



**CITY OF COTTONWOOD
PLANNING & ZONING COMMISSION
COUNCIL CHAMBERS**
826 N. Main St.
Cottonwood, AZ 86326

REGULAR MEETING
Monday, September 19, 2016
6:00 pm.

I. CALL TO ORDER

A. Roll Call

B. Approval of Minutes: August 15, 2016, regular meeting.

II. CALL TO THE PUBLIC

This is the time for the public to comment on any matter that does not appear on the agenda. Commission members may not discuss items not identified on the agenda. Pursuant to A.R.S. §38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for consideration at a later date. Comments are limited to five minutes for each person.

III. OLD BUSINESS: None.

IV. NEW BUSINESS:

- 1. DR 16-018 BLACK BEAR DINER-** Request for Design Review Approval for the exterior remodel of an existing restaurant. Address: 1041 S. State Route 260 and 1041 State Route 89A. APN: 406-04-044A & 406-04-056A. Owner: Niki 89A LLC. Agent: Steven Frome.
- 2. DR 16-019 MCDONALDS RENOVATION-** Request for Design Review Approval for the exterior remodel of an existing restaurant. Address: 1129 S. State Route 260. APN: 406-04-153A. Owner: Archland Properties I LLC. Agent: Dan Filuk.
- 3. Z16-003 & DR 16-014 LEMAIN DEVELOPMENT-** Consideration of a zone change and design review of two parcels from C-1 (Light Commercial) zoning to PAD (Planned

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

The Cottonwood Council Chambers is accessible to the handicapped in accordance with Federal "504" and "ADA" laws. Those with needs for special typeface print or hearing devices may request these from the Planning Technician at 634-5505 (TDD 634-5526). All requests must be made at least 24 hours before the meeting.

Area Development) zoning for proposed mixed-use commercial/residential units in Old Town Cottonwood. APN: 406-22-014 and 406-22-022A. Address: 920 N. Main Street and 925 N. Cactus Street. Owner: LaMain 919 LLC and Cactus Development LLC. Agent: Steve Biasini

Pursuant to A.R.S. 38.431.03 (A)(3), the Commission may vote to convene in executive session to obtain legal advice regarding the scope of its review of the project at this stage in the process.

V. DISCUSSION ITEM: None.

VI. INFORMATIONAL REPORTS AND UPDATES:

A brief summary of current events by Chairperson, Commission members, and/or Community Development Director. (The public body does not propose, discuss, deliberate, or take legal action on any matter brought up during this summary unless the matter is properly noticed for legal action).

VII. ADJOURNMENT

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

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Official Minutes of the City of Cottonwood
Planning & Zoning Commission Regular Meeting
Held, August 15, 2016, at 6:00 P.M. at the City Council Chambers
826 N. Main St. – Cottonwood, Arizona

CALL TO ORDER & ROLL CALL

Chairman Kiyler called the meeting to order at 6:01 p. m. Roll call was taken as follows:

Planning & Zoning Commission Members Present

Chairman Kiyler	Vice Chairman Robert Williams
Thomas Narwid	Judd Wasden
Suzanne Poslaiko	Jean Wilder

Planning & Zoning Commission Members Absent

Staff Members Present

Berrin Nejad, Community Development Manager
Scott Ellis, Community Development Planner
Jim Padgett, Community Development Assistant Planner/Code Enforcement Coordinator
Carolyn Pettengill, Community Development Administrative Assistant
Christina Anderson, Planning Technician, Recorder

APPROVAL OF MINUTES OF JULY 18, 2016-REGULAR MEETING

Motion: *To approve the minutes of 7/18/2016-regular meeting*

Made by: *Vice Chairman Williams*

Second: *Commissioner Wasden*

Vote: *Unanimous*

CALL TO THE PUBLIC

Peter Livingston & Marissa Gladen (Hippie Emporium).

OLD BUSINESS (NONE)

NEW BUSINESS

1. **PCU 16-008 MESQUITE HILLS SPECIAL DIRECTIONAL SIGN-**
Consideration of a Conditional Use Permit to allow a special directional sign to the Mesquite Hills subdivision. This sign will be located on property zoned C-1 (Light Commercial), located at 585 W. State Route 89A and Candy Lane. APN: 406-33-131Q. Owner: Marcus J. Lawrence Medical Center. Agent: John Alvey. Below is Padgett's report:

STAFF MEMO

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: August 15, 2016

PROJECT NUMBER: **PCU 16-008 Mesquite Hills Special Directional Sign**

Approval of a Conditional Use Permit is requested to allow the placement of a Special Directional Sign on property located at 585 W State Route 89A along the North Side of State Route 89A between Mingus Avenue and Candy Lane zoned C-1 (Light Commercial.) The proposed sign is located on APN 406-33-131Q.

PROJECT DATA AND FACTS:

Applicant/Agent	John Alvey
Property Owner	Verde Valley Medical Center
Location of Property	585 W. State Route 89A. Assessor Parcel Number 406-33-131Q, located on the North side of State Route 89A between Mingus Ave and Candy Lane.
Present Zoning and Land Use	C-1 (Light Commercial) Currently vacant land.
Description of Applicant's Request	To locate a Special Directional Sign for the Mesquite Hills Subdivision.

LAND USE:

Description and Character of Surrounding Area	
The site is currently vacant and is generally surrounded mostly by vacant land, some medical facilities, industrial properties and other retail uses along State Route 89A.	

Adjacent Land Uses and Zoning	
North:	PAD – Vacant lot.
South:	C-2 (Heavy Commercial) Bank and vacant lot across State Route 89A
East:	PAD – Vacant land and medical offices.
West:	C-2 – Vacant parcel and Gas station

PROJECT PROPOSAL:

Background:

The property is presently vacant and is along State Route 89A in the vicinity of Mingus Avenue which is a main access to the Mesquite Hills subdivision currently being developed. The request for the sign is to allow for traffic to have better directional information to go to the subdivision as they travel along State Route 89A.

The existing C-1 zoning of the property allows for consideration of a Conditional Use Permit for the location of a Special Directional Sign by the City of Cottonwood Zoning Code Section 405.G.9.

STRUCTURAL DESIGN:

The proposed sign would be 40 square feet in area being a 5' by 8' sign placed on two block columns covered in a stone veneer. The overall height of the sign would be 10' which is the maximum permitted by code.

See the attached color rendering and finish details submitted by the applicant.

REQUIRED FINDINGS:

A Conditional Use Permit shall only be granted if the approving body determines that the project conforms to the required findings in this Section. (*Zoning Ordinance, Section 302.*) If it is determined that it is not possible to confirm the required findings for the proposed CUP, whether as submitted or through conditions that may be required, the application shall be denied. The specific basis for any decision shall be established in the record as findings of fact. The following criteria shall be considered as the basis for the findings to approve, approve with conditions or deny the Conditional Use Permit:

General Findings:

The placement of a Special Directional sign is a permitted use with a Conditional Use Permit.

Compatibility with Surroundings Uses:

The location of this proposed Special Directional sign located along State Route 89A 89A is compatible with the surrounding land uses and zoning.

Traffic and Circulation:

No traffic will be generated at the proposed sign location.

Infrastructure:

N/A

Nuisance Activities:

No nuisance activities have been identified at this location for the existing or proposed use.

Buffering and Screening:

No additional buffering or screening is required.

Stipulations:

A Conditional Use Permit is necessary to locate the Special Directional sign on this C-1 property. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans submitted for the August 15, 2016 Planning and Zoning Commission meeting, and as may be further modified by the Planning and Zoning Commission.
2. A sign permit shall be applied for, and approved by staff, within six (6) months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation procedures.
3. That the Special Directional sign be granted for a period of 5 (five) years or a time as specified by the Planning Commission.
4. A Certificate of Zoning Compliance documenting the completion of Conditional Use Permit conditions shall be issued upon completion of the sign as presented.
5. Any other stipulations the Planning & Zoning Commission deems necessary.
6. That the Special Directional sign comply with all requirements of Section 405.G.9 of the City of Cottonwood Zoning Code.

Commissioner Narwid asked who will own the sign, and who would be responsible for the removal of the sign? Staff responded that the property is owned by the Medical Center, and the sign would be owned by the owners of Mesquite Hills Subdivision, and the commission can always put a stipulation on the sign removal and who will be responsible for that removal. Chairman Kiyler asked the applicant how long they plan on having their sign on that property. Applicant responded that they are hoping for ten (10) years. Vice Chairman

Williams mentioned to the applicant that they already have a stipulation for five (5) years, will it be a problem to come back to the commission for a review in five years? Applicant responded that would not be a problem, and the sign will be well maintained. Commissioner Wilder mentioned that the only concern that she would have had was lighting, but there is none proposed for this sign. Commissioner Poslaiko mentioned that it was a handsome sign, and that they are going to maintain it, but maybe the commission would like to put a stipulation that they have to maintain the sign. Commissioner Narwid added that a stipulation stating that the entire sign and parts be removed at the end of their time. Commissioner Wasden agreed with Commissioner Narwid that a stipulation state that the sign be removed entirely. Vice Chairman asked the Commission how they would like to stipulate the sign. Chairman Kiyler responded that any sign changes within the time frame specified, that they come to the commission for approval.

Motion: *To Approve PCU 16-008 Mesquite Hills Special Directional Sign with the following stipulations:*

- 1. That project is developed in conformance with the development plans submitted for the August 15, 2016 Planning and Zoning Commission meeting.*
- 2. A sign permit shall be applied for, and approved by staff, within six (6) months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation procedures.*
- 3. That the Special Directional sign be granted for a period of 5 (five) years at which time the applicant can request an extension or sign to be completely removed within sixty (60) days.*
- 4. A Certificate of Zoning Compliance documenting the completion of Conditional Use Permit conditions shall be issued upon completion of the sign as presented.*
- 5. That the Special Directional sign comply with all requirements of Section 405.G.9 of the City of Cottonwood Zoning Code.*
- 6. The sign and structure be removed at end of use.*
- 7. Any changes made to the sign within the timeframe be brought to the Planning & Zoning Commission for approval.*

Made by: *Vice Chairman Williams*

Second: *Commissioner Narwid*

Vote: *Unanimous*

- 2. DR 16-016 3 KINGS KASBAR-** Request for Design Review Approval for the renovation of an existing building in Old Town, to include outdoor seating. Address: 102 E. Pima St. APN: 406-34-052. Owner: Verde Valley Entertainment Group LLC. Agent: Dan Surber. Below is Nejad's report:

STAFF REPORT

TO: Planning and Zoning Commission
FROM: Scott Ellis, City Planner
THROUGH: Berrin Nejad, Community Development Director
HEARING DATE: August 15, 2016
PROJECT NUMBER: **DR 16-016 3 Kings Kasbar**

The applicant is requesting Design Review approval for the renovation of an existing building in Old Town, to include outdoor seating.

PROJECT DATA AND FACTS:

Applicant/Agent	Dan Surber
Owner	Verde Valley Entertainment Group LLC
Location of Property	102 E. Pima Street
Present Zoning and Land Use	C-1 (Light Commercial) – Vacant Building
Description of Applicant’s Request	Renovate site to allow for a restaurant/bar and outdoor seating.

LAND USE:

Description and Character of Surrounding Area
The site is located at 102 E. Pima Street, in Old Town, across from the Outdoor Activity Park. The property currently has two structures on it.
North: R-2 – Single Family/Multiple Family Residential – Residential homes.
East: C-1 – Light Commercial – Residential home and a vacant lot.
South: C-1 – Light Commercial – Old Town Activities Park.
West: C-1 – Light Commercial – Residential homes.

PROJECT PROPOSAL:

Background:

In 2014, the Commission approved a Conditional Use Permit for this location to include interior and exterior remodeling to allow light manufacturing and wine tasting with an outdoor patio to enjoy.

The new owner of the property would like to remodel the existing buildings to include an

event hall and a restaurant/bar. The larger building has most recently been used as a church but has sat vacant for several years. A new outdoor patio will be included with the remodel.

At this time outdoor entertainment is not proposed, however, any future outdoor entertainment will require a Conditional Use Permit.

The proposed development fits within the General Plan designation for this area and the Land Use Map showing General Commercial development.

STRUCTURE DESIGN:

Number and Proposed Use of Building	1 Event Hall and 1 Restaurant/Bar
Number of Stories	1
Square Footage	~3,000 sq.ft. Event Hall ~1,800 sq.ft. Restaurant/Bar

Parking:

Due to its location and lot coverage, this property does not allow for off-street parking and is being allowed the proposed use without requiring additional parking.

Lighting:

Exterior lighting will meet all Dark Sky and lighting code requirements.

Signage:

The applicant is proposing new signage for the two buildings and associated businesses. The sign plan included with the submittal is preliminary and may change. The applicant would like the opportunity to make sign changes to be approved by staff.

Access:

Access to the building will be off E. Pima Street.

Landscape Plan:

A landscape plan has been submitted with plants chosen from the City's approved plant list in the Landscape Ordinance. Plants to be utilized include Red Yucca, Photinia, Italian Cypress, Heavenly Bamboo, and an herb garden.

Utilities:

All necessary utilities are available to the site.

Architecture, Materials, Colors:

The larger building on the property will not have any structural exterior changes done, but it will have new painting, decoration, and signage. The smaller building will be converted to allow an indoor/outdoor bar concept with a garage door type opening. The former gazebo in front of the small building will be replaced with a steel or wood portico for shade and new paves or concrete will be placed in the courtyard. New landscaping improvements will also be included.

CRB Review:

This project was reviewed by the Code Review Board on May 3, 2016 for the event hall use, and July 12, 2016 for the restaurant/bar use. The applicant will be required to meet all comments and conditions from staff.

Staff Review:

Staff has reviewed this project and finds it fits within the General Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the plans submitted July 25, 2016, modified and resubmitted August 4, 2016, and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated May 6, 2016 and July 15, 2016.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.

Commissioner Narwid asked if the alley was public property? Staff responded yes. Commissioner Narwid asked what the alley will be used for, and the outdoor seating area that is proposed, has the applicant addressed the noise? Applicant responded that the alley will not be used for parking, the exterior paint was brought to the commission at the last meeting, the property is available for historic landmark designation so they will not be doing anything architecturally, and at this time there is not outdoor music. Commissioner Narwid reiterated that there will not be outdoor music at this time. Applicant responded that they will apply for a Conditional Use Permit in the future if they decide to have outdoor music. Commissioner Wasden mentioned for clarification that the alley is public and see no issues with that; likes the colors of the building and what the applicant has done with the property, it is an improvement from what was there. Vice Chairman Williams mentioned that if the applicant wants to use outdoor music at one point they may want to look at the wall buffering the residence. Commissioners Poslaiko and Narwid both wished the applicant good luck and thought that they had a very nice looking project. Commissioner Wasden told the applicant that he appreciates the completeness of the submittal. Chairman Kiyler also mentioned to the applicant that he liked it and wish you the best.

Motion: *To approve DR 16-016 3 Kings Kasbar with the following stipulations:*

1. *That the project is developed in conformance with the plans submitted July 25, 2016, modified and resubmitted August 4, 2016.*

2. *That the project conforms to Code Review Board comments dated May 6, 2016 and July 15, 2016.*
3. *A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by Planning & Zoning Staff.*
4. *The applicant shall submit any sign changes to the Commission.*

*Made by: Vice Chairman Williams
Second: Commissioner Narwid
Vote: Unanimous*

DISCUSSION ITEMS (NONE)

INFORMATIONAL REPORTS AND UPDATES

There was a brief update/discussion in regards to the following, no action was taken, and these were only for informational purposes.

1. Introduction of Carolyn
2. Treasure Junkies
3. September Planning & Zoning Meeting already has a full agenda
4. Galpin RV temporary modular building
5. Supreme Court Ruling on Signage, our Sign Code will be changing
6. Recommendation regarding AirBnB

ADJOURNMENT

Meeting adjourned at 7:02 p.m.



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Scott Ellis, Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: September 19, 2016

PROJECT NUMBER: DR 16-018 Black Bear Diner

The applicant is requesting approval of a Design Review application for the interior and exterior remodel of an existing restaurant. This project was initially reviewed by the Code Review Board on August 9, 2016.

PROJECT DATA AND FACTS:

Applicant/Agent	Steven Frome
Property Owner	NIKI 89A LLC
Location of Property	1041 S. State Route 260 SE Corner of SR 260 & SR 89A
Present Zoning and Land Use	C-2 (Heavy Commercial) Vacant Restaurant
Description of Applicant’s Request	Design Review for remodel of an existing restaurant building (former Sizzler building).

LAND USE:

Description and Character of Surrounding Area
<p>North (Across 89A): C-2 (Heavy Commercial) – Fast Food Restaurants - Taco Bell/Panda Express.</p> <p>East: C-2 (Heavy Commercial) – Mexican food restaurant.</p> <p>South C-2 (Heavy Commercial) – Dental office.</p> <p>West (Across 89A): C-2 (Heavy Commercial) & PAD (Planned Area Development) – Retail/Tourism - Cottonwood Chamber of Commerce and Home Depot.</p>

PROJECT PROPOSAL:

Background:

Black Bear Diner intends to do interior and exterior remodeling of the existing restaurant building located on the site. The property was most recently used as a Sizzler restaurant which shut down earlier this year. Building and site conditions will stay relatively the same, with façade upgrades, new paint, and new signage among other items. No use restrictions or special permits are required for the proposed use of this building as indicated by the applicant.

BUILDING AND STRUCTURE DESIGN:

The existing building is approximately 6,100 square feet and will remain in place with interior and exterior changes to accommodate the new tenant's restaurant brand.

Architecture, Materials, Colors:

The stucco exterior of the building will remain and be repaired and repainted, new wood entry columns, new landscape wood sculpture for the Black Bear theme, a new stone façade wainscot applied to the base of the building, new signage, and recoating and restriping of the parking lot will encompass the exterior upgrades to the site. New murals will be adhered to the building with a painted wood frame.

A Hunter Green color will be used for the stucco accent bands at the roof edge, soffit, and trim accents. Brookline Beige will be used as a wall field color, and Jackson tan will be used for the wall pier accents (see attached color samples).

SITE PLAN:

Total parcel area is approximately 62,726 square feet (1.44 acres on two parcels).

Parking:

The existing parking lot will be recoated and restriped to accommodate the required number of stalls. A total of 93 parking spaces will be provided, 6 of which will be handicap accessible.

Lighting:

New LED lighting will replace the existing lighting at the building facades and soffits, and in the parking lot. Gooseneck barn lighting will be used above the building signage. All lighting will meet dark sky requirements.

Signage:

An existing monument sign sits on the northwest corner of the property. The intent is to use the current sign base and replace the actual sign with a new, internally illuminated 60 square foot sign. The sign will have white Lexon faces with a black vinyl overlay (see attached sign plan). New building signs will be added to the exterior with illumination provided by gooseneck barn lights pointing down. The size of these signs is to be determined, however, the applicant will be required to meet all city codes regarding sign size allowances.

Access/Driveways:

The existing driveway access off SR 260 and SR 89A will remain the same. Staff is awaiting ADOT verification that no changes need to be made to access the site. The applicant will inform staff of any ADOT requirements once received. All other driveway and sidewalk details will be reviewed and approved by City engineering staff.

Landscape Plan:

Landscaping will remain and the applicant will clean and trim the existing landscaping. The applicant has also indicated adding some color landscaping around the building only.

Utilities:

All necessary utilities for the site are existing.

CRB Review:

This project was reviewed by the Code Review Board on August 9, 2016. The applicant will need to meet all requirements as indicated in the meeting comments.

STIPULATIONS:

If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans submitted for the September 19, 2016 meeting and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated August 11, 2016.
3. A Certificate of Zoning Compliance documenting the completion of Design Review conditions shall be issued prior to the Certificate of Occupancy.
4. Any other stipulations the Planning & Zoning Commission deems necessary.

