C	Encourage medical and health related business development in Cottonwood.	
ED - GOAL 12-10	ENSURE DEVELOPMENT IN PROXIMITY TO THE COTTONWOOD MUNICIPAL AIRPORT SUPPORTS THE LONG- TERM VIABILITY OF THE AIRPORT AS A KEY EMPLOYMENT AND ECONOMIC ACTIVITY CENTER.	
Objective 12-10. A	Provide incentives and program assistance to promote high-quality employment based uses, including aviation-related businesses, in the airport area.	
Objective 12-10. B	Update the Cottonwood Municipal Airport Master Plan to include detailed land use planning and design guidelines for the airport and surrounding area so as to achieve the desired goals for the area as determined through the planning process.	
Objective 12-10. C	Promote employment-generating business development within the Cottonwood Municipal Airport area so as to increase the number of industries located at the airpark, create incentive packages geared to targeted business, and collaborate with lessees to market the airport area as an attractive business location.	
FOCUS AREA # 3: TOURISM		
ED - GOAL 12-11	BRAND AND PROMOTE COTTONWOOD AS A TOURISM DESTINATION AND GATEWAY TO OTHER ATTRACTIONS IN THE VERDE VALLEY.	
Objective 12-11. A	Brand and promote Cottonwood as a tourism destination and gateway to other attractions in the Verde Valley.	Ongoing
Objective 12-11. B	Determine, protect, and promote such things as the natural, cultural, and historical features which attract tourists and visitors to the region.	
Objective 12-11. C	Support the establishment of a convention center and related quality lodging facilities so as to provide mid-sized convention and meeting activities.	
Objective 12-11. D	Determine the market feasibility for the siting of a conference hotel in Cottonwood and identify potential locations within the city that could support such facilities.	
Objective 12-11. E	Support development of a regional system of high-quality river access points and multi-use hiking, biking and equestrian trails.	
Objective 12-11. F	Continue to expand promotion efforts for the Verde Valley “Wine Trail” by working with the local wine consortium and related businesses.	
Objective 12-11. G	Work with Arizona State Parks to promote recreational opportunities at Dead Horse Ranch State Park, including through cooperative marketing programs with other area attractions and activities.	

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Objective 12-11. H	Promote Cottonwood as a destination and base for the full range of regional outdoor recreation opportunities, including boating, fishing, bird watching, hiking, climbing, hang gliding, sky diving, ballooning, etc.	
Objective 12-11. I	Continue to work on the development of a comprehensive tourism strategy that includes local, regional and state-wide partners and identified funding sources.	
Objective 12-11. J	Develop and implement a comprehensive “wayfinding” signage program for the City of Cottonwood, so as to provide an attractive, effective, and unified signage program that helps direct visitors and residents to a variety of local facilities, uses and districts.	
Objective 12-11. K	Expand geo-tourism and eco-tourism as part of the tourism development strategy (e.g., birding events, river access, hiking trails, archeological sites) in the Verde Valley.	
Objective 12-11. L	Develop partnerships for agro-tourism with local ranches, farms, gardens and vineyards in the Verde Valley; and support the full range of agro-tourism program development, including general tours, hands-on educational experiences, training opportunities, conferences, festivals, special events, accommodations, and marketing programs.	
FOCUS AREA # 4: OLD TOWN		
ED - GOAL 12-12	PROMOTE THE HISTORIC “OLD TOWN” DOWNTOWN AREA AS THE CITY’S ARTS AND CULTURAL CENTER AND UNIQUE DESTINATION DISTRICT.	
Objective 12-12. A	Continue support for efforts to develop the historic downtown area as a major, mixed-use activity center that includes a variety of housing choices and retail, restaurants, galleries, wine-related uses, office, government, arts and culture, entertainment, and other services.	
Objective 12-12. B	Promote the identification and preservation of historically significant structures and support programs to ensure historically appropriate development activities associated with designated historic landmarks and districts.	
Objective 12-12. C	Support preservation of historic landmarks and expansion of historic district designation to areas with high levels of significant historic properties.	
Objective 12-12. D	Continue to support community activities and events which bring people to Old Town, such as festivals, parades, farmer’s market, and arts and entertainment events, including those that attract evening and weekend participation.	
Objective 12-12. E	Continue to support tourism-related uses and activities in the area.	
Objective 12-12. F	Ensure efforts to promote Old Town Cottonwood provide benefits that enhance business and resident interests throughout the City of Cottonwood.	
Objective 12-12. G	Work on making Old Town more pedestrian and bicycle-friendly by ensuring facilities are continuous, interconnected, safe, efficient and attractive.	