■■■■ SeFDesign, LLC

Steven E. Frome, aia

317 East Le Marche Ave, Phoenix, Arizona, 85022
c:602.705.5558 f:602.441.3134 sefdesign@cox.net

August 17, 2016

Scott Ellis, Planner
Community Development Department
City of Cottonwood
111 North Main Street, Cottonwood, AZ 86326
t-928-634-5505

**Re: Design Review Submittal
Commercial Building Exterior Improvements - Black Bear Diner
1041 Hwy 89A 279, Cottonwood, AZ 86326**

Enclosed are documents for a design review for a new Black Bear Diner at the location of a former Sizzler Restaurant in Cottonwood. The documents include: Design Review Application, this letter of intent, nine copies of Design Review drawings at 11x17 and 24x36 format. An electronic copy of Design Review drawings to be sent via email.

The building site is a former Sizzler Restaurant at the southeast corner of South State Route 260 and East State Route 89A, Cottonwood. The site consists of two parcels per the county maps, APN 406-04-056A and 406-04-044A. The current owner, Niki 89A, LLC., based in San Diego, CA, will remain the owner of the property. The new tenant will be Black Bear Diner, based in Redding CA. Contact for the new tenant is Scott Jeter, c-530-356-6827. The applicant is Steven Frome, AIA, SeFDesign, LLC., based in Phoenix, information noted in the letterhead.

The building and site conditions will essentially remain the same, with façade upgrades. The new work will include: recoating and re striping the parking area as required to meet the parking requirements of the restaurant, providing a new block/stucco/painted metal gate trash enclosure, providing new landscape wood sculpture for the Black Bear brand theme, replace the existing grease interceptor system, new wood entry columns, and new LED lighting replacing existing lighting at the building facades and soffits. The existing building stucco finish will be repaired and repainted. A new stone façade wainscot will be applied to the base of the building. New building signage will be applied to the façade and a new lit monument signage utilizing the existing sign base. The existing landscaping will remain and be trimmed and cleaned.

We look forward to working with the City of Cottonwood for this new restaurant location. Please review the documents and let me know if there is anything additional you require for your review



Steven E. Frome, aia

Bbdctwd-081716-ctwd des rev

SfD - 1 bbdctwd-081716-ctwd des review



 **Black Bear Diner**

WELCOME

BEAR'S BEST BREAKFAST

Breakfast Lunch • Dinner

DESIGN REVIEW SUBMITTAL- EXTERIOR IMPROVEMENTS- NEW RESTAURANT BLACK BEAR DINER

1041 HWY 89A 279
COTTONWOOD, AZ 86326



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION

1 EXISTING EXTERIOR PHOTOS
NO SCALE

PROJECT DATA:

PROJECT DESCRIPTION: NEW COMMERCIAL RESTAURANT EXTERIOR IMPROVEMENTS AT EXISTING RESTAURANT BUILDING, FORMER SIZZLER RESTAURANT.

ADDRESS: 1041 HWY 89A 279, COTTONWOOD, AZ 86326. SOUTH EAST CORNER OF SOUTH STATE ROUTE 260 AND EAST STATE ROUTE 89A. ENCOMPASSES TWO PROPERTIES

OWNER: NIKI 89A, LLC
11260 EL CAMINO REAL, SUITE 220
SAN DIEGO, CA 92130-2676

AREAS: BUILDING AND RESTAURANT TENANT IMPROVEMENT- 6,097 SF

LOT INFO:

APN - 406-04-056A + 406-04-044A
SITE AREA- 1.39 AC + 0.05 AC= 1.44 AC TOTAL
CHECK DIGIT- 5
INCORPORATED AREA- CITY OF COTTONWOOD
CONSTRUCTED 1991
TYPE- RESTAURANT
ZONING- C-2
SUBDIVISION- N/A, SUBDIVISION TYPE- N/A
SECTION- 2, TOWNSHIP- 15N, RANGE- 3E

LEGAL DESCRIPTION: SEPARATE ENCLOSURE

OCCUPANCY: PROPERTY USE- RESTAURANT, OCCUPANCY TYPE A-2, RESTAURANT USE.

CONSTRUCTION TYPE: V-B. ONE STORY WITH FIRE SPRINKLER SYSTEM. 23'-0" H- HT MAX PARAPET, ROOF HEIGHTS VARY.

FIRE SPRINKLERS: YES. PROVIDED UNDER SEPARATE DEFERRED SUBMITTAL. FIRE SPRINKLER ENGINEERING AND HYDRAULIC CALCULATIONS.
FIRE ALARMS: YES. PROVIDED UNDER SEPARATE DEFERRED SUBMITTAL.
EMERGENCY LIGHTING: YES.

ACCESSIBILITY: ACCESSIBILITY UPGRADES EXCEED 20% OF ESTIMATED CONSTRUCTION VALUE. UPGRADES INCLUDE NEW ACCESSIBLE TOILETS AND ACCESSORIES, ENTRY DOORS, ACCESSIBLE SEATING.

PARKING: PARKING REQUIRED: 3,073 SF USEABLE FLOOR AREA AT 1 SPACE/ 35 SF. 3,073/ 35= 88 SPACES REQUIRED. 2,056 SF EMPLOYEE AREA AT 200 SF/ PERSON= 10 EMPLOYEES. PARKING 1 SPACE / 2 EMPLOYEES, 10' 2= 5 SPACES REQUIRED
TOTAL 93 SPACES REQUIRED.
ACCESSIBLE PARKING- 76-100= 4 SPACES REQUIRED.

TOTAL SPACES PROVIDED- 93 SPACES. INCLUDING 6 ACCESSIBLE PARKING SPACES. GENERAL RECREATIONAL VEHICLE AISLE SPACE PARKING PROVIDED.

PROJECT CONTACTS:

PROPERTY OWNER:

NIKI 89A, LLC
11260 EL CAMINO REAL, SUITE 220, SAN DIEGO, CA 92130-2676

TENANT:

BLACK BEAR DINER, INC.
1880 SHASTA STREET, REDDING CA 96001
T-530-366-6827 CONTACT- SCOTT JETER EMAIL- SCOTT.JETER@BLACKBEARDINER.COM

GENERAL CONTRACTOR:

J WALTERS CONSTRUCTION CO., LLC
2980 EAST NORTHERN AVE, SUITE A, PHOENIX, AZ 85028
T-602-667-6685 CONTACT- DALE WALTERS EMAIL- DALE@J-WALTERS.COM

ARCHITECT:

SeFDesign, LLC
317 EAST LE MARCHE AVE., PHOENIX, AZ 85022
T- 602-705-5558 F- 602-441-3134 CONTACT- STEVE FROME EMAIL- SEFDESIGN@COX.NET

MECHANICAL + PLUMBING ENGINEER:

ASSOCIATED MECHANICAL ENGINEERS, PLLC
1505 WEST UNIVERSITY DRIVE, SUITE 101, TEMPE, AZ 85281
T- 480-966-3996 CONTACT- GEORGE JOSEPHS EMAIL- GEORGE@AMENGINEERS.COM

ELECTRICAL ENGINEER:

WOODWARD ENGINEERING
203 SOUTH SMITH ROAD, SUITE 101, TEMPE, AZ 85281 T- 480-894-4057
CONTACT- DOUG WOODWARD EMAIL- DOUG@WOODWARD-ENGINEERING.COM

STRUCTURAL ENGINEER:

SIMPLY STRUCTURAL, INC.
1200 WEST UNIVERSITY DRIVE, SUITE 101, TEMPE, AZ 85281
T- 602-443-0303 CONTACT- MIKE WILDA EMAIL- MWILDA@SIMPLYSTRUCTURAL.COM

GOVERNING CODES:

ALL CONSTRUCTION TO COMPLY WITH THE LATEST CODE AND CITY ADJUDMENTS ENFORCED BY THE CITY OF COTTONWOOD AS IT RELATES TO THIS PROJECT. ALL CITY CODES ARE NOTED, THIS PROJECT MAY INCLUDE THE FOLLOWING:

- 2009 INTERNATIONAL BUILDING CODE (IBC)
- 2008 NFPA 70 (NEC)
- 2009 INTERNATIONAL MECHANICAL CODE (IMC)
- 2012 INTERNATIONAL FIRE CODE (IFC) AND PER THE COTTONWOOD FIRE DEPARTMENTS CONDITIONS
- 2009 INTERNATIONAL PLUMBING CODE (IPC)
- 2008 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2003 ICC/ANSI A117.1

DRAWING INDEX:

- DR-0 PROJECT INFORMATION + SITE PLAN + GENERAL NOTES
- DR-1 DESIGN REVIEW EXTERIOR ELEVATIONS+ DETAILS
- DR-2 DESIGN REVIEW EXTERIOR ELEVATIONS+ DETAILS
- A301 EXTERIOR COLOR ELEVATIONS- PREPARED BY NICHOLS MELBURG & ROSETTO
- A302 EXTERIOR COLOR ELEVATIONS- PREPARED BY NICHOLS MELBURG & ROSETTO
- A303 EXTERIOR COLOR ELEVATIONS- PREPARED BY NICHOLS MELBURG & ROSETTO
- A304 EXTERIOR COLOR ELEVATIONS- PREPARED BY NICHOLS MELBURG & ROSETTO
- SIGN-1 EXTERIOR SIGNAGE
- SIGN-2 EXTERIOR SIGNAGE

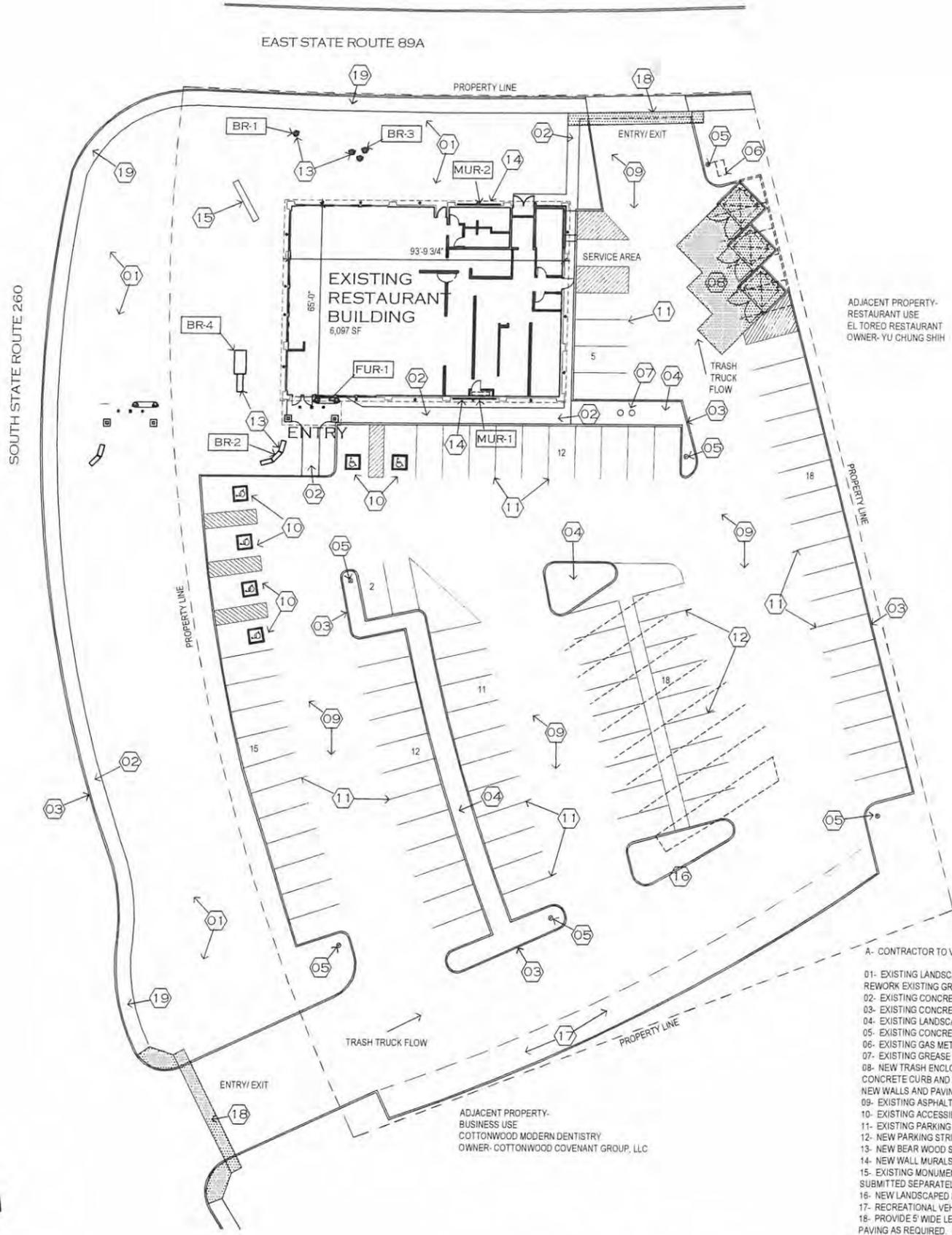


BLACK BEAR DINER

08/17/16
SEFDESIGN,LLC
DESIGN REVIEW
DRO1

1041 HWY 89A 279, COTTONWOOD, AZ 86326

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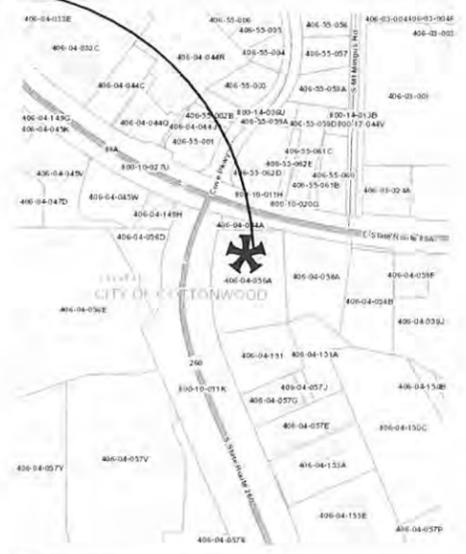


ADJACENT PROPERTY-
RESTAURANT USE
EL TOREO RESTAURANT
OWNER- YU CHUNG SHIH

ADJACENT PROPERTY-
BUSINESS USE
COTTONWOOD MODERN DENTISTRY
OWNER- COTTONWOOD COVENANT GROUP, LLC



PROJECT LOCATION



2 OVERALL SITE PLAN
NO SCALE

1 VICINITY MAP
NO SCALE

- A- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS.
- 01- EXISTING LANDSCAPE AREA. EXISTING VEGETATION TO BE TRIMMED AND CLEANED, REMOVE DEAD VEGETATION. REWORK EXISTING GRAVEL TOPPING FOR EVEN COVERAGE.
- 02- EXISTING CONCRETE WALKWAYS.
- 03- EXISTING CONCRETE CURBS.
- 04- EXISTING LANDSCAPED PARKING MEDIANS.
- 05- EXISTING CONCRETE BOLLARD AND LIGHT POLE.
- 06- EXISTING GAS METER ASSEMBLY.
- 07- EXISTING GREASE INTERCEPTOR MANHOLES. PROVIDE NEW GREASE INTERCEPTOR TANK PER PLUMBING DWGS.
- 08- NEW TRASH ENCLOSURE. 8' STUCCO FACE CMU AND METAL PAINTED GATE ASSEMBLY. REMOVE PORTION OF EXISTING CONCRETE CURB AND ASPHALT PAVING FOR NEW ENCLOSURE AND CONCRETE PAD. PATCH EXISTING ASPHALT PAVING TO NEW WALLS AND PAVING.
- 09- EXISTING ASPHALT PAVED PARKING AREA TO BE RECOATED.
- 10- EXISTING ACCESSIBLE PARKING SPACES. REPAINT ACCESSIBLE LOGO AND STRIPING.
- 11- EXISTING PARKING SPACES TO BE RESTRIPTED.
- 12- NEW PARKING STRIPING AT EXISTING PARKING AREA. REMOVE EXISTING PARKING STRIPING.
- 13- NEW BEAR WOOD SCULPTURES. REFER TO SCHEDULE DWG DR05.
- 14- NEW WALL MURALS AND MOUNTING FRAME. REFER TO SCHEDULE DWG DR05.
- 15- EXISTING MONUMENT SIGNAGE. PROVIDE NEW TENANT SIGNAGE ON EXISTING STRUCTURE. ALL SIGNAGE TO BE SUBMITTED SEPARATELY FOR APPROVALS.
- 16- NEW LANDSCAPED MEDIAN, 6" CONCRETE CURBS.
- 17- RECREATIONAL VEHICLE GENERAL PARKING AREA.
- 18- PROVIDE 5' WIDE LEVEL ACCESSIBLE PEDESTRIAN WALKWAY AT ENTRY RAMP DRIVEWAY. REMOVE EXISTING CONCRETE PAVING AS REQUIRED. PROVIDE NEW 4" CONCRETE WALKWAY TO MEET ALL ACCESSIBILITY CODES.
- 19- REMOVE AND REPLACE ALL DAMAGED AND UNEVEN CONCRETE SIDEWALK PANELS. REPAIR ALL CRACKED CURBS.



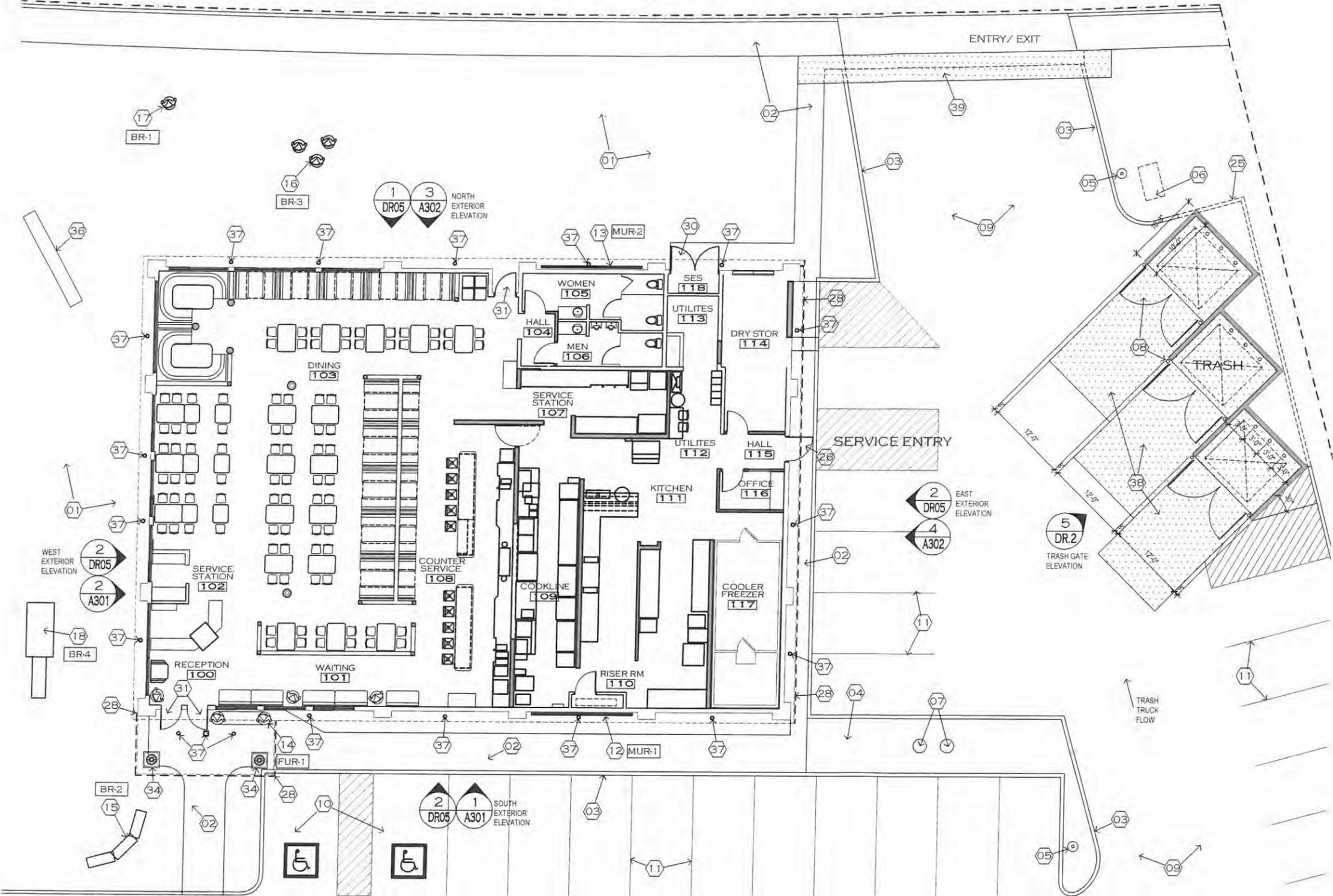
BLACK BEAR DINER

08/17/16
SEFDESIGN.LLC
DR02
DESIGN REVIEW

3 SITE PLAN
SCALE: 1"=30'-0"

1041 HWY 89A 279, COTTONWOOD, AZ 86326
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EAST STATE ROUTE 89A



NOTES:

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- 08- NEW TRASH ENCLOSURE: 6' HT X 8' CMU - STUCCO FACING, METAL PAINTED GATE ASSEMBLY. REMOVE PORTION OF EXISTING CONCRETE CURB AND ASPHALT PAVING FOR NEW ENCLOSURE. PROVIDE NEW 6" CONCRETE PAD. PATCH EXISTING ASPHALT PAVING TO NEW WALLS AND CONCRETE PAVING. REFER TO DETAILS 1+2/DR07.
- 09- EXISTING ASPHALT PAVED PARKING AREA TO BE RECOATED.
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- 12- NEW WALL MURAL #1, 4' X 16'.
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- 15- NEW BEAR SCULPTURE WOOD CARVING SCENE BR-2. REFER TO MOUNTING DETAIL 4/DR07.
- 16- NEW BEAR SCULPTURE, WOOD CARVINGS BR-3. REFER TO MOUNTING DETAIL 4/DR07.
- 17- NEW BEAR SCULPTURE, WELCOME BEAR BR-1. REFER TO MOUNTING DETAIL 4/DR07.
- 18- NEW BEAR SCULPTURE, COVERED WAGON BR-4. REFER TO MOUNTING DETAIL 4/DR07.
- 19- REPAIR AND PAINT EXISTING STUCCO WALL FINISH PT-2. REFER TO COLOR SCHEDULE DWG DR05.
- 20- PAINT EXISTING STUCCO ACCENT BANDS PT-2. REFER TO COLOR SCHEDULE DWG DR05.
- 21- PAINT EXISTING STUCCO ACCENT PIERS PT-3. REFER TO COLOR SCHEDULE DWG DR05.
- 22- EXISTING TILE ROOF AND TRIM. REPLACE DAMAGED TILES.
- 23- PAINT EXISTING STUCCO ACCENT BANDS AT ROOF CAP PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 24- PAINT EXISTING STUCCO WALLS ABOVE ROOF PT-2. REFER TO COLOR SCHEDULE DWG DR05.
- 25- REMOVE EXISTING CONCRETE CURB. PROVIDE NEW GRAVEL LANDSCAPE INFILL TO NEW TRASH SITE WALLS.
- 26- NEW EXTERIOR HOLLOW METAL DOOR, FRAME AND HARDWARE. DOOR AND FRAME PAINTED PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 27- REMOVE EXISTING OVERHEAD DOOR ASSEMBLY AND WALL GRILLES WHERE OCCUR. WALL UP OPENING TO MATCH EXISTING WALL CONSTRUCTION WITH STUCCO ACCENT BANDS. PROVIDE EXTERIOR STUCCO FINISH PAINTED TO MATCH EXISTING.
- 28- REMOVE AND REPLACE EXISTING GUTTER AND DOWNSPOUT WITH NEW ALUMINUM SYSTEM, PAINTED PT-1.
- 29- NEW RIVER STONE WALL FACING AND STONE LEDGER ST-1. APPLIED TO EXISTING WALL SURFACE. REFER TO TYPICAL DETAIL 3/DR07. COPE STONE FACING AROUND WINDOW OPENINGS.
- 30- EXISTING HOLLOW METAL DOOR AND FRAME PAINTED PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 31- NEW WOOD DOOR, CLEAR STAIN AND PAINTED EXISTING DOOR FRAME.
- 32- EXISTING ALUMINUM WINDOW SYSTEMS.
- 33- NEW SIGNAGE ON BUILDING AT EXISTING LOCATIONS. ALL SIGNAGE TO BE SUBMITTED SEPARATELY FOR APPROVALS. REFER TO SIGNAGE DWGS.
- 34- ENTRY COLUMNS. REMOVE ALL STUCCO ENCLOSURES. EXISTING WOOD SUPPORT COLUMN TO REMAIN. PROVIDE NEW FRAMING AND STONE FACING BASE WITH STONE LEDGE CAP. NEW DECORATIVE CARVED WOOD COLUMN ENCLOSURE, CLEAR STAIN, SURROUND OVER EXISTING COLUMN, FULL HEIGHT.
- 35- REPLACE ALL SOFFIT LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES.
- 36- REMOVE EXISTING MONUMENT SIGNAGE. PROVIDE NEW TENANT MONUMENT SIGNAGE. ALL SIGNAGE TO BE SUBMITTED SEPARATELY FOR APPROVALS.
- 37- NEW EXTERIOR LED LIGHTING FIXTURES AND SPEAKER AT EXISTING SOFFIT FIXTURE LOCATIONS.
- 38- NEW 6" CONCRETE PAD AND REINFORCING AT TRASH ENCLOSURE AND APRON.
- 39- PROVIDE 5' WIDE LEVEL ACCESSIBLE PEDESTRIAN WALKWAY AT ENTRY RAMP DRIVEWAY. REMOVE EXISTING CONCRETE PAVING AS REQUIRED. PROVIDE NEW 4" CONCRETE WALKWAY TO MEET ALL ACCESSIBILITY CODES.
- 40- NEW ADDRESS NUMBER SIGNAGE.

3 SITE + EXTERIOR FINISH PLAN

SCALE: 3/32"=1'-0"



BLACK BEAR DINER

08/17/16
 SEFDESIGN,LLC
DR03
 DESIGN REVIEW

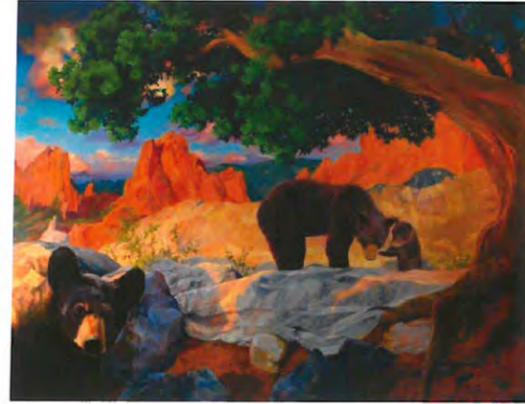
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MUR-2 EXTERIOR MURAL PANEL



TYPICAL MURAL FRAME + LIGHTING



MUR-1 EXTERIOR MURAL PANEL



TYPICAL STONE WALL WAINSCOT



BR-2 TYPICAL EXTERIOR BEAR SCULPTURE AT ENTRY



BR-1 EXTERIOR WELCOME BEAR SCULPTURE AT LANDSCAPING



FUR-1 EXTERIOR FURNITURE SEATING + BEARS



BR-3 EXTERIOR BEAR SCULPTURE AT LANDSCAPING

PHOTOS OF TYPICAL FINISH + LANDSCAPE SELECTIONS
1 NO SCALE

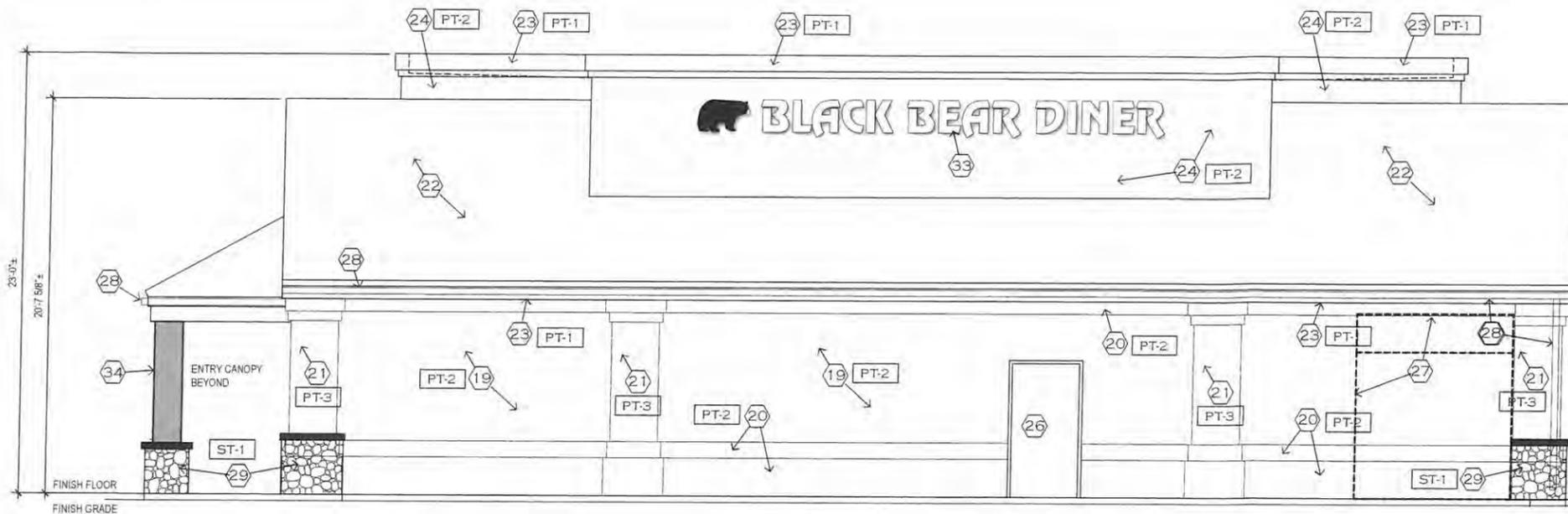


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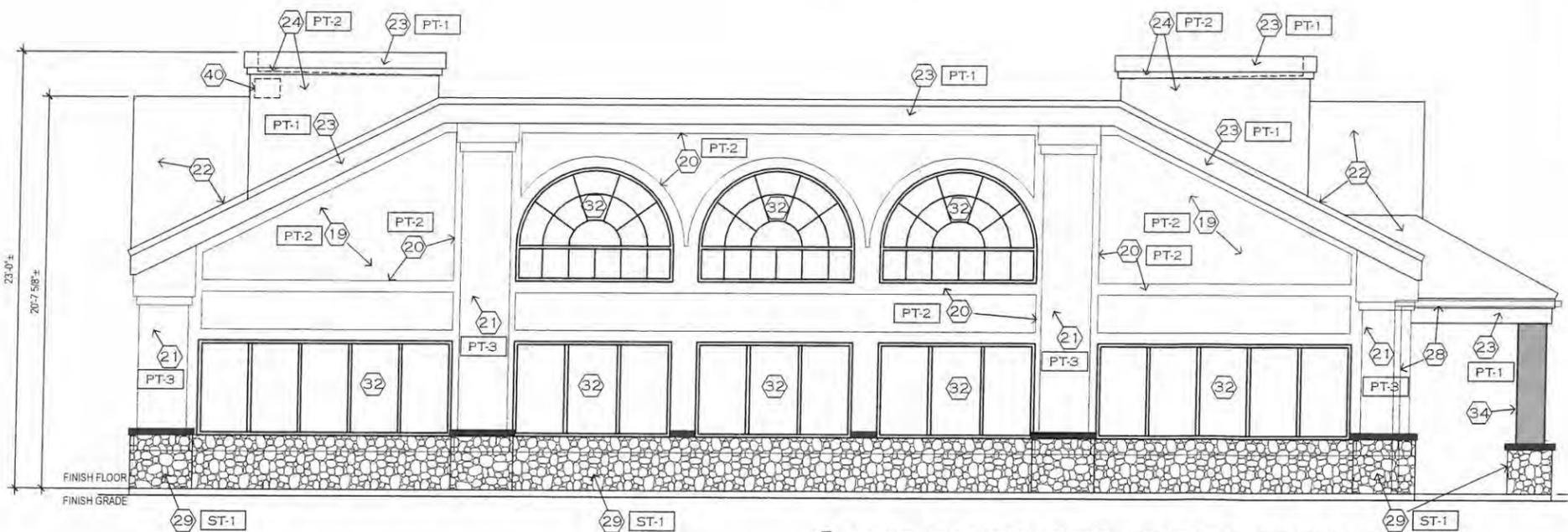
08/17/16
SEFDESIGN, LLC
DESIGN REVIEW
DRO4

1041 HWY 89A 279, COTTONWOOD, AZ 86326

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2 EAST EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"



1 WEST EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"

EXTERIOR FINISHES:

BR-1	WOOD BEAR SCULPTURE-1 WELCOME BEAR, 10' HT MOUNTING- CONCRETE FOUNDATION. REFER TO TYPICAL DETAIL 4/DR07 LOCATION- LANDSCAPE AREA, NORTH FACING EAST STATE ROUTE 89A
BR-2	WOOD BEAR SCULPTURE-2 BEAR, 4' HT, BEAR SCENE, BEAR WITH CARRIAGE MOUNTING- CONCRETE FOUNDATION. REFER TO TYPICAL DETAIL 4/DR07 LOCATION- LANDSCAPE AREA, SOUTH FACING RESTAURANT ENTRY
BR-3	WOOD BEAR SCULPTURE-3 BEAR, 3'-4" HT, COWBOY THEME MOUNTING- CONCRETE FOUNDATION. REFER TO TYPICAL DETAIL 4/DR07 LOCATION- LANDSCAPE AREA, NORTH FACING EAST STATE ROUTE 89A
BR-4	WOOD BEAR SCULPTURE-4 COVERED WAGON MOUNTING- CONCRETE FOUNDATION. REFER TO TYPICAL DETAIL 4/DR07 LOCATION- LANDSCAPE AREA, WEST FACING SOUTH STATE ROUTE 260
FUR-1	FURNITURE-1 WAITING BENCH, WOOD SEATING BENCH WITH BEAR END SUPPORTS MOUNTING- ANGLE CLIPS TO EXISTING CONCRETE PAVING LOCATION- ADJACENT TO MAIN ENTRY
MUR-1	MURAL-1 4' X 16' WALL MURAL MOUNTING- WALL MOUNTING FRAME + CLIPS LOCATION- EXTERIOR SOUTH WALL
MUR-2	MURAL-2 4' X 16' WALL MURAL MOUNTING- WALL MOUNTING FRAME + CLIPS LOCATION- EXTERIOR NORTH WALL
PT-1	PAINT PT-1 SHERWIN WILLIAMS, HUNTER GREEN SW-0041 LOCATION- STUCCO ACCENT BANDS AT ROOF EDGE + SOFFIT, TRIM ACCENTS.
PT-2	PAINT PT-2 BENJAMIN MOORE, BROOKLINE BIEGE, HC-47 LOCATION- WALL FIELD COLOR.
PT-3	PAINT PT-3 BENJAMIN MOORE, JACKSON TAN, HC-46 LOCATION- WALL PIER ACCENTS.
ST-1	STONE VENEER WAINSCOT ST-1 CULTURED STONE BY BORAL, STANDARD STREAM STONE, SUMMER COLOR. REFER TO FINISH + LANDSCAPE CONTACT INFO THIS DWG. REFER TO DETAIL 3/DR07.

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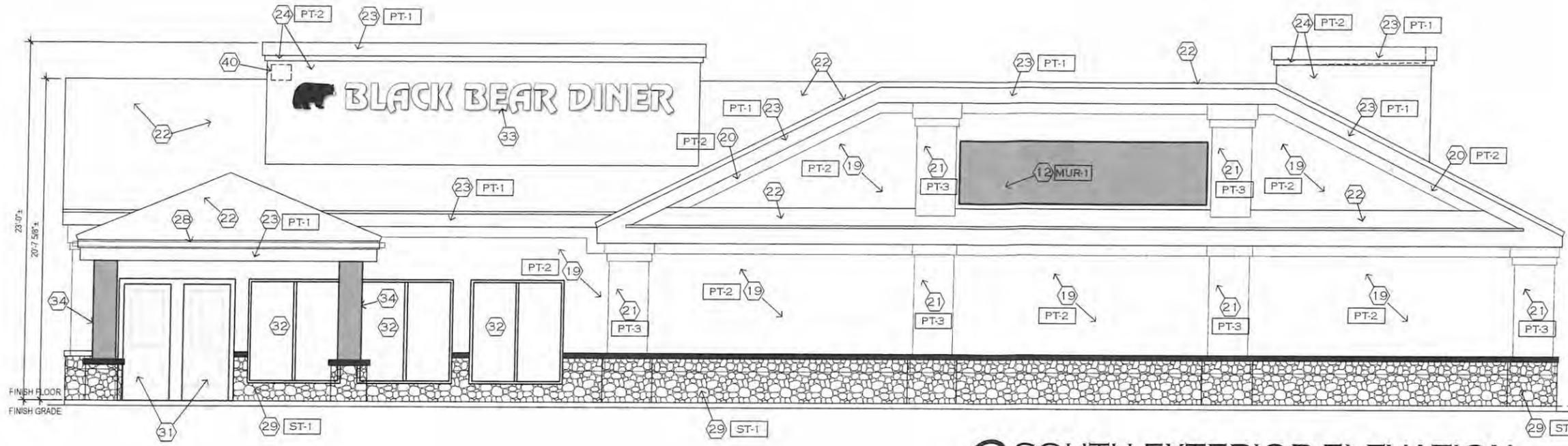
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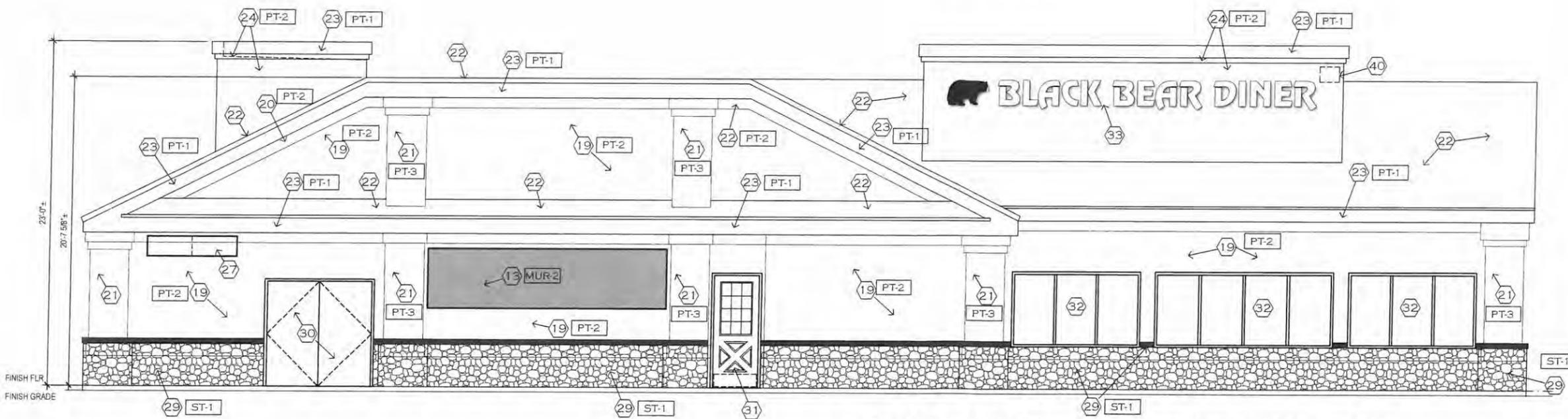
BLACK BEAR DINER