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FOCUS AREA # 5: SUSTAINABILITY		
ED - GOAL 12-13	PROMOTE ECONOMIC SUSTAINABILITY AND ENVIRONMENTAL STEWARDSHIP WITHIN COTTONWOOD.	
Objective 12-13. A	Strive to balance municipal costs and revenues so as to provide a sustainable, high level of service to city residents.	
Objective 12-13. B	Encourage the application of renewable energy technology (such as solar) and LEED certification in new development by ensuring that local codes and regulations are “green” friendly.	
Objective 12-13. C	Incorporate green technologies in new and existing City facilities and strive for LEED Certification for City projects.	
Objective 12-13. D	Adopt policies that support and expand Cottonwood as a pedestrian and bike friendly community	
Objective 12-13. E	Support the Verde Valley Leadership programs and Project CENTRL to foster new leadership.	
Objective 12-13. F	Develop a recreation-based market study that will analyze our opportunities and identify recruitment strategy for recreational oriented businesses (e.g., mountain biking, ballooning, river-related activities.)	
ED - GOAL 12-14	SUPPORT QUALITY INFRASTRUCTURE DEVELOPMENT.	
Objective 12-14. A	Ensure appropriate physical infrastructure is available to support business and community development.	
Objective 12-14. B	Develop adequate telecommunications infrastructure to support businesses and residents. Create a committee to study telecommunications options and prepare an action plan to ensure that Cottonwood has the best possible communications capabilities.	
Objective 12-14. C	Link the Cottonwood General Plan to the Capital Improvement Plan so as to identify and prioritize needed community infrastructure with land development activities.	
Objective 12-14. D	Ensure ongoing coordination and communication between local governments and various utility providers, including both private and public, so as to address common concerns and ensure adequate advance planning related to growth and changing needs.	
Objective 12-14. E	Consider all types of funding options and strategies for infrastructure development as appropriate and in the best interest of the City and its residents.	
Objective 12-14. F	Work regionally to protect the community’s long-term water resources, ranging from inter-basin watershed coordination to local state-of-the-art conservation, reuse and recharge strategies. Expand public awareness and water conservation programs.	
Objective 12-14. G	Continue to improve multi-modal transportation opportunities, including pedestrian, bicycle, transit and vehicle systems.	

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ED - GOAL 12-15	RECOGNIZE THE IMPORTANCE OF RETIRED PEOPLE FOR THEIR VALUED CONTRIBUTIONS TO THE LOCAL ECONOMY AND COMMUNITY.	
Objective 12-15. A	Increase awareness and understanding of aging issues in Cottonwood.	
Objective 12-15. B	Increase the ability of seniors to remain active, healthy and living independently in Cottonwood.	
Objective 12-15. C	Implement programs that will assist seniors in improving or managing health conditions.	
Objective 12-15. D	Develop opportunities and programs to assist members of the senior population and retired workers so they can use their life skills, business experience and financial capital to more effectively participate in the expansion of the local economy.	
Objective 12-15. E	Continue to support senior advocacy organizations, including the Verde Valley Senior Center and the NACOG Area Agency on Aging - Advisory Council on Aging (ACOA).	
FOCUS AREA # 6: LEADERSHIP		
ED - GOAL 12-16	ENSURE ADEQUATE ORGANIZATIONAL CAPACITY TO SUPPORT ECONOMIC DEVELOPMENT PROGRAMS.	
Objective 12-16. A	Foster a collaborative environment and provide capable leadership on behalf of the City of Cottonwood.	
Objective 12-16. B	Provide funding and support for the City of Cottonwood Economic Development program, including a professional, full-time economic development director, necessary full and part-time support staff, office facilities, marketing programs, website resources and necessary program support.	
Objective 12-16. C	The City shall provide support to the Chamber of Commerce, CEDC, the Old Town Association and other local and regional economic development organizations, as determined.	
Objective 12-16. D	The City is encouraged to continue funding local economic development efforts, as well as the many other important non-profit organizations that work to improve the area's economy and quality of life.	
Objective 12-16. E	The City Council, City Manager, Economic Development Staff, Board of Directors and others shall meet periodically to review performance and to make modifications to the work program as necessary.	
Objective 12-16. F	Continue to identify ways to bring citizens, residents and business representatives into the community's economic development planning and implementation process.	