08/17/16
SEFDESIGN,LLC **DR05**
DESIGN REVIEW

1041 HWY 89A 279, COTTONWOOD, AZ 86326



2 SOUTH EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"



1 NORTH EXTERIOR ELEVATION
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 D- FURNITURE WAITING BENCH- CARVED BEAR BENCHES, CONTACT RAY SCHULTZ, NORTHWOOD SCULPTURE 508-276-9504. OPTION CONTACT- SHERRY SCHMIT, SHERRY@PIRESIDELODGEFURNITURE.COM, FIRESIDE LODGE FURNITURE 218-568-8223

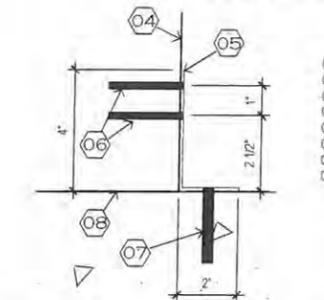
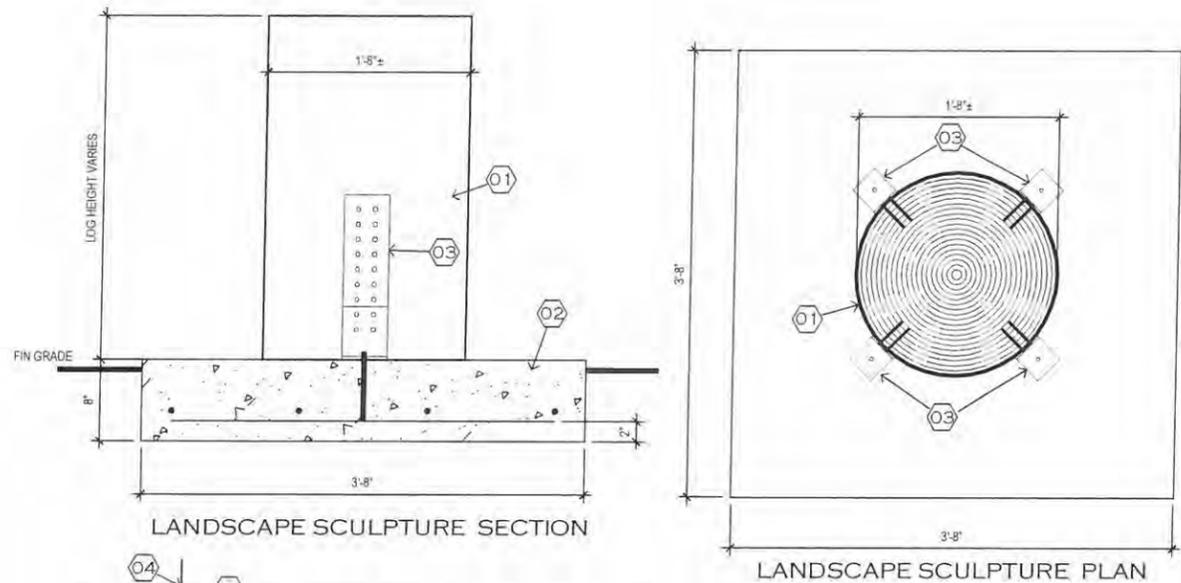
- 01- EXISTING LANDSCAPE AREA. EXISTING VEGETATION TO BE TRIMMED AND CLEANED, REMOVE DEAD VEGETATION. REWORK EXISTING GRAVEL TOPPING
- 02- EXISTING CONCRETE WALKWAYS
- 03- EXISTING CONCRETE CURBS
- 04- EXISTING LANDSCAPED PARKING MEDIANS
- 05- EXISTING CONCRETE BOLLARD AND LIGHT POLE
- 06- EXISTING GAS METER ASSEMBLY
- 07- EXISTING GREASE INTERCEPTOR MANHOLES
- 08- NEW TRASH ENCLOSURE. 6' HT X 8' CMU + STUCCO FACING, METAL PAINTED GATE ASSEMBLY. REMOVE PORTION OF EXISTING CONCRETE CURB AND ASPHALT PAVING FOR NEW ENCLOSURE. PROVIDE NEW 6" CONCRETE PAD. PATCH EXISTING ASPHALT PAVING TO NEW WALLS AND CONCRETE PAVING. REFER TO DETAILS 1-2DR07.
- 09- EXISTING ASPHALT PAVED PARKING AREA TO BE RECOATED.
- 10- EXISTING ACCESSIBLE PARKING SPACES. REPAINT ACCESSIBLE LOGO AND STRIPING
- 11- EXISTING PARKING SPACES TO BE RESTRIPTED.
- 12- NEW WALL MURAL #1, 4' X 16'
- 13- NEW WALL MURAL #2, 4' X 16'
- 14- NEW FURNITURE WAITING BENCH AND BEARS. REFER TO MOUNTING DETAIL 4DR07
- 15- NEW BEAR SCULPTURE WOOD CARVING SCENE BR-2. REFER TO MOUNTING DETAIL 4DR07.
- 16- NEW BEAR SCULPTURE, WOOD CARVINGS BR-3. REFER TO MOUNTING DETAIL 4DR07
- 17- NEW BEAR SCULPTURE, WELCOME BEAR BR-1. REFER TO MOUNTING DETAIL 4DR07
- 18- NEW BEAR SCULPTURE, COVERED WAGON BR-4. REFER TO MOUNTING DETAIL 4DR07.
- 19- REPAIR AND PAINT EXISTING STUCCO WALL FINISH PT-2. REFER TO COLOR SCHEDULE DWG DR05.
- 20- PAINT EXISTING STUCCO ACCENT BANDS PT-2. REFER TO COLOR SCHEDULE DWG DR05.
- 21- PAINT EXISTING STUCCO ACCENT PIERS PT-3. REFER TO COLOR SCHEDULE DWG DR05.
- 22- EXISTING TILE ROOF AND TRIM. REPLACE DAMAGED TILES.
- 23- PAINT EXISTING STUCCO ACCENT BANDS AT ROOF CAP PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 24- PAINT EXISTING STUCCO WALLS ABOVE ROOF PT-2. REFER TO COLOR SCHEDULE DWG DR05.
- 25- REMOVE EXISTING CONCRETE CURB. PROVIDE NEW GRAVEL LANDSCAPE INFILL TO NEW TRASH SITE WALLS.
- 26- NEW EXTERIOR HOLLOW METAL DOOR, FRAME AND HARDWARE. DOOR AND FRAME PAINTED PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 27- REMOVE EXISTING OVERHEAD DOOR ASSEMBLY AND WALL GRILLES WHERE OCCUR. WALL UP OPENING TO MATCH EXISTING WALL CONSTRUCTION WITH STUCCO ACCENT BANDS. PROVIDE EXTERIOR STUCCO FINISH PAINTED TO MATCH EXISTING
- 28- REMOVE AND REPLACE EXISTING GUTTER AND DOWNSPOUT WITH NEW ALUMINUM SYSTEM, PAINTED PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 29- NEW RIVER STONE WALL FACING AND STONE LEDGER ST-1. APPLIED TO EXISTING WALL SURFACE. REFER TO TYPICAL DETAIL 3DR07. COPE STONE FACING AROUND WINDOW OPENINGS.
- 30- EXISTING HOLLOW METAL DOOR AND FRAME PAINTED PT-1. REFER TO COLOR SCHEDULE DWG DR05.
- 31- NEW WOOD DOOR, CLEAR STAIN AND PAINTED EXISTING DOOR FRAME
- 32- EXISTING ALUMINUM WINDOW SYSTEMS.
- 33- NEW SIGNAGE ON BUILDING AT EXISTING LOCATIONS. ALL SIGNAGE TO BE SUBMITTED SEPARATELY FOR APPROVALS.
- 34- ENTRY COLUMNS. REMOVE ALL STUCCO ENCLOSURES. EXISTING WOOD SUPPORT COLUMN TO REMAIN. PROVIDE NEW FRAMING AND STONE FACING BASE WITH STONE LEDGE CAP. NEW DECORATIVE CARVED WOOD COLUMN ENCLOSURE, CLEAR STAIN, SURROUND OVER EXISTING COLUMN, FULL HEIGHT.
- 35- REPLACE ALL SOFFIT LIGHT FIXTURES WITH NEW LED LIGHT FIXTURES.
- 36- REMOVE EXISTING MONUMENT SIGNAGE. PROVIDE NEW TENANT MONUMENT SIGNAGE. ALL SIGNAGE TO BE SUBMITTED SEPARATELY FOR APPROVALS.
- 37- NEW EXTERIOR LED LIGHTING FIXTURES AND SPEAKER AT EXISTING SOFFIT FIXTURE LOCATIONS.
- 38- NEW 6" CONCRETE PAD AND REINFORCING AT TRASH ENCLOSURE AND APRON.
- 39- PROVIDE 5' WIDE LEVEL ACCESSIBLE PEDESTRIAN WALKWAY AT ENTRY RAMP DRIVEWAY. REMOVE EXISTING CONCRETE PAVING AS REQUIRED. PROVIDE NEW 4" CONCRETE WALKWAY TO MEET ALL ACCESSIBILITY CODES.
- 40- NEW ADDRESS NUMBER SIGNAGE.



BLACK BEAR DINER

08/17/16
SEFDESIGN, LLC
DR06
DESIGN REVIEW

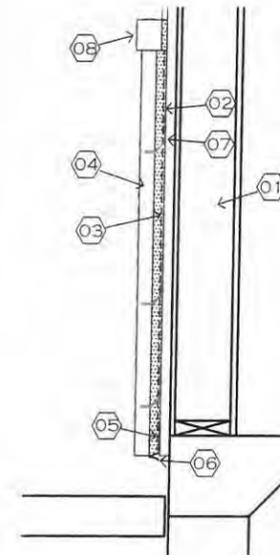
1041 HWY 89A, 279, COTTONWOOD, AZ 86326
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- 01- EXTERIOR BEAR LOG SCULPTURE AT LANDSCAPING INSTALLATION. SIZE AND HEIGHT VARIES. REFER TO FLOOR PLAN 4/DR.1 FOR LOCATION.
- 02- CONCRETE FOUNDATION AT LANDSCAPING LOCATION. PROVIDE (4) #5 EACH WAY.
- 03- SIMPSON HDHS-SDS 2.5 HOLD DOWN. PROVIDE MIN (4) SDS SCREWS 1/4" X 2-1/2" INTO LOG. 5/8" ANCHOR BOLT, MIN 5" EMBED AT FOUNDATION.
- 04- EXTERIOR BEAR LOG SCULPTURE AT EXISTING CONCRETE WALKWAY INSTALLATION. SIZE AND HEIGHT VARIES. REFER TO FLOOR PLAN 4/DR.1 FOR LOCATIONS.
- 05- GALVANIZED STEEL CLIP ANGLE, 2" X 4" X 1-1/2" WIDE X 1/8" THK. PROVIDE MIN (4) PER LOG SCULPTURE.
- 06- (2) SDS SCREWS 1/4" X 2-1/2" INTO LOG.
- 07- SIMPSON TITEN HD 3/8" X 2-1/2" SCREW ANCHOR.
- 08- EXISTING CONCRETE SLAB.

DETAIL- EXTERIOR WOOD BEAR LOG SCULPTURE MOUNTING

SCALE: 1"=1'-0"



- A- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS. ADJUST DIMENSIONS AS REQUIRED AFTER NOTIFYING ARCHITECT AND ENGINEER.
- B- STONE WAINSCOT- MANUF- OWENS CORNING CULTURED STONE. USE STANDARD STREAM STONE SUMMER WITH 15% SKIMMERS, TIGHT AND/OR LITTLE GROUT. CONTACT- OWENS CORNING FOR LOCAL DISTRIBUTOR 800-438-7465. OPTION CONTACT- MANUF- CORONADO STONE PRODUCTS DIRECT CONTACT SCOTT HARTZELL, 909-357-8295, EMAIL- SCOTT@CORONADO.COM, RIVER ROCK- SOUTHWEST BLEND.

- 01- EXISTING STUCCO WALL FACE, 2x WOOD STUDS, SHEATHING WALL SYSTEM.
- 02- TWO LAYERS WEATHER RESISTANT BARRIER.
- 03- LATH AND MORTAR SCRATCH COAT AND MORTAR SETTING BED.
- 04- ADHERED STONE VENEER AND MORTAR JOINTS.
- 05- LAP WEATHER RESISTANT BARRIER OVER WEEP SCREED.
- 06- WEEP SCREED.
- 07- TYPICAL VENEER ATTACHMENT TO EXISTING WALLS SHALL CONSIST OF GALVANIZED STEEL DIA. 213 ANCHORAGE SYSTEM MANUFACTURED BY DUR-O-WALL, INC. ANCHORS CONSIST OF A 3/16" DOUBLE WIRE PINTLE UNIT EXTENDING 3" INTO VENEER AND A 14 GAGE STEEL PLATE ATTACHED TO STUDS AT 16" O.C. EACH WAY. STEEL PLATES SHALL BE ATTACHED TO MASONRY WITH (2) 3/16" DIAMETER X 2" TITEN SCREW ANCHORS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. ALTERNATE ATTACHMENT SYSTEM MAY BE SUBMITTED BY CONTRACTOR TO ARCHITECT/ENGINEER FOR APPROVAL AND SHALL CONFORM TO THE APPLICABLE CHAPTER OF THE BUILDING CODE.
- 08- TOP STONE LEDGE DEPTH MAY VARY PER LOCATION.

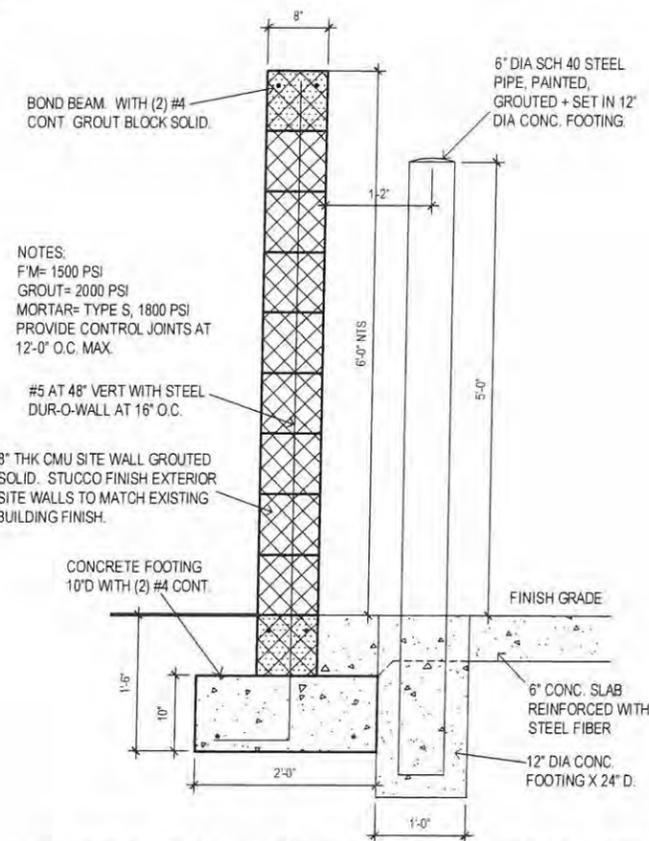
WALL SECTION AT STONE VENEER

SCALE: 1"=1'-0"



TRASH ENCLOSURE GATE ELEVATION

SCALE: 3/16"=1'-0"



TRASH ENCLOSURE SITE WALL

SCALE: 3/4"=1'-0"

- NOTES:
 F'M= 1500 PSI
 GROUT= 2000 PSI
 MORTAR= TYPE S, 1800 PSI
 PROVIDE CONTROL JOINTS AT 12'-0" O.C. MAX.

- #5 AT 48" VERT WITH STEEL DUR-O-WALL AT 16" O.C.

- 8" THK CMU SITE WALL GROUTED SOLID. STUCCO FINISH EXTERIOR SITE WALLS TO MATCH EXISTING BUILDING FINISH.

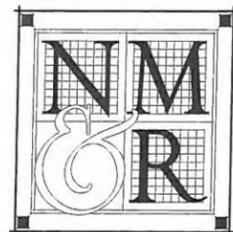


BLACK BEAR DINER

08/17/16
 SEFDESIGN, LLC
 DR07
 DESIGN REVIEW

1041 HWY 89A 279, COTTONWOOD, AZ 86326

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 ARCHITECTS + ENGINEERS
 555 MAIN STREET, SUITE 300
 CHICO, CA 95928
 (530) 891-1710 (530) 891-0138 FAX
<http://www.nmrdesign.com>

CONSULTANTS

LICENSE STAMPS

PROJECT NAME



**Black Bear
 Diner**

COTTONWOOD

1041 AZ-260
 COTTONWOOD, AZ

SHEET TITLE
**EXTERIOR
 ELEVATIONS**

DRAWING STATUS
**DD SET
 PRELIMINARY
 NOT FOR CONSTRUCTION**

REVISIONS

Sym.	Description	Date

Drawn By	DAR
Checked By	DAR
Date Drawn	7/29/16
Scale	1/4"=1'-0"
Job No.	16-5511

SHEET No.

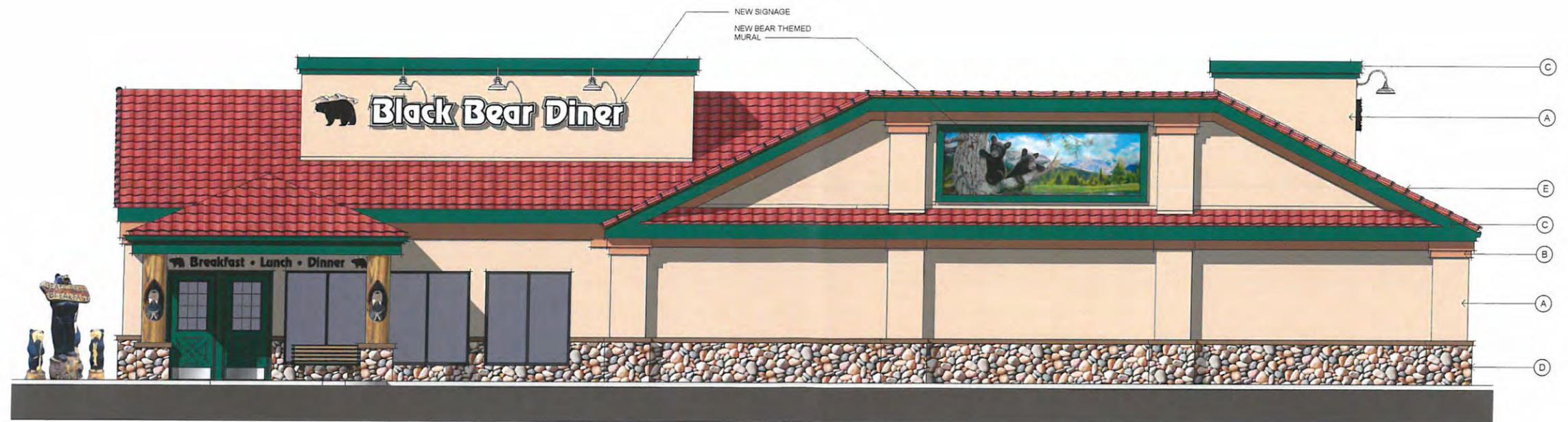
A301



EXTERIOR MAT'L. LEGEND

A	NEW WALL COLOR - "JACKSON TAN" HC-46 BY BENJAMIN MOORE WITH SATIN EXTERIOR LATEX
B	NEW WALL COLOR - "BROOKLINE BEIGE" HC-47 BY BENJAMIN MOORE WITH SATIN EXTERIOR LATEX
C	NEW TRIM COLOR - "HUNTER GREEN" 2041-10 BY BENJAMIN MOORE SEMI-GLOSS EXTERIOR LATEX
D	NEW STONE VENEER - BORAL CULTURED STONE, STANDARD "STEAM STONE", SUMMER COLOR
E	EXISTING BARREL TILE ROOF

2 WEST ELEVATION
 SCALE: 1/4"=1'-0"
 VIEW FROM STATE RTE. 260



1 SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



4 EAST ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MAT'L. LEGEND

A	NEW WALL COLOR - "JACKSON TAN" HC-46 BY BENJAMIN MOORE WITH SATIN EXTERIOR LATEX
B	NEW WALL COLOR - "BROOKLINE BEIGE" HC-47 BY BENJAMIN MOORE WITH SATIN EXTERIOR LATEX
C	NEW TRIM COLOR - "HUNTER GREEN" 2041-10 BY BENJAMIN MOORE SEMI-GLOSS EXTERIOR LATEX
D	NEW STONE VENEER - BORAL CULTURED STONE, STANDARD "STEAM STONE", SUMMER COLOR
E	EXISTING BARREL TILE ROOF

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3 NORTH ELEVATION
SCALE: 1/4"=1'-0"
VIEW FROM EAST STATE RTE. 89A

PROJECT NAME



COTTONWOOD

1041 AZ-260
COTTONWOOD, AZ

SHEET TITLE
**EXTERIOR
ELEVATIONS**

DRAWING STATUS
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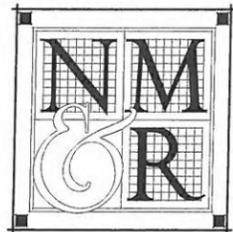
Sym.	Description	Date

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Date Drawn	7/29/16
Scale	1/4"=1'-0"
Job No.	16-5511

SHEET No.

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COTTONWOOD
 1041 AZ-260
 COTTONWOOD, AZ

SHEET TITLE
**EXTERIOR
 PERSPECTIVES**

DRAWING STATUS
**DD SET
 PRELIMINARY
 NOT FOR CONSTRUCTION**

REVISIONS

Sym.	Description	Date

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Date Drawn	7/29/16
Scale	N/A
Job No.	16-5511

SHEET No.

A303



2 | **EXT. PERSPECTIVE**
 SCALE: N/A



1 | **EXT. PERSPECTIVE**
 SCALE: N/A



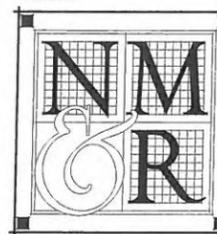
4 EXT. PERSPECTIVE
SCALE: N/A



3 EXT. PERSPECTIVE
SCALE: N/A

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LICENSE STAMPS

PROJECT NAME



COTTONWOOD

1041 AZ-260
COTTONWOOD, AZ

SHEET TITLE
EXTERIOR
PERSPECTIVES

DRAWING STATUS
DD SET
PRELIMINARY
NOT FOR CONSTRUCTION

REVISIONS

Sym.	Description	Date

Drawn By	DAR
Checked By	DAR
Date Drawn	7/29/16
Scale	N/A
Job No.	16-5511

SHEET No.

A304

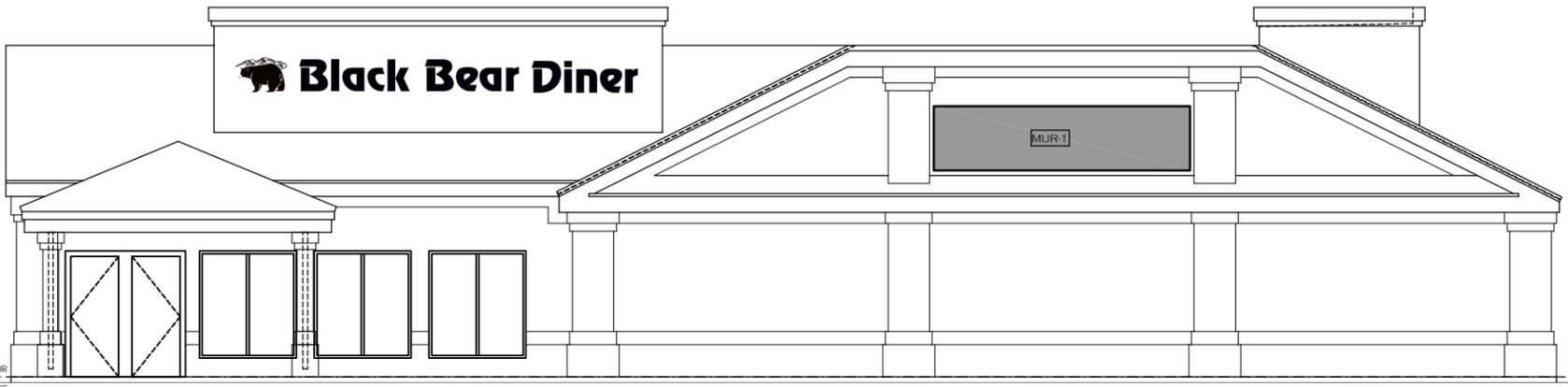
TBD

Mountain: 1/8" plate aluminum, painted black & white, stud mounted flush to wall

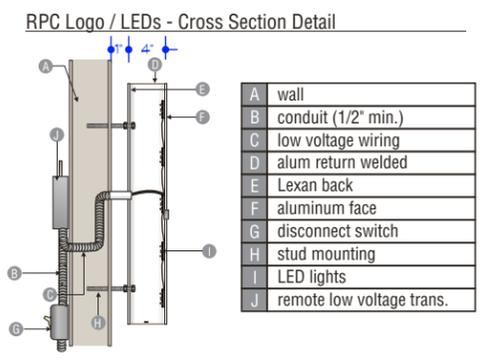
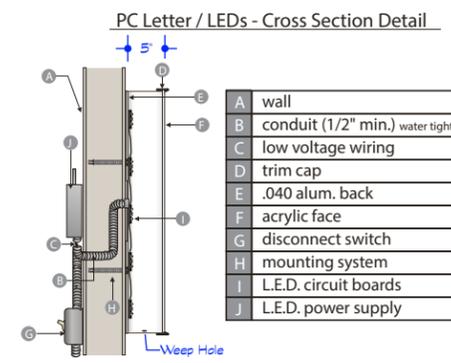


Black Bear Diner

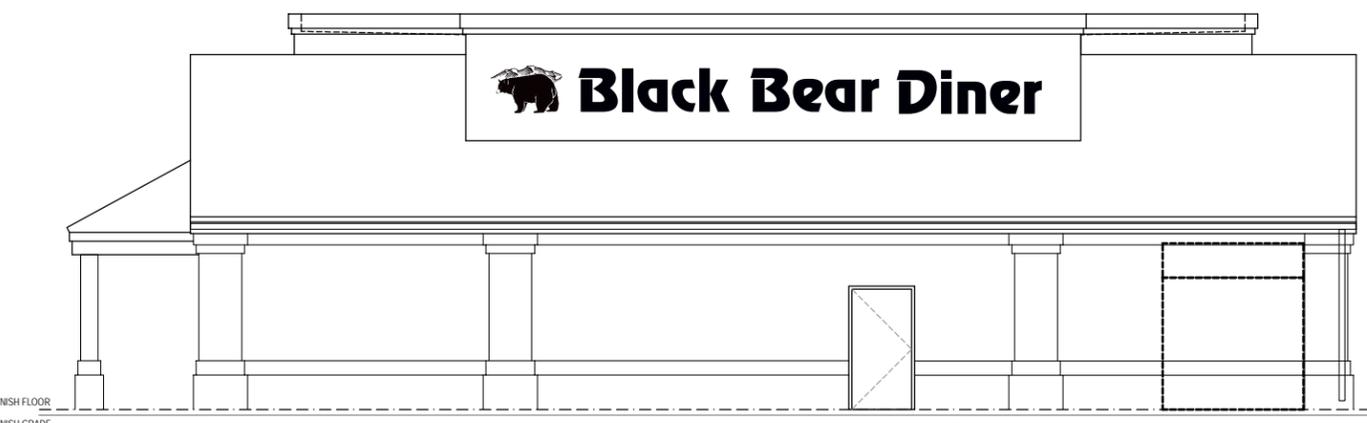
A PAN CHANNEL & REVERSE PAN CHANNEL DISPLAY
 Scale: 1/2" = 1'-0"
 Sign Area TBD



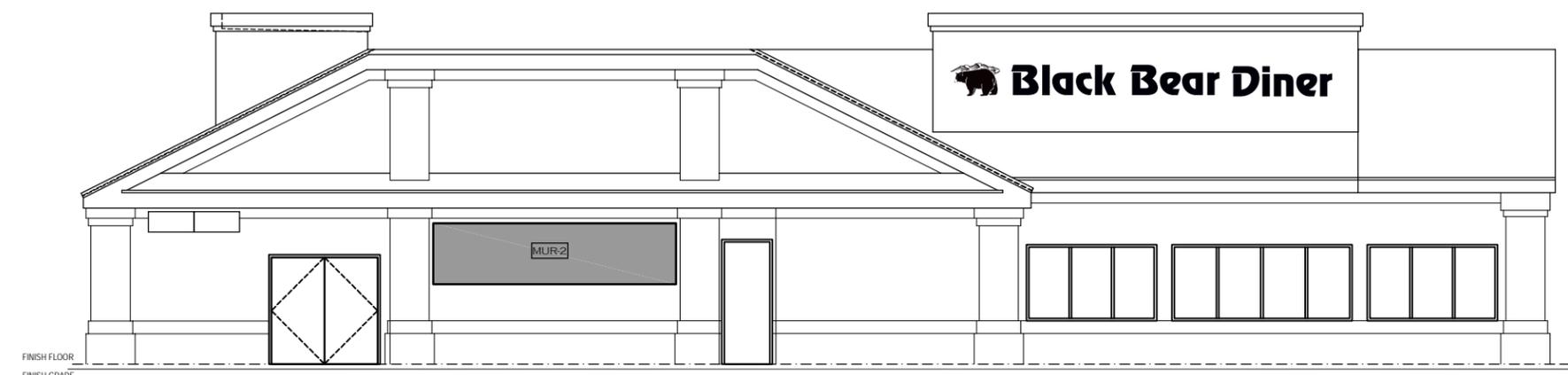
4 SOUTH EXTERIOR ELEVATION
 SCALE: 3/16"=1'-0"



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
 U.L. LISTED



3 EAST EXTERIOR ELEVATION
 SCALE: 3/16"=1'-0"



1 NORTH EXTERIOR ELEVATION
 SCALE: 3/16"=1'-0"

Client:
Black Bear Diner

Location:
 1041 Hwy 89A 279
 Cottonwood, AZ 86236



2631 N. 31st Ave.
 Phoenix, AZ 85009
 602-278-6286
 royalsign.net

Project
16-

- 1 21 JUL 2016
- 2 06 Sept 2016
- 3 n/a
- 4 n/a
- 5 n/a
- 6 n/a
- 7 n/a
- 8 n/a
- 9 n/a
- 10 n/a

Project Manager:
Raymond Owens
 E-Mail:
 raymond@royalsign.net

Approval Signatures

X Client

X Landlord

Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

This original unpublished drawing is submitted solely for the project being planned. It is not to be copied or shown to persons outside of your organization without express written authorization from ROYAL SIGN COMPANY. All specified details on these drawings are subject to change due to the availability of materials and/or changes in the method of fabrication. ROYAL SIGN COMPANY will do their best to maintain the design intent of these drawings at all times. If the owner or owners representative wishes to receive detail drawings on all changes during the fabrication process, ROYAL SIGN COMPANY must be advised in writing prior to the start of fabrication.

Sheet Title
Exterior

Page Number

Client:
Black Bear Diner

Location:
1041 Hwy 89A 279
Cottonwood, AZ 86236



2631 N. 31st Ave.
Phoenix, AZ 85009
602-278-6286
royalsign.net

Project
16-

- 1 21 JUL 2016
- 2 06 Sep 2016
- 3 n/a
- 4 n/a
- 5 n/a
- 6 n/a
- 7 n/a
- 8 n/a
- 9 n/a
- 10 n/a

Project Manager:
Raymond Owens
E-Mail:
raymond@royalsign.net

Approval Signatures

X
Client

X
Landlord

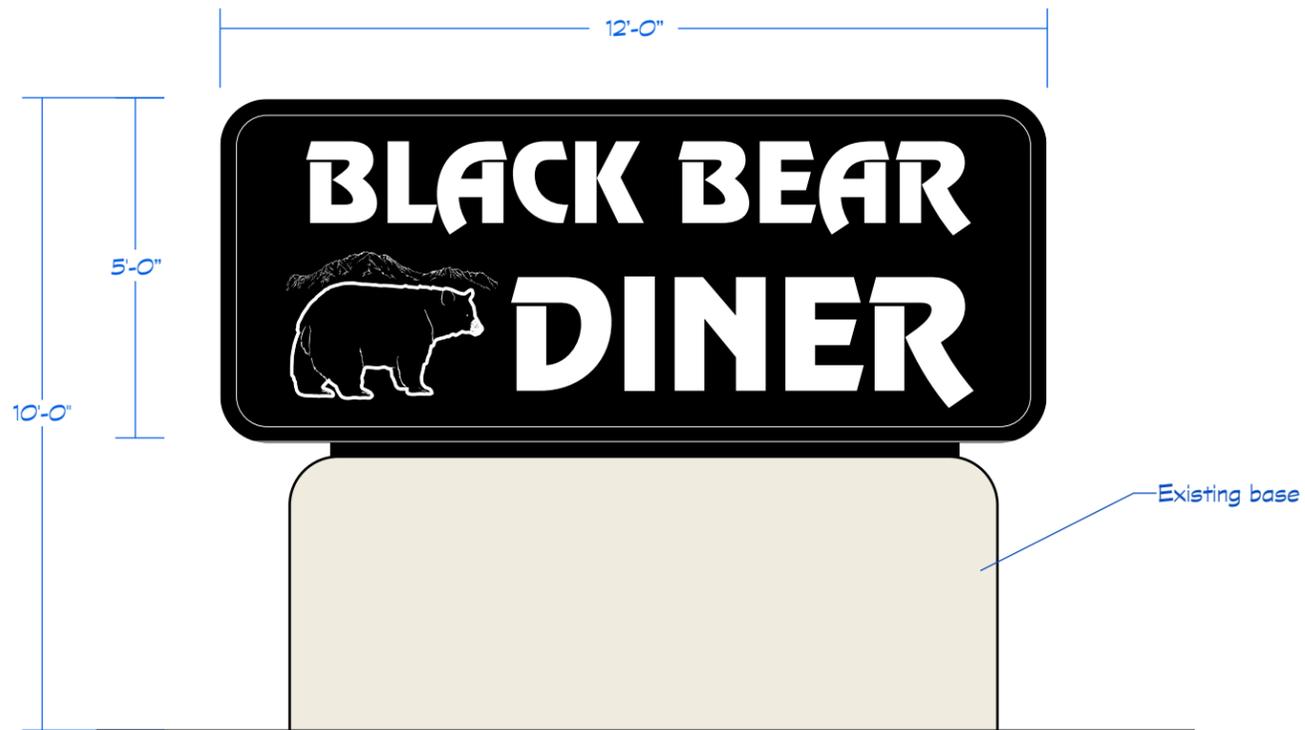
Customer is responsible for providing a dedicated electrical circuit within six feet of each sign location and any desired electrical timing devices.

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Sheet Title
Exterior

Page Number

2 of 2



B DOUBLE FACED INTERNALLY ILLUMINATED MONUMENT SIGN Scale: 3/8" = 1'-0" Sign Area 80

Fabricate & Install one (1) D/F, aluminum-construction, internally-illuminated, monument display as indicated. White Lexan faces with black vinyl overlay. Copy & logo to be pulled away to show white.

Remove existing sign cabinet and install new sign cabinet in its place. Existing base to be used. Paint base to match building.

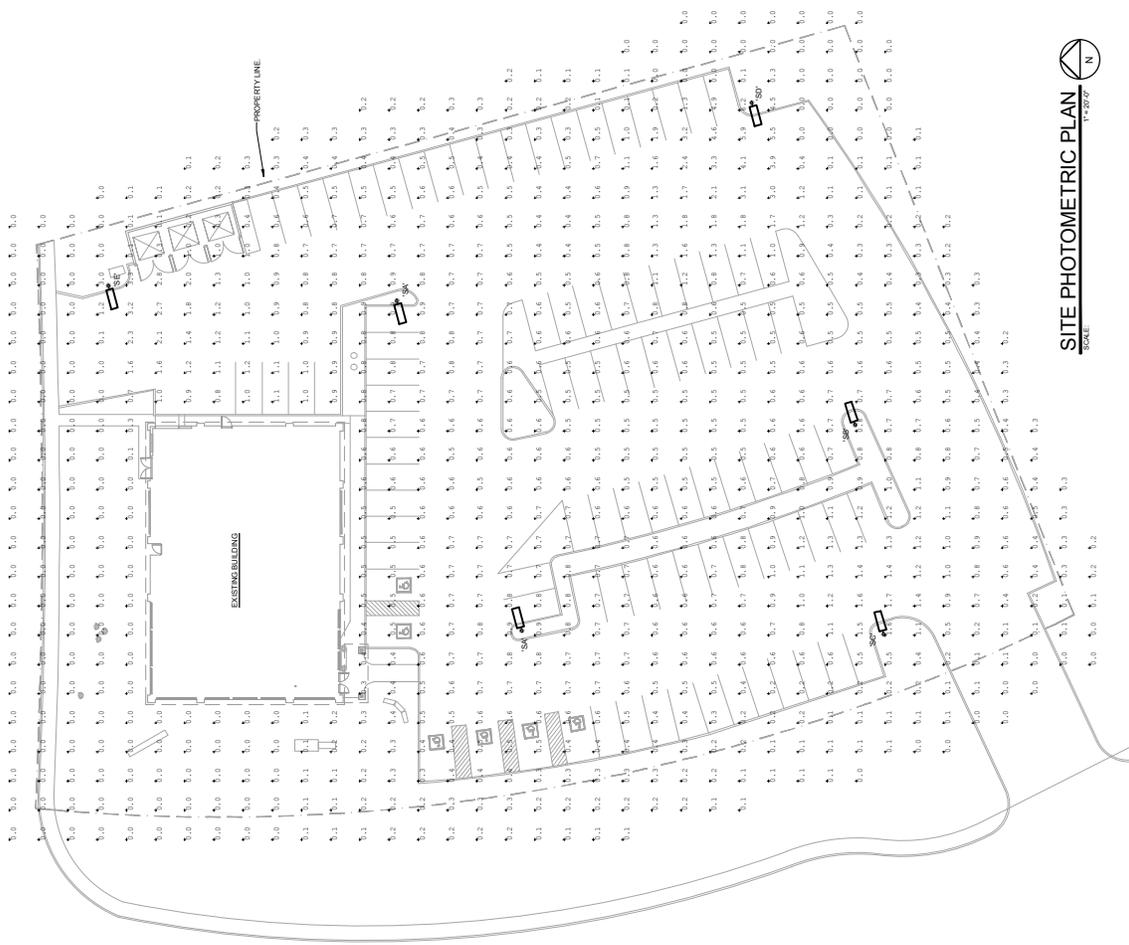
*Survey required to verify pipe size.