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ED - GOAL 12-17		
CONTINUE TO SUPPORT AND TAKE A LEAD ROLE WITH THE COORDINATION OF REGIONAL ECONOMIC DEVELOPMENT EFFORTS.		
Objective 12-17. A	Promote networking, information sharing, and coordination among the local public and private economic development agencies and organizations, educational and job training organizations, and business groups.	
Objective 12-17. B	Continue to support and implement the programs as described through the regional economic development planning efforts.	
Objective 12-17. C	Provide staffing and support for Cottonwood Economic Development Council (CEDC).	
GOAL 12-18		
PROVIDE PROGRAM SUPPORT FOR LOCAL MANUFACTURING COMPANIES.		
Objective 12-18. A	Support Northern Arizona Manufacturing Association (NAMA) that brings together local manufacturing firms to provide a forum to exchange information and ideas as well as an opportunity to discuss issues and concerns.	
Objective 12-18. B	Expand supply chain development opportunities.	
FOCUS AREA # 7: QUALITY OF PLACE		
ED - GOAL 12-19		
SUPPORT QUALITY OF PLACE GOALS AND ENSURE THAT COTTONWOOD RESIDENTS HAVE A WELL PLANNED COMMUNITY WITH HIGH LEVEL OF SERVICES, A DIVERSE MIX OF HOUSING, AND ABUNDANT CULTURAL AND RECREATIONAL OFFERINGS.		
Objective 12-19. A	Promote the arts in Cottonwood through consideration of a “percentage for the arts” program and support for a local arts council.	
Objective 12-19. B	Ensure the diversity and affordability of housing in Cottonwood.	
Objective 12-19. C	Create more awareness of and encourage the use of the Cottonwood Area Transit (CAT) system.	
Objective 12-19. D	Support community-based enforcement programs, such as MAT Force and Citizens on Patrol (COP).	
Objective 12-19. E	Preserve the natural environment of Cottonwood by adopting policies that allow for open space and the preservation of view sheds.	
ED - GOAL 12-20		
USE THE SUB-AREA PLANNING PROCESS TO SUPPORT ECONOMIC DEVELOPMENT OBJECTIVES FOR KEY DESIGNATED AREAS.		
Objective 12-20. A	Work with the public to identify and prioritize areas that could benefit from the focused planning approach provided through the sub-area planning process identified in the Land Use Element.	
Objective 12-20. B	Establish sub-area planning committees comprised of area residents, businesses, staff, elected officials and others to guide each program.	

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Objective 12-20. C	Encourage projects that enhance Cottonwood through appropriate quality urban design, improved public facilities and expanded economic development opportunities.	
GOAL 12-21 EXPAND E-GOVERNMENT (ON-LINE ELECTRONIC COMMUNICATIONS) PROGRAMS AND RESOURCES.		
Objective 12-21. A	Promote a user-friendly system that allows the citizen to interact easily with City government through a variety of mechanisms emphasizing the best practices for telephone, Internet, and e-mail and methods to provide one-stop services for various needs.	
Objective 12-21. B	Expand e-government to automate processes, such as bill payments, permits, and plan reviews.	
Objective 12-21. C	Develop an effective GIS (Geographical Information System) so that citizens can access the Internet to obtain a variety of information about their community and properties in a visual mapping format.	
Objective 12-21. D	Improve public access to internet-based information by providing public access computers at additional City facilities.	
GOAL 12-22 ENCOURAGE RE-USE AND INFILL DEVELOPMENT OF VACANT, UNDER USED AND OBSOLETE LAND PARCELS SO AS TO PROMOTE EFFICIENT AND COST-EFFECTIVE USE OF LAND AND INFRASTRUCTURE		
Objective 12-22. A	Establish programs and incentives to encourage compatible, adaptive re-use and modernization of vacant or deteriorating properties.	
Objective 12-22. B	Prioritize revitalization and redevelopment projects in consideration of overall General Plan goals and objectives, including both individual properties and sub-area improvements.	
Objective 12-22. C	Provide technical assistance and resources to assist with commercial, industrial and residential rehabilitation.	
Objective 12-22. D	Support the Sub-area planning process to promote careful redevelopment of areas in the community that are vacant and underutilized.	
Objective 12-22. E	Address the special needs of areas that are experiencing blight or potentially hazardous conditions to assure the health, safety, and welfare of local residents.	
Objective 12-22. F	Promote sensitive redevelopment of areas within the community that are in a process of transition and reflect a need for reinvestment, particularly in older neighborhoods and along arterial streets.	
Objective 12-22. G	Provide information to the public, property owners and businesses regarding potential state or federal incentives so as to encourage a diversity of integrated, high-quality land uses.	