Existing Sign



Proposed Sign



SITE PHOTOMETRIC PLAN
SCALE: 1"=20'-0"

WOODWARD ENGINEERING
303 SOUTH MERRILL ROAD, SUITE 101, TUCSON, AZ 85701
P: 520.884.6174 • F: 520.884.1070 • www.woodward-engineering.com

SetDesign, LLC
Steven E. Frame, aka
317 East Le Marche Ave, Phoenix, Arizona, 85022
c: 602.705.5558 f: 602.441.3134 s: edesign@cox.net

REVISIONS:
PROJECT NO: 1600017
DRAWN BY: MSN/SAL
DATE: 07/12/16
CAD/SAVED FILE: BBPEL
CONSTRUCTION DOCUMENT
SHEET NUMBER

TENANT IMPROVEMENTS - NEW RESTAURANT



BLACK BEAR DINER
1041 HWY 89A, 279
COTTONWOOD, AZ 86326

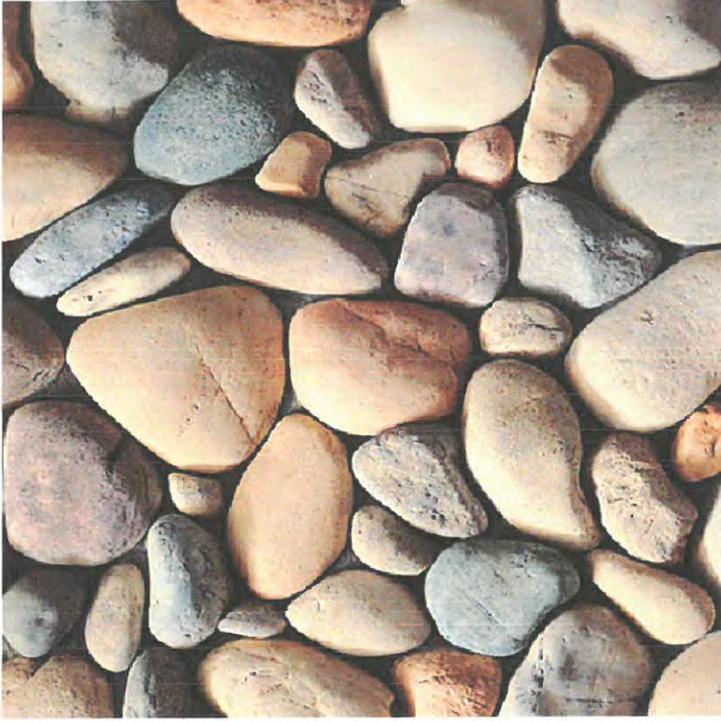
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SITE PHOTOMETRIC PLAN

E3

STONE VENEER WAINSCOT ST-1
 CULTURED STONE BY BORAL, STANDARD STREAM STONE, SUMMER
 COLOR. REFER TO FINISH + LANDSCAPE CONTACT INFO DWG DR-2.

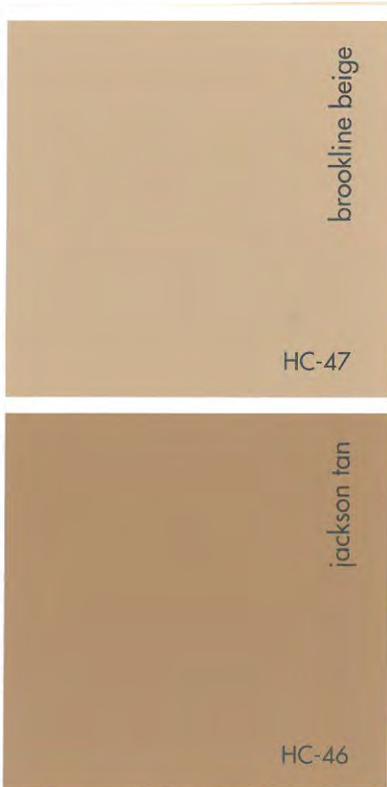


PT-1
 PAINT PT-1
 SHERWIN WILLIAMS, HUNTER GREEN SW-0041
 LOCATION- STUCCO ACCENT BANDS AT ROOF EDGE + SOFFIT, TRIM
 ACCENTS.



PT-2
 PAINT PT-2
 BENJAMIN MOORE, BROOKLINE BIEGE, HC-47.
 LOCATION- WALL FIELD COLOR.

PT-3
 PAINT PT-3
 BENJAMIN MOORE, JACKSON TAN, HC-46.
 LOCATION- WALL PIER ACCENTS.



BENJAMIN MOORE®
 COLOR PREVIEW® HC

08/17/16 O1
 SEFDESIGN, LLC
 COLOR SAMPLES

DESIGN REVIEW - COLOR SAMPLES
BLACK BEAR DINER

1041 HWY 89A 279, COTTONWOOD, AZ 86326

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08/25/2016 11:26



08/25/2016 11:26



Sizzler

08/25/2016 11:26



08/25/2016 11:26



08/25/2016 11:26



08/25/2016 11:26



08/25/2016 11:26



08/25/2016 11:27



Sizzak

AMERICAN

08/25/2016 11:27



08/25/2016 11:27



08/25/2016 11:27

Sizzler

08/25/2016 11:28



08/25/2016 11:28



AMERICAN
1-877-933-8344
AMERICANFENCE.COM

COBEL

08/25/2016 11:28



ONLY ONLY
EAST 260
SOUTH 89A

08/25/2016 11:29



89A
↔

TOURIST INFORMATION

DEPOT

08/25/2016 11:29

ARIZONA
260
←
way →



08/25/2016 11:29



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: September 19, 2016

PROJECT NUMBER: DR 16-019 McDonalds Remodel

The applicant is requesting approval of a Design Review application for the interior and exterior remodel of an existing restaurant. This project was initially reviewed by the Code Review Board on August 2, 2016.

PROJECT DATA AND FACTS:

Applicant/Agent	Dan Filuk/KDF Architectural Group, LLC
Property Owner	Archland Property I, LLC
Location of Property	1129 S. State Route 260
Present Zoning and Land Use	C-2 (Heavy Commercial) Restaurant
Description of Applicant’s Request	Design Review for the interior and exterior remodel of an existing restaurant building and site.

LAND USE:

Description and Character of Surrounding Area
<p>North: C-2 (Heavy Commercial) – Hotel – Verde Valley Inn</p> <p>East: AR-20 (Agricultural/Residential) – Vacant Land</p> <p>South: C-2 (Heavy Commercial) – Retail/CVS Drugstore</p> <p>West (Across Hwy 260): PAD (Planned Area Development) – Retail/Fast Food Restaurant - Fry’s Shopping Center/Jack in the Box.</p>

PROJECT PROPOSAL:

Background:

McDonalds intends to do interior and exterior remodeling of the existing restaurant building located on the site. Building size and site conditions will stay relatively the same, with façade upgrades, new paint, landscaping, a new drive-through configuration with two ordering stations and a “bail-out” lane, lighting and an updated color scheme. No use restrictions or special permits are required for the proposed use of this building as indicated by the applicant.

The existing building is currently operating as a McDonalds restaurant which will remain in place with interior and exterior changes to accommodate a new updated contemporary motif for the restaurant brand. Project improvements are proposed in 2 phases with the exterior improvements being phase 1 and interior modifications as phase 2.

BUILDING AND STRUCTURE DESIGN:

Architecture, Materials, Colors:

Exterior: The new architectural theme is a nationwide program to update many of its existing restaurants with a recognizable exterior image. The existing mansard roof will be replaced with a continuous parapet, metal trellises and sun shades, accent walls with a tile finish, corrugated metal trim and a new color scheme.

Interior: The only additional square footage to the building will be a small vestibule and a “pull forward” window adjacent to the drive aisle. The interior improvements will include a new counter, larger dining area with the relocation of the wall between the play space and the dining area, and renovated restrooms to remove any ADA barriers.

SITE PLAN:

Total parcel area is approximately 45,497 square feet (1.05 acres). A detailed scope of the project is provided in detail in the project narrative dated 8-16-2016.

Parking:

The parking lot will accommodate the required minimum number of 46 stalls. A total of 49 parking spaces will be provided, 2 of which will be handicap accessible. The existing trash “corral” will be removed and be relocated further to the east to make room for the reconfigured trash corral location.

Lighting:

New contemporary exterior building lighting will replace the existing lighting and will be consistent with the overall design of the new theme. All lighting will meet dark sky requirements.

Signage:

This proposal for Design Review does not address new signage. The scope of the project does include a new sign plan that will be submitted by others.

Access/Driveways:

The existing driveway access off SR 260 will remain the same. Access to the McDonalds site will remain the same with the parking area between this project and the adjacent CVS drugstore. All other driveway and sidewalk details will be reviewed and approved by City engineering staff.

Landscape Plan:

Existing landscaping will remain and the applicant will clean and trim the existing landscaping. The applicant has also indicated adding some color landscaping around the building only.

Screening:

The applicant is not proposing a solid wall along the rear of the property adjacent to the AR-20 (Agricultural/Residential) site which is currently vacant agricultural land to the East. The present site does not have a solid wall, however, the newly designed drive through/ordering lanes will be closer to the rear property line than currently exists. In order to accomplish this, some existing landscaping providing a buffer to the adjacent property may be eliminated to accommodate the drive through lane. Staff is requesting that a solid wall, consistent with the material of the trash corral be provided along the rear (East) property line.

Section 407(E)(2)(c) identifies that landscaping may be required for purposes of screening, buffering or to provide continuity of development or aesthetic purposes.

Section 419(D)(7) requires a commercial use to be screened from the residential property by a solid masonry or solid material fence six feet (6') in height.

Section 501 of the Zoning Code requires the Planning and Zoning Administrator to submit a recommendation based on "Findings of Fact". Based on the Commercial use of the subject site, it is recommended that a solid masonry wall be provided along the rear (East) property line. This would mitigate a commercial use next to a residential zoning district. This would also lessen the impact of vehicle noise or headlight glare, and noise generated from the drive through locations.

Utilities:

All necessary utilities for the site are existing.

CRB Review:

This project was reviewed by the Code Review Board on August 2, 2016. The applicant will need to meet all requirements as indicated in the meeting comments.

STIPULATIONS:

If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans submitted for the September 19, 2016 meeting and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated August 3rd, 2016.
3. That a solid 6' masonry wall be provided along the rear (East) property line.

4. A Certificate of Zoning Compliance documenting the completion of Design Review conditions shall be issued prior to the Certificate of Occupancy.
5. Any other stipulations the Planning & Zoning Commission deems necessary.

**Project Narrative
RE: Design Review
08/16/2016**

**McDonalds Restaurant
1129 Highway 260
Cottonwood, Arizona
APN 406-04-153A**

McDonald's is working with its owner/operators to update many of its existing operations addressing: improved site flows; removing ADA barriers; modernizing the building exterior and updating interior décor. KDF Architectural Group, llc, based in Phoenix, Arizona has been asked to assist them in this endeavor for the existing facilities at 1129 Highway 260 in Cottonwood, Arizona.

This remodel project is 3-fold: it will address site improvements for the drive-thru experience; it contemporizes the exterior building architecture; and it makes several interior improvements for customers. Project scope will include:

- Site: converting the existing single lane drive-thru to a Side-by-Side configuration with (2) menu boards and order points. A "bail-out" lane is introduced alongside the service windows to allow for efficient customer circulation. A "pull forward" service window is proposed in a new vestibule addition near the end of the drive-thru to allow for delayed and custom order service.
- Site: the exterior work will expand into areas of the site that were previously developed in the original project – no historic or original topographic features will be disturbed.
- Site: note that the existing trash corral will be removed due to Side-by-Side configuration; a new trash corral will be built further east.
- Site: exterior ADA improvements addressing ADA parking, curb ramps and accessible outdoor dining will be included in the scope.
- Site: the scope of project will not significantly alter the existing drainage patterns nor landscaping. Areas requiring new landscaping will be designed in accordance with City of Cottonwood landscaping standards.
- Exterior building architecture: McDonald's is working thru a national program to update many of its existing restaurants with a recognizable exterior image. The outdated mansard roof is being removed and replaced with a more continuous parapet architecture. The materials palette includes the addition of metal trellis and sun shade elements; accent walls with a linear tile finish; a parapet band of corrugated metal; and a new color scheme.
- New exterior building lighting will also be incorporated into the project. Contemporary lighting fixtures selected will not contribute more lumens than what currently exist.
- New signage will also be installed under a separate permit application by others.

- Interior improvements: a new front counter service experience will be incorporated along with new interior décor. The existing Play Place interior wall will be rebuilt in a new location permitting more dining space to be in the main Dining Area. The existing Toilet Rooms will be modified to remove any ADA barriers.

This project was submitted for Code Review and a response was received, CRB # 16-024, which pointed out several items:

- Landscape areas affected by the proposed new site work need to be in conformance with Section 407 of the Zoning Ordinance which was not in effect at the time of original construction – our new landscape areas will be in conformance.
- Public Works/Engineering requested that we show turning movements for largest truck anticipated in the drive-thru. We have shown that path on the Site Plan sheet.

Since the Code Review Meeting of August 2, 2016, McDonald's has requested that the 2-bay trash corral configuration we showed then be reworked into one larger trash corral which is now depicted our exhibits.

We don't anticipate having to file for any Code Exceptions pertaining to this remodel project as the new work abides by landscape and building setbacks and lighting respects the requirements of Cottonwood's Section 408, Outdoor Lighting Code. As to the timeline of site improvements the construction of this type of remodel typically is in the realm of 60 days. McDonald's anticipates the phasing to be 2-fold: the drive-thru and site improvements will be done together while the walk-in facilities remain open and then vice versa allowing customer service to be extended to the maximum degree possible.

We appreciate your review of our application. Should you have any questions please contact the architect, Dan Filuk, at 602-234-1868 or DanF@KDF-architects.com.

Thank-you,

Sincerely,
KDF Architectural Group, LLC



08/16/2016
Daniel D. Filuk, AIA
Partner

PROJECT DATA

PROJECT DESCRIPTION: EXTERIOR AND INTERIOR REMODEL OF EXISTING MCDONALD'S INCLUDING: NEW SIDE-BY-SIDE DRIVE-THRU WITH A BAIL-OUT LANE; NEW LED LIGHTING TO REPLACE EXISTING PARKING LOT LIGHTING; NEW BUILDING EXTERIOR IMPROVEMENTS INCLUDING NEW COLORS, MATERIALS AND LIGHTING.

ADDRESS: 1129 HIGHWAY 260
COTTONWOOD, YAVAPAI COUNTY, ARIZONA

OWNER: MCDONALD'S USA, LLC
4643 S. ULSTER ST. SUITE 1300,
DENVER, CO. 80231

DESIGN TEAM: ARCHITECT - #25637
KDF ARCHITECTURAL GROUP
300 W CLARENDON AVE. SUITE 320
PHOENIX, AZ 85013

CIVIL ENGINEER - #24444
ZELL COMPANY
3400 N DYSART RD, SUITE 130
AVONDALE, AZ 85342

LANDSCAPE ARCHITECT - 27166
TIM MCQUEEN & ASSOCIATES, INC.
8433 EAST CHOLLA ST. SUITE 101
SCOTTSDALE, AZ 85260

APN # 406-04-153A

ZONING: C-2, HEAVY COMMERCIAL

USE: RESTAURANT WITH 2-LANE DRIVE-THRU

PARCEL SIZE: 1.05 ACRES (45,497 S.F.)

BUILDING COVERAGE: 10.1% (4605 S.F./ 45,497 S.F.)

OPEN (LANDSCAPE) SPACE: 22.5% (10,246 S.F./ 45,497 S.F.)

PARKING LOT LANDSCAPE: 11.4% (1149.37 S.F./ 10,116.94 S.F.)

BUILDING AREA: 4500 S.F. - EXISTING
105 S.F. - NEW VESTIBULE & PULL FORWARD WINDOW
4605 S.F. - TOTAL

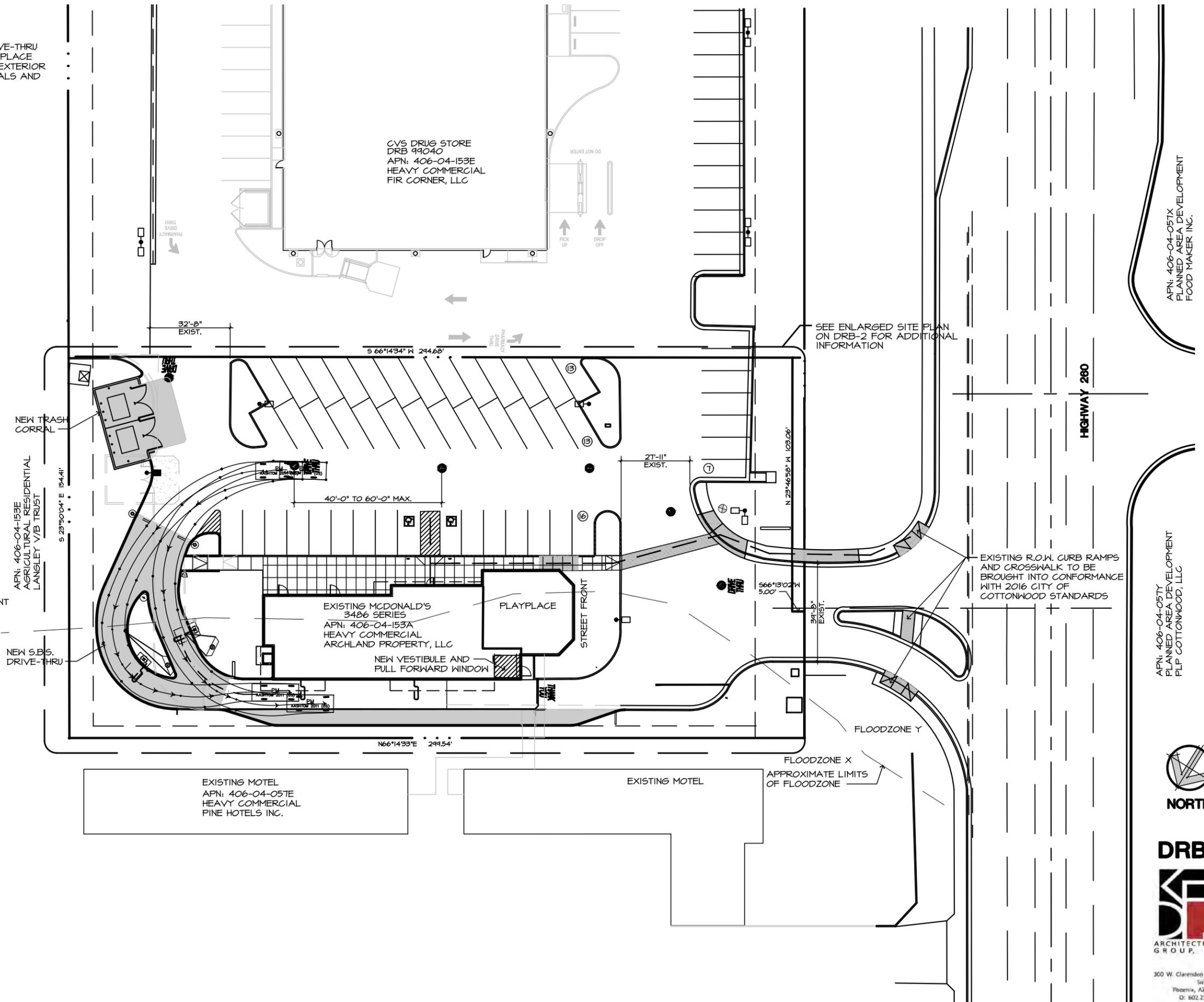
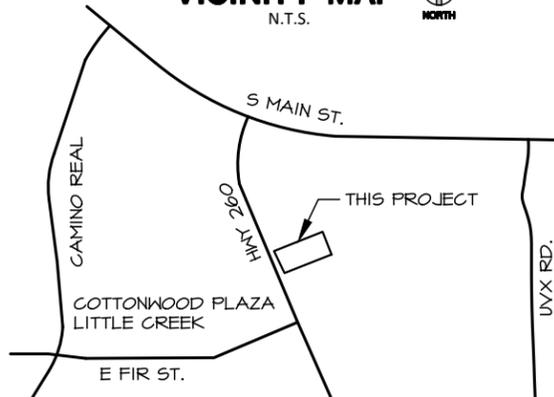
PARKING REQUIRED: 1585 DINING S.F./ 35 = 46 PARKING SPACES

PARKING PROVIDED: 49 PARKING SPACES
(INCLUDES 2 ACCESSIBLE SPACES)

UTILITIES:
ELECTRICAL APS
GAS UNISOURCE
WATER/SEWER CITY OF COTTONWOOD
TELCO CENTURYLINK
FIRE DEPARTMENT COTTONWOOD FIRE & MEDICAL SERVICES DEPARTMENT

VICINITY MAP

N.T.S.