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GOAL 12-23	REMEDiate DETERIORATED AND BLIGHTED CONDITIONS.	
Objective 12-23. A	Coordinate area-wide efforts to improve and enhance conditions, including assembly of underutilized and blighted properties for redevelopment at a level appropriate and compatible with surrounding neighborhood character.	
Objective 12-23. B	Enforce property development standards, remediate nuisance properties and eliminate unsafe property conditions.	
Objective 12-23. C	Support the redevelopment process as a means to provide additional effective economic development tools, including public/private partnerships, special grant programs, and targeted area-wide improvements.	
Objective 12-23. D	Ensure any historic properties or properties with potential to be designated as historic, take into account the best practices for historic preservation when associated with any redevelopment or revitalization effort. Potential financial incentives for historic preservation should also be considered for any related project.	

COTTONWOOD GENERAL PLAN 2025

LAND USE PLANNING AREA RECOMMENDATIONS

SUMMARY OF 10 PLANNING SUB-AREAS.

1. **East 89A Gateway.** Major “gateway” entrance area to Cottonwood from Sedona and Cornville.
2. **Old Town and Parks.** The Old Town area has unique cultural, historic and economic issues that need attention from those unique perspectives.
3. **Main & Mingus.** Neighborhood residential area with closely related corridor planning issues.
4. **Clemenceau.** The historic Clemenceau area now serves as a critical connection between the old and new areas of the city.
5. **West 89A Gateway.** Important role as a gateway district should be considered. Closely associated with future development around the Medical Center.
6. **Airport and West Side Planned Development.** Potential airport development areas need to be considered in relation to large undeveloped ranch properties west of the airport.
7. **Verde Village / Palisades.** Mainly developed areas. Issues include development around the edges, major collector streets and condition of some older developments to the north.
8. **Public Facility Center.** Includes older industrial area and residential complexes in addition to a number of significant public service and governmental facilities.
9. **Central Commercial Core.** Major shopping centers, large discount retail and home centers, auto dealers and regional outlets serve as commercial core.
10. **South 260 Gateway.** Gateway district coming from I-17. Highway commercial corridor along SR 260, includes undeveloped State Trust Land and Forest Service properties.

Planning Sub-Areas Recommendations	
A. East 89A Gateway.	NOTES
1. The challenge for future development will be to maintain the outstanding views from this area and to ensure development provides a human scale and attractive environment while integrating with the surrounding natural environment.	
2. A general development plan was approved for Verde Santa Fe North. The details of how the commercial sites are designed and how the neighborhoods are laid out should be carefully considered to emphasize people-oriented, neighborhood-scale, village centers. Design standards should be developed to strongly discourage large strip-center commercial development fronted by large parking lots along the highway.	This relates to the current “89 and Vine” Project under consideration.
3. The intersection at Bill Gray Road and SR 89A will be signalized as part of the Verde Santa Fe North development. An access management plan is recommended for this area to help guide related site planning for undeveloped private and state lands.	