1129 HIGHWAY 260, COTTONWOOD, AZ.

LOC - 02-0258, 08/16/2016

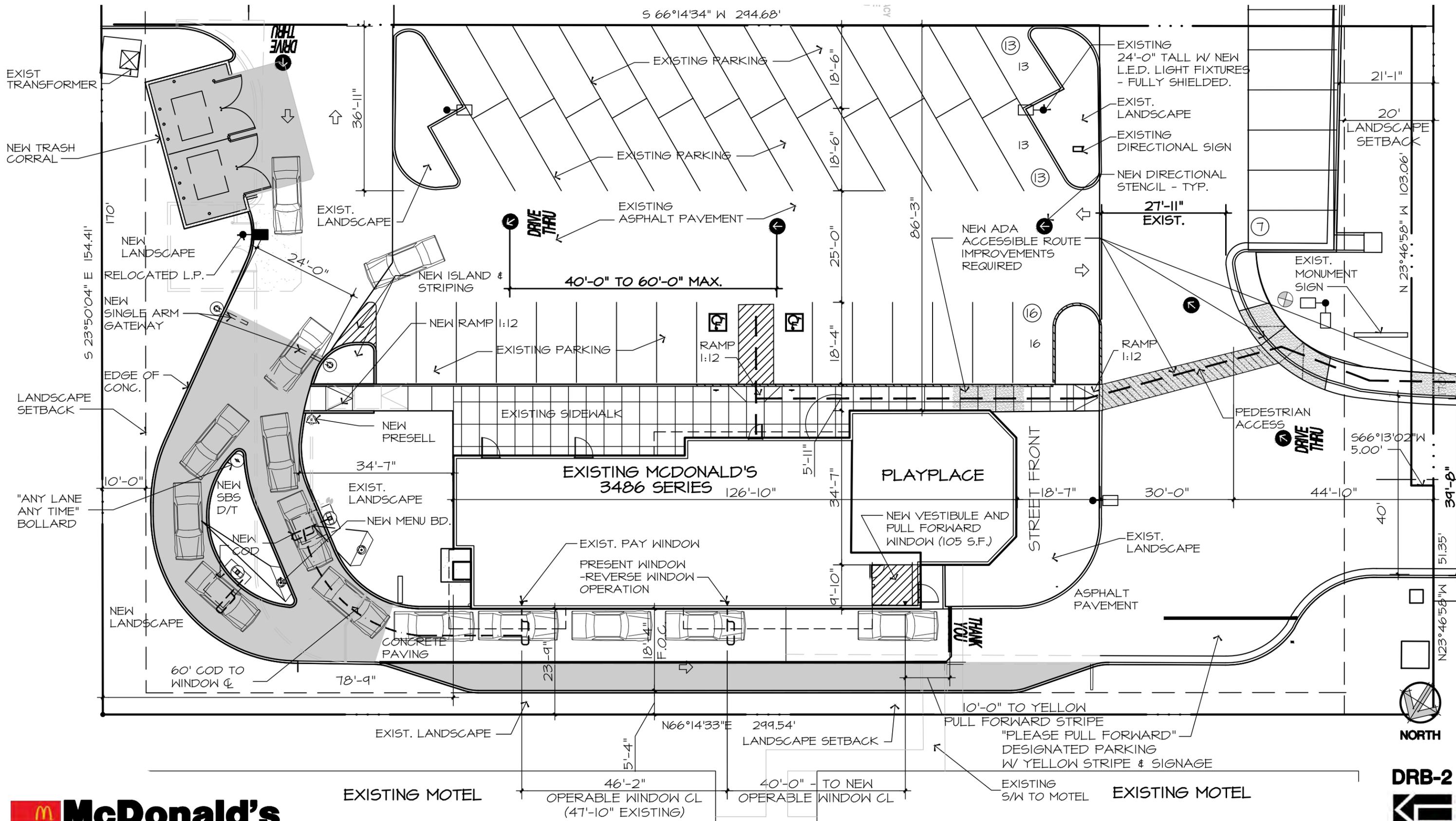


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300 W. Clarendon Avenue
Suite 320
Phoenix, AZ 85013
O: 602.234.1868
F: 602.234.1413

KDF #16008/ 08-16-2016



McDonald's
ENLARGED SITE PLAN

1129 HIGHWAY 260, COTTONWOOD, AZ.
 LOC - 02-0258, 08/16/2016

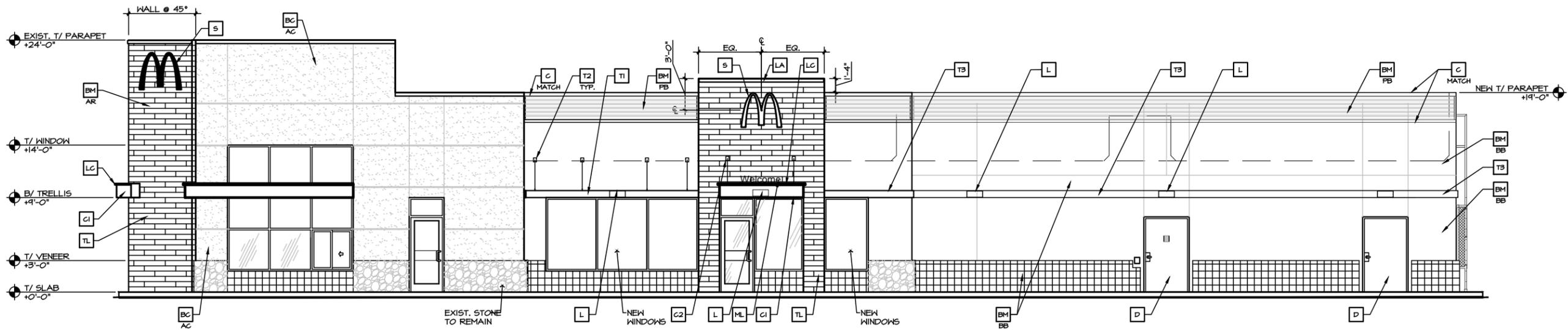


PREPARED FOR: **McDonald's USA, LLC** These drawings are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of these documents for reuse on another project is not authorized.

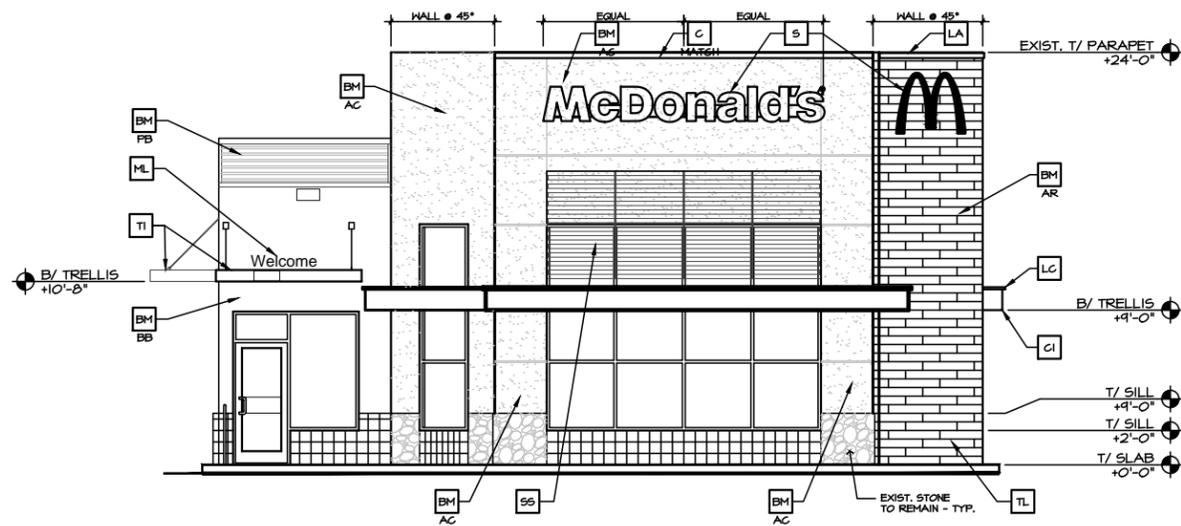
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KDF
ARCHITECTURAL
GROUP, LLC

300 W. Clarendon Avenue,
 Suite 320
 Phoenix, AZ 85013
 O: 602.234.1868
 F: 602.234.1413
 KDF #16008/ 08-16-2016



NON DRIVE-THRU ELEVATION



FRONT ELEVATION

COLOR LEGEND (ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)	
NOTE:	
CORE 16 KHAKI/ BLACK TILE SCHEME	AR ARCADES & HEARTH - TILE EUROWEST: E-WOOD COLLECTION COLOR: R9 BLACK SIZE: 6"x36" WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16"
BB	BASE BUILDING - BLEEKER BEIGE BM HC-80
DT, AC	DRIVE THRU SURROUND / ACCENT - ALEXANDRIA BEIGE BM HC-77
PB	PARAPET BAND - CORRUGATED METAL - 3/8" "S" PANEL 24 GAUGE COLOR: CITY SCAPE

McDonald's
ELEVATIONS

1129 HIGHWAY 260, COTTONWOOD, AZ.

LOC - 02-0258, 08/16/2016

10 5 0 10 20

SCALE: 3/32" = 1'-0"

KEY NOTES:			
BM BUILDING MATERIAL	CJ CONTROL JOINT	PB PIPE BOLLARD - PAINTED YELLOW	T2 ALUMINUM TRELLIS TIE-BACK
BB COLOR:	D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)	T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
AR = ARCADE	GR GUARDRAIL	RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL	TL TILE FINISH
AC = ACCENT	L LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL	S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.	
BB = BASE BUILDING	LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL (LINEAR FIXTURE COVER TO COVER FULL BRAND/ARCADE WALL)	SF NEW STOREFRONT AND GLAZING	
DT = DRIVE THRU BANDING	LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL	SS METAL LOUVER SUNSCREEN PANEL	
PB = PARAPET BAND	ML METAL LETTERING - BY OTHERS	TI ALUMINUM TRELLIS	
C1 ALUMINUM CANOPY (COLOR: WHITE)			
C2 ALUMINUM CANOPY TIE-BACK			
C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL			

NOTE:
ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW. GROUND MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH BUILDING.



COLOR LEGEND		(ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)	
NOTE:			
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	BB	BASE BUILDING -	BLEEKER BEIGE BM HC-80
	DT, AC	DRIVE THRU SURROUND / ACCENT -	ALEXANDRIA BEIGE BM HC-77
	PB	PARAPET BAND -	CORRUGATED METAL - 1/8" "S" PANEL 24 GAUGE COLOR: CITY SCAPE

KEY NOTES:			
BM BUILDING MATERIAL	CJ CONTROL JOINT	PB PIPE BOLLARD - PAINTED YELLOW	T2 ALUMINUM TRELLIS TIE-BACK
BB COLOR: AR = ARCADE AC = ACCENT BB = BASE BUILDING DT = DRIVE THRU BANDING PB = PARAPET BAND	D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)	T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
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C2 ALUMINUM CANOPY TIE-BACK	L LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL	SF NEW STOREFRONT AND GLAZING	
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MATCH	LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL	TI ALUMINUM TRELLIS	
	ML METAL LETTERING - BY OTHERS		

McDonald's

ELEVATIONS

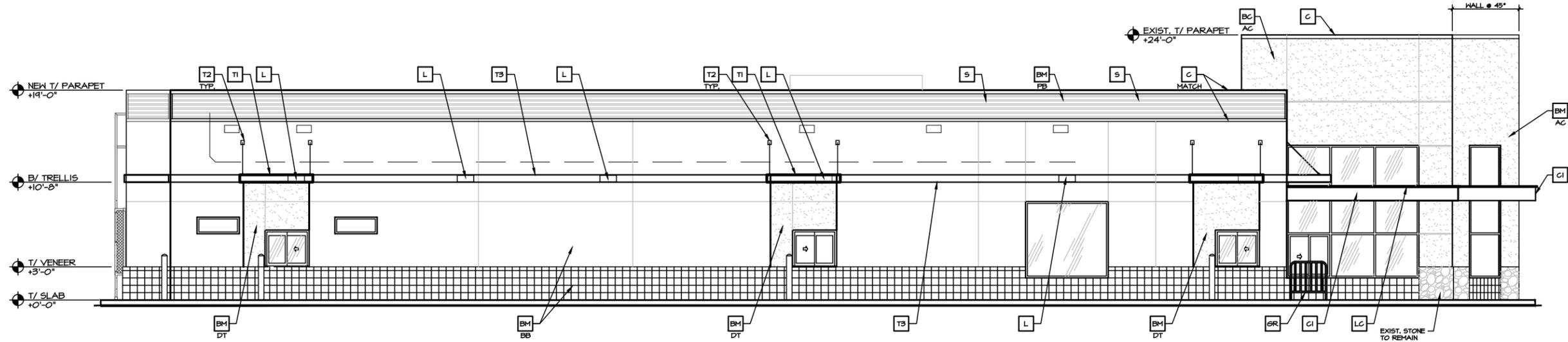
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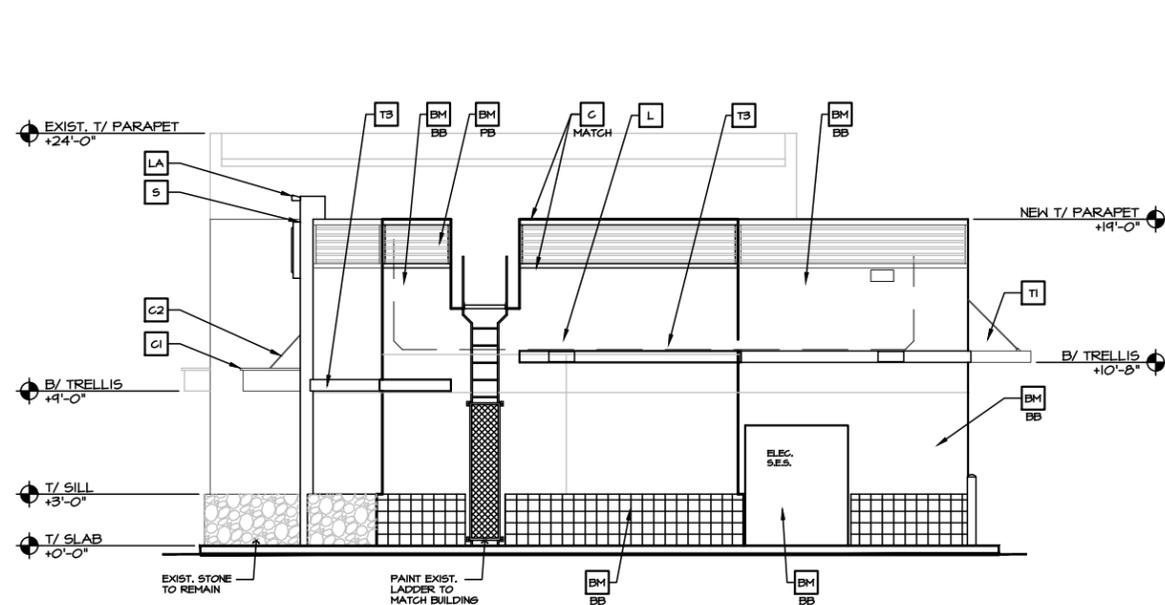
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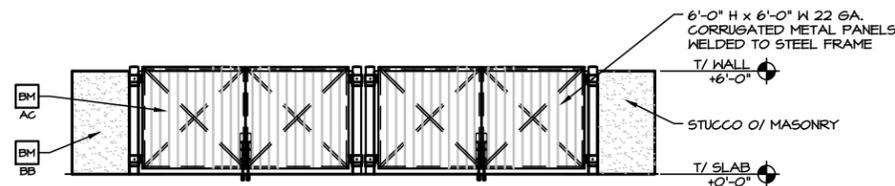
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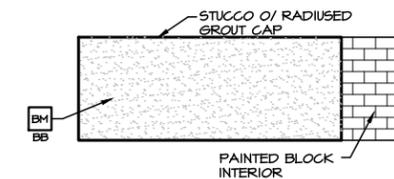
DRIVE-THRU ELEVATION



REAR ELEVATION



REFUSE GATE ELEVATION



REFUSE SIDE ELEVATION

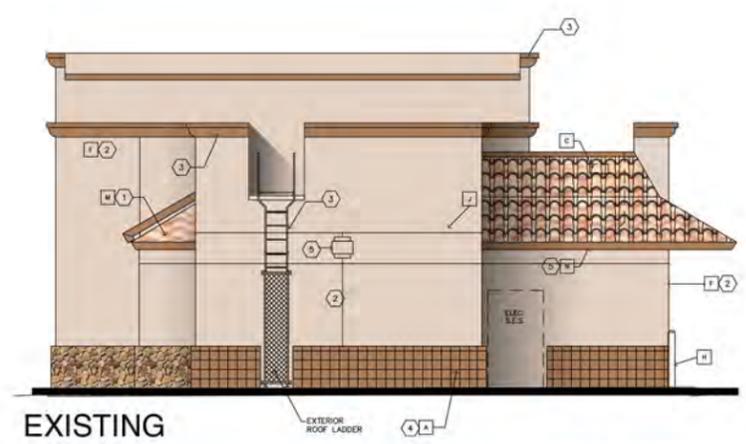
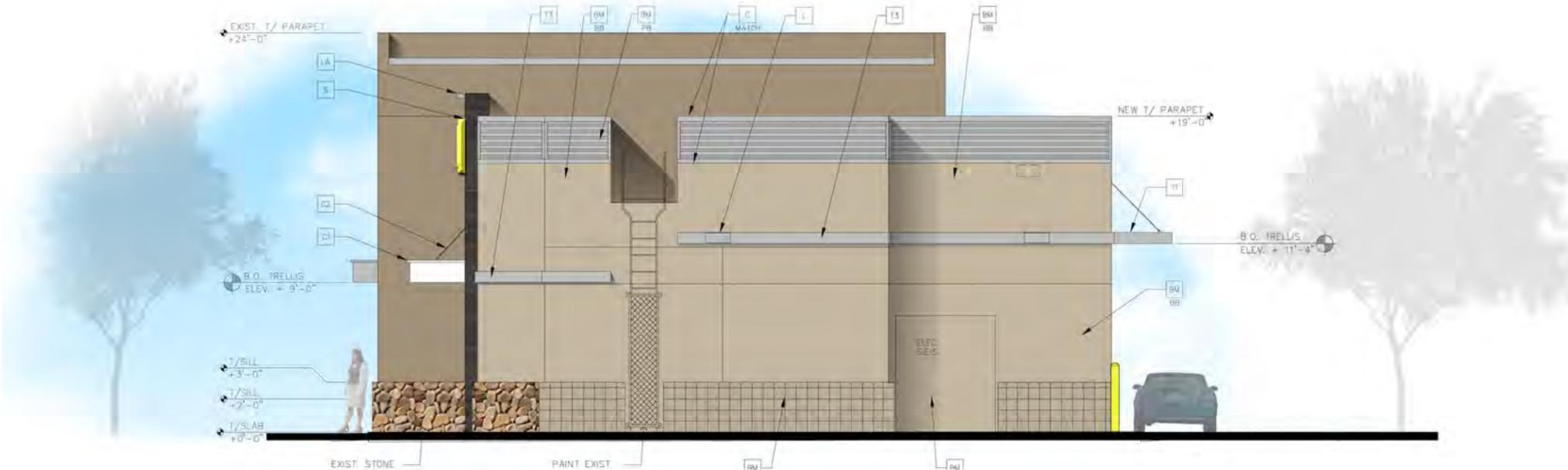
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BB	BASE BUILDING - BLEEKER BEIGE BM HC-80
DT, AC	DRIVE THRU SURROUND / ACCENT - ALEXANDRIA BEIGE BM HC-77
PB	PARAPET BAND - CORRUGATED METAL - 3/8" "S" PANEL 24 GAUGE COLOR: CITY SCAPE

McDonald's
ELEVATIONS
1129 HIGHWAY 260, COTTONWOOD, AZ.
LOC - 02-0258, 08/16/2016

SCALE: 3/32" = 1'-0"

KEY NOTES:			
BM	BUILDING MATERIAL	CJ	CONTROL JOINT
BB	COLOR: AR = ARCADE AC = ACCENT BB = BASE BUILDING DT = DRIVE THRU BANDING PB = PARAPET BAND	D	HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
C1	ALUMINUM CANOPY (COLOR: WHITE)	GR	GUARDRAIL
C2	ALUMINUM CANOPY TIE-BACK	L	LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL
C	METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL	LA	LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL (LINEAR FIXTURE COVER TO COVER FULL BRAND/ARCADE WALL)
MATCH		LC	LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL
		ML	METAL LETTERING - BY OTHERS
		PB	PIPE BOLLARD - PAINTED YELLOW
		PT	PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)
		RO	ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
		S	McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.
		SF	NEW STOREFRONT AND GLAZING
		SS	METAL LOUVER SUNSCREEN PANEL
		T1	ALUMINUM TRELLIS
		T2	ALUMINUM TRELLIS TIE-BACK
		T3	ALUMINUM TRELLIS 2x8 WALL FASCIA
		TL	TILE FINISH

NOTE:
ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM VIEW. GROUND MOUNTED EQUIPMENT SHALL BE PAINTED TO MATCH BUILDING.



COLOR LEGEND		(ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)	
NOTE:			
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	PB	PARAPET BAND -	CORRUGATED METAL - 3/8" "S" PANEL 24 GAUGE COLOR: CITY SCAPE

KEY NOTES:			
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	ML METAL LETTERING - BY OTHERS		

McDonald's

ELEVATIONS

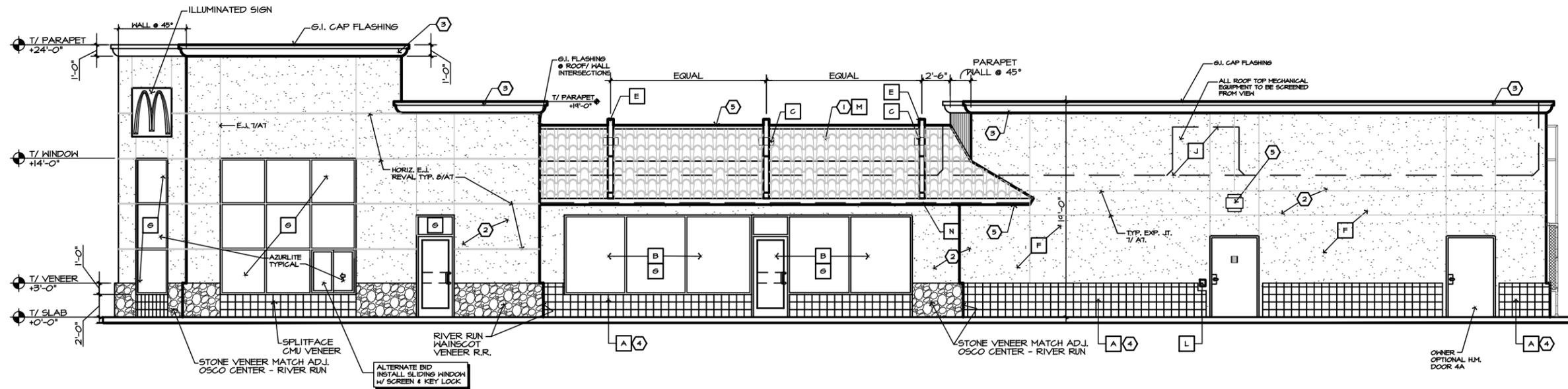
1129 HIGHWAY 260, COTTONWOOD, AZ.
LOC - 02-0258, 08/16/2016

SCALE: 3/32" = 1'-0"

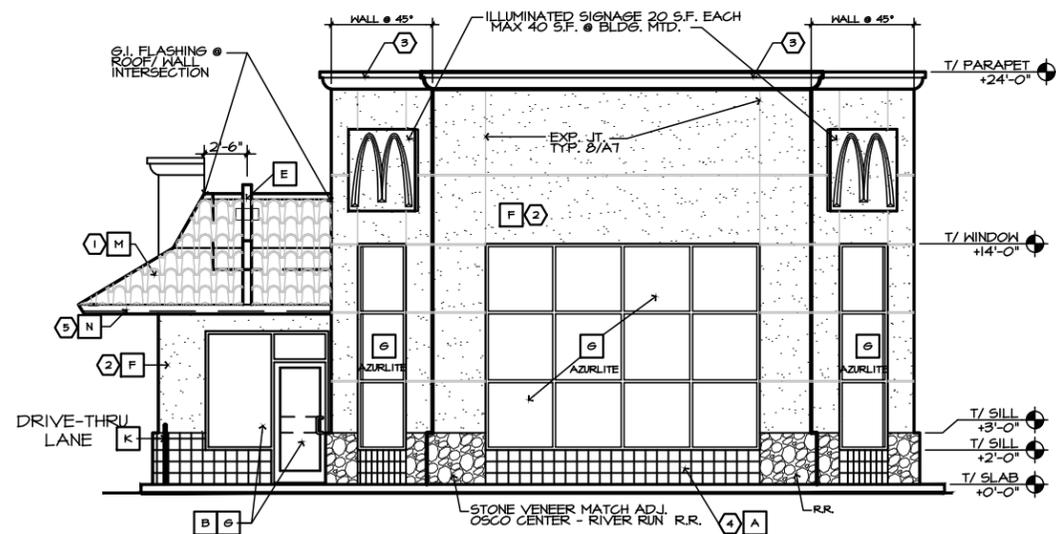
DRB-4

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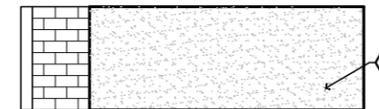
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F: 602.234.1413
KDF #16008/ 08-16-2016



EXIST. NON DRIVE-THRU ELEVATION



EXIST. FRONT ELEVATION



EXIST. REFUSE SIDE ELEVATION



EXIST. REFUSE GATE ELEVATION

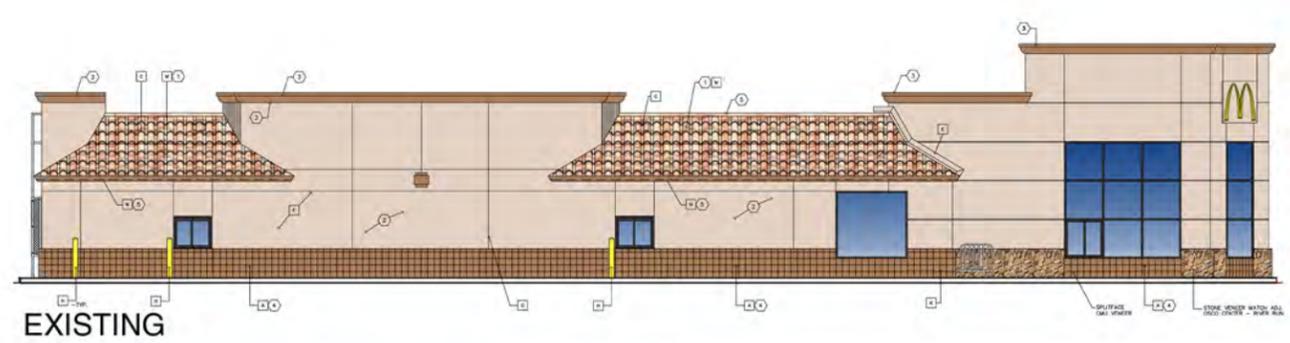
McDonald's
EXISTING ELEVATIONS
 1129 HIGHWAY 260, COTTONWOOD, AZ.
 LOC - 02-0258, 08/16/2016

KEY NOTES:

- | | | | |
|------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|-----------------------------------------------------|
| A 4" SPLITFACE CMU VENEER | E McDONALD'S SIGNAGE AND LIGHT BEAMS BY OTHERS - | H PIPE BOLLARD. | M CONCRETE MISSION STYLE ROOFING TILES. |
| B DENOTES TEMPERED SAFETY GLASS. | F EXTERIOR STUCCO, 1" - 3-COAT OVER LATH OVER FELT PAPER OVER 1/2" PLYWOOD. OR 3/8" WESTERN 1-COAT OVER WIRE MESH OVER 1" 1" CLEAR LOW E TEMPERED INSUL. GLASS SET IN AN DARK | J LINE OF ROOF DECK/SLOPE BEYOND. | N CONTINUOUS FASCIA BOARD, PAINTED. |
| C VENT @ BACK OF MANSARD PARAPET. | G FOAM OVER FELT PAPER OVER 1/2" PLYWOOD. BRONZE ANOD. ALUM. THERMAL BREAK WINDOW FRAME. | K METAL HANDRAIL. | O CONTROL JOINT. |
| D SPARE | | L FILL BOX. | P BREAK METAL CLOSURE TO MATCH WINDOW SYSTEM |

COLOR SCHEDULE

- | | |
|-----------------------------------------------------|-------------------------------------------------------------|
| 1 ROOF TILE - MONIER RENAISSANCE BLEND 16022 | 3 CORNICE - "SIENNA SAND" FRAZEE #0223M |
| 2 STUCCO - ARIZONA WHITE FRAZEE #102 | 4 SPLITFACE CMU WAINSCOT - "DEERFIELD" FRAZEE #0263M |
| | 5 FASCIA / TRIM - "ACANTHUS LEAF" FRAZEE #0105D |



COLOR LEGEND		(ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)	
NOTE:			
CORE 16 KHAKI/ BLACK TILE SCHEME	AR	ARCADES & HEARTH - TILE EUROWEST: E-WOOD COLLECTION COLOR: R9 BLACK SIZE: 6"x36" WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16"	
	BB	BASE BUILDING -	BLEEKER BEIGE BM HC-80
	DT, AC	DRIVE THRU SURROUND / ACCENT -	ALEXANDRIA BEIGE BM HC-77
	PB	PARAPET BAND -	CORRUGATED METAL - 3/8" "S" PANEL 24 GAUGE COLOR: CITY SCAPE

KEY NOTES:			
BM BUILDING MATERIAL	CJ CONTROL JOINT	PB PIPE BOLLARD - PAINTED YELLOW	T2 ALUMINUM TRELLIS TIE-BACK
BB COLOR: AR = ARCADE AC = ACCENT BB = BASE BUILDING DT = DRIVE THRU BANDING PB = PARAPET BAND	D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)	T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
C1 ALUMINUM CANOPY (COLOR: WHITE)	GR GUARDRAIL	RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.	TL TILE FINISH
C2 ALUMINUM CANOPY TIE-BACK	L LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL	SF NEW STOREFRONT AND GLAZING	
C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL	LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL (LINEAR FIXTURE COVER TO COVER FULL BRAND/ARCADE WALL)	SS METAL LOUVER SUNSCREEN PANEL	
MATCH	LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL	TI ALUMINUM TRELLIS	
	ML METAL LETTERING - BY OTHERS		

McDonald's

ELEVATIONS

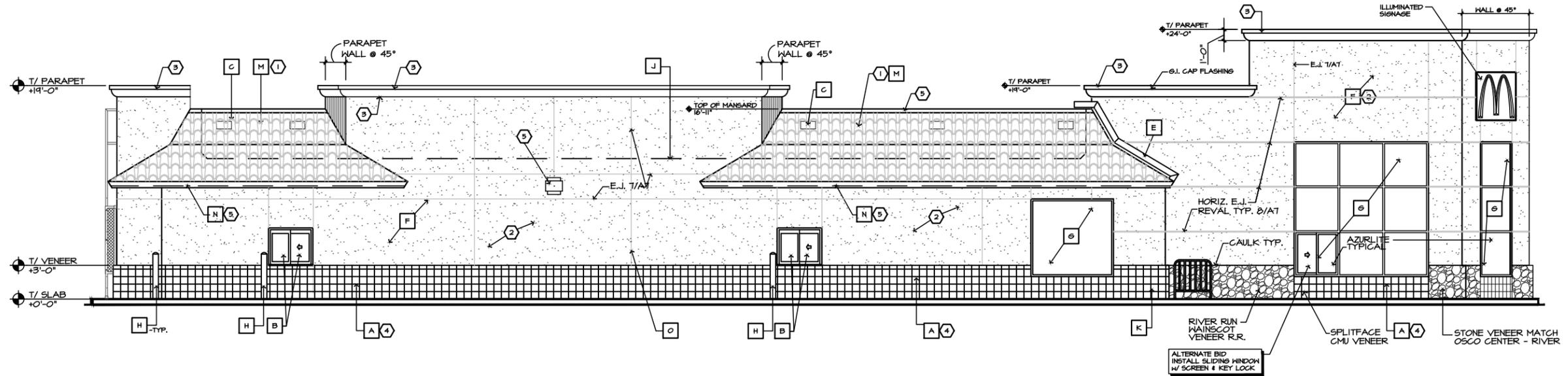
1129 HIGHWAY 260, COTTONWOOD, AZ.
LOC - 02-0258, 08/16/2016

SCALE: 3/32" = 1'-0"

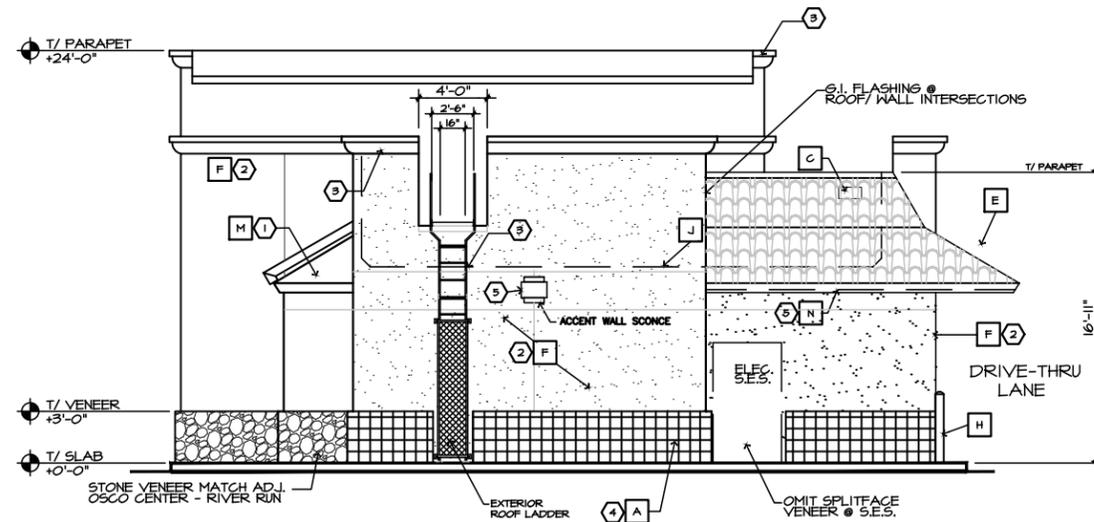
DRB-5

KDF
ARCHITECTURAL
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Suite 320
Phoenix, AZ 85013
P: 602.234.1868
F: 602.234.1413
KDF #16008/ 08-16-2016



EXIST. DRIVE-THRU ELEVATION



EXIST. REAR ELEVATION

McDonald's
EXISTING ELEVATIONS
 1129 HIGHWAY 260, COTTONWOOD, AZ.
 LOC - 02-0258, 08/16/2016

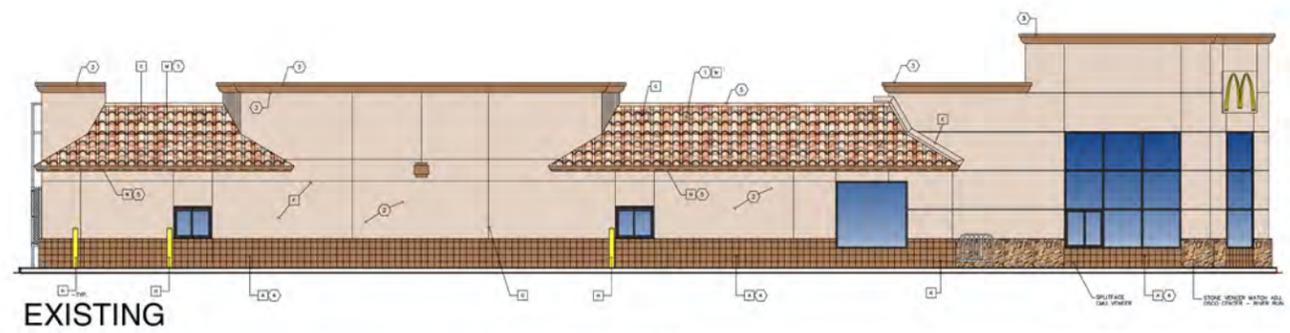
SCALE: 3/32" = 1'-0"

KEY NOTES:

- | | | | |
|------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------|-----------------------------------------------------|
| A 4" SPLITFACE CMU VENEER | E McDONALD'S SIGNAGE AND LIGHT BEAMS BY OTHERS - | H PIPE BOLLARD. | M CONCRETE MISSION STYLE ROOFING TILES. |
| B DENOTES TEMPERED SAFETY GLASS. | F EXTERIOR STUCCO, 1" - 3-COAT OVER LATH OVER FELT PAPER OVER 1/2" PLYWOOD. OR 3/8" WESTERN 1-COAT OVER WIRE MESH OVER 1" 1" CLEAR LOW E TEMPERED INSUL. GLASS SET IN AN DARK | J LINE OF ROOF DECK/SLOPE BEYOND. | N CONTINUOUS FASCIA BOARD, PAINTED. |
| C VENT @ BACK OF MANSARD PARAPET. | G FOAM OVER FELT PAPER OVER 1/2" PLYWOOD. BRONZE ANOD. ALUM. THERMAL BREAK WINDOW FRAME. | K METAL HANDRAIL. | O CONTROL JOINT. |
| D SPARE | | L FILL BOX. | P BREAK METAL CLOSURE TO MATCH WINDOW SYSTEM |

COLOR SCHEDULE

- | | |
|-----------------------------------------------------|-------------------------------------------------------------|
| 1 ROOF TILE - MONIER RENAISSANCE BLEND 16022 | 3 CORNICE - "SIENNA SAND" FRAZEE #B223M |
| 2 STUCCO - ARIZONA WHITE FRAZEE #B2 | 4 SPLITFACE CMU MAINSCOT - "DEERFIELD" FRAZEE #B263M |
| | 5 FASCIA / TRIM - "ACANTHUS LEAF" FRAZEE #B105D |



COLOR LEGEND (ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.N.O.)	
NOTE:	
CORE 16 KHAKI/ BLACK TILE SCHEME	AR ARCADES & HEARTH - TILE EUROWEST: E-WOOD COLLECTION COLOR: R9 BLACK SIZE: 6"x36" WATERPROOFING SETTING MATERIAL AND GROUT: BY MAPEI GROUT COLOR: ULTRA COLOR PLUS - 47 CHARCOAL GROUT WIDTH: 1/8" TO 3/16"
BB	BASE BUILDING - BLEEKER BEIGE BM HC-80
DT, AC	DRIVE THRU SURROUND / ACCENT - ALEXANDRIA BEIGE BM HC-77
PB	PARAPET BAND - CORRUGATED METAL - 3/8" "S" PANEL 24 GAUGE COLOR: CITY SCAPE

KEY NOTES:			
BM BUILDING MATERIAL	CJ CONTROL JOINT	PB PIPE BOLLARD - PAINTED YELLOW	T2 ALUMINUM TRELLIS TIE-BACK
BB COLOR: AR = ARCADE AC = ACCENT BB = BASE BUILDING DT = DRIVE THRU BANDING PB = PARAPET BAND	D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	PT PASS-THRU COIN COLLECTOR - OPTIONAL (RMHC)	T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
C1 ALUMINUM CANOPY (COLOR: WHITE)	GR GUARDRAIL	RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. SEE SIGNAGE SUPPORT NOTE ON THIS SHEET.	TL TILE FINISH
C2 ALUMINUM CANOPY TIE-BACK	L LIGHT FIXTURE (WALL SCENCE) - SEE ELECTRICAL	SF NEW STOREFRONT AND GLAZING	
C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL	LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL (LINEAR FIXTURE COVER TO COVER FULL BRAND/ARCADE WALL)	SS METAL LOUVER SUNSCREEN PANEL	
MATCH