LAND USE PLAN – SUB-AREA RECOMMENDATIONS

B. Old Town and Parks.	
1. Support efforts to implement the vision of the Verde River Greenway State Natural Area.	City Council approved coordination on Jail Trail project.
2. Preserve mature landscaping and trees in this area.	
3. Support use of Del Monte Wash for a trail network for recreational purposes.	Pending private land owner approval.
4. Renovate the Cottonwood Civic Center to ensure the long term stability of the historic structure, provide access for persons with disabilities and work to list the building on the National Register of Historic Places.	2015 CDBG Grant. & HVAC Project.
5. Continue support for civic events in the area, including the Farmers Market series, Christmas parade, Walkin’ on Main, Chocolate Walk, Brian Mickelson Marathon and other annual civic events.	Ongoing.
6. Support continued presence of City of Cottonwood governmental functions in the general area, including City Hall and other uses, as a valued component of an authentic town center.	
7. Pedestrian-oriented retail character of the streetscape should be preserved.	
8. Any new development in the area should be in scale with existing uses and compatible in design.	
9. Encourage compact, pedestrian-oriented development and enhanced treatment of streetscapes adjacent to Old Town.	
10. Provide improved pathway connections for walking and bicycling from central Old Town area to surrounding neighborhoods, including On the Greens/Pine Shadows/Gray Fox Ridge, Verde Heights and Clemenceau area.	TNC grant for riverfront planning 2016 accepted by Council.
C. Main & Mingus.	
1. Support revitalization efforts in this area, including potential assembly and consolidation of vacant properties that would allow appropriate pedestrian-oriented residential density development.	
2. Support continued street improvement projects in the area where appropriate to include curb, gutter and sidewalk improvements to help control drainage, improve safety for pedestrians and provide a “finished edge” to the public right of way.	Mingus Ave Improvements In Progress.
3. Consolidate access points along the curve. Consider bicycle and pedestrian improvements that could help calm vehicular traffic along Main Street.	

LAND USE PLAN – SUB-AREA RECOMMENDATIONS

4. The City should continue to work with the Main and Mingus Block Watch group and any other neighborhood groups through support of clean-up efforts, code enforcement and housing rehabilitation in the neighborhood.	
5. Explore options for small park development in the neighborhood.	
6. Access easements should also be obtained where possible along the Silver Springs Wash and Railroad Wash to preserve an open natural corridor and enable access to the Verde River.	
D. Clemenceau.	
1. Encourage and support a mixed-use development northwest and southwest of the Willard Street and Mingus Avenue intersection.	
2. Ensure that new development in this area extends and enhances pedestrian connections to all surrounding areas. In particular, ensure that any future planned development along Mingus Avenue and Willard Street includes convenient, safe pedestrian connections to the central part of Old Town.	
3. Pursue opportunities to use Del Monte Wash for open space and passive recreational uses, including trails and walking paths, with access from adjacent developments and neighborhoods	Pending private land owner approval.
E. West 89A Gateway.	
1. Extend Alamos Drive north to provide access to parcels, restrict direct access to parcels from 89A and provide a connection to Black Hills Drive and Scenic Drive.	
2. Coordinate trail development at Pine Shadows and with future development of the Groseta Ranch property to include connections to Old Town and the Verde River Greenway	Talks with potential developer.
F. Airport and West Side Planned Development.	
1. Support implementation of the Cottonwood Airport Master Plan. Ensure airport development and management proceeds in a manner that minimizes negative impacts on surrounding residential areas while still allowing improved use of this important facility.	Amendments to I-2 Zone in support of Airport goals.
2. Protect natural wash areas as open space networks and integrate trails adjacent to the wash corridors. Work with adjacent public land agencies to coordinate trail access from planned communities so as to allow carefully planned and located systems.	

LAND USE PLAN – SUB-AREA RECOMMENDATIONS

3. Encourage properties owners to provide trail easements along wash corridors, the power line corridor and appropriate areas in the vicinity.	
G. Verde Village / Palisades.	
1. Maintain the large lot character of the Verde Palisades area.	
2. Ensure that roadway improvements in the area are compatible with the existing large lot, rural character of the area.	Prop owner input sought for 12th St. & 6th St. improvements
3. Consider possible easements to establish a trail along Silver Springs Wash west of 6 th Street.	
H. Public Facility Center.	
1. Support sub-area planning or the development of a master plan for this general area so as to coordinate public facility development, provide an improved plan for pedestrian and bicycle routes, and to develop a coordinated system of signage to identify the various public facilities.	
2. Support efforts to process the historic slag pile material for commercial use. Once the slag pile is removed, work with the property owners, the Fairgrounds Association and others to consider long-term redevelopment of this central area of the city.	Underway and in progress.
I. Central Commercial Core.	
1. Consider redevelopment opportunities for older commercial properties and shopping centers, including additional freestanding development, façade improvements, multi-story additions, mixed use and improved connections to surrounding development.	
2. Consider additional multi-unit residential opportunities in nearby areas set back from the highway frontage and provide improved pedestrian links between commercial and residential areas. As development occurs, plan for improvements to streets and intersections to serve the areas nearby the main commercial corridors.	12th St. & 16th St. multi-unit residential projects approved 2015.
3. Support land assembly process along with coordinated street and access improvements, and other infrastructure coordination, for groupings of smaller vacant parcels located along State Route 260 and along Cove Parkway so as to facilitate more efficient development options.	

LAND USE PLAN – SUB-AREA RECOMMENDATIONS

J. South 260 Gateway.	
1. Consider opportunities to encourage innovative sustainability principles for all new development in this area, including master planned residential, commercial and industrial uses. Energy efficient building design, native plants and low water landscaping, efficient site planning and efficient multi-modal transportation systems could link mixed use development throughout this area.	
2. New development along SR 260 should be coordinated to encourage shared points of access to the highway. Work with ADOT and the VVTPO to ensure SR 260 is maintained as a primary limited access connection from Cottonwood and surrounding communities to Interstate-17.	
3. Work closely with the State Land Department, developers, residents and the public at-large on any future master planning of the State Trust Land west of SR 260. Ensure any comprehensive master plan developed for the State Trust Lands meets the highest standards for innovation and sustainability, including neighborhood planning techniques, multi-modal transportation features, green building practices, open space preservation and water conservation values.	
4. Ensure the best possible practices for any future land development in this sub-area, including any future annexation of State Trust Lands or other lands in the vicinity, so as to include efficient land use layout, open space preservation, water conservation and efficient circulation connections that include pedestrian and bicycle routes.	ASTL east of SR 260 studied for possible annexation. Report to ASLD 2015.
5. All agencies are encouraged to work together to identify undeveloped public lands in this area that should be permanently preserved as critical wildlife corridors and as visual and aesthetic open space that helps define the unique communities through attractive natural transition zones.	

COTTONWOOD GENERAL PLAN 2025 CIRCULATION PROJECT RECOMMENDATIONS 2015 REVIEW

CHAPTER 4. CIRCULATION ELEMENT includes the following Proposed Circulation Projects:

PROPOSED STREET IMPROVEMENT PROJECTS:				
	STREET	SEGMENT	IMPROVEMENT	NOTES
1.	SR 89A E	260 Intersection	Add Second East Bound Right Turn Lane. Under Construction 2013 -2014	Completed.
2.a.	6 th St S	Mingus To 89A	Rehab Pavement, Bike Lanes	
2.b.	6 th St S	89A To Fir St	Rehab Pavement, Bike Lanes	
3.	12 th St S	89A South To Fir.	Reconstruct 2-Ln Urban Section Bike Lanes	Completed.
4.	16 th St S	Skyline To 89A	Connection To 89A	
5.	Alamo Dr	Black Hills To Scenic Dr	2-Ln Urban Section. Bike Route Signs From Black Hills Dr To Scenic Drive	
6.	Fir St W	West City Limits To West Loop	New Connection Subject To Future Development Of Westside Private Lands	
7.	Fir St W	Camino Real Intersection	Reconstruct Intersection. Left Turn Lanes And Possible Signalization	
8.	Rodeo Dr	Commercial Loop	New Loop Road From Signalized Intersection Of Rodeo Dr To E Fir St	
9.	Groseta Ranch Rd	N. Main St To 89a	New 2-Ln Road With Bike Lanes With Planned Area Dev.	Preliminary meetings with developer.
10.	Mingus W	Willard To 10 th St	Reconstruction, Add Sidewalks, Bike Lanes	Design in Progress.
11.	Mingus W	10 th St To Main St	Reconstruction, Add Sidewalks, Bike Lanes	Design in Progress.
12.	West Loop -1	Black Hills Dr To West Mingus Ave	Complete 2-Ln Rd With Bike Lanes Yavapai College Through Mesquite Hills	
13.	West Loop - 2	W Mingus Av To Fir St	Complete 2-Ln Rd With Bike Lanes With Planned Development.	
15	Godard Rd	Old 279 To SR 260	New 2-Ln Road With Bike Lns With Planned Area Development	

**COTTONWOOD GENERAL PLAN 2025
CIRCULATION PROJECT RECOMMENDATIONS
2015 REVIEW**

The General Plan 2025 recommends establishment of several Transportation Improvement Programs that could be applied on a city-wide basis or on focused sub-areas:

PROPOSED CITY-WIDE CIRCULATION IMPROVEMENT PROGRAMS:

PROGRAMS		NOTES
1.	Bicycle and Pedestrian Facility Improvements.	
2.	Neighborhood Traffic Calming Program.	
3.	Street Medians and Access Management.	
4.	Neighborhood Street Improvement Program.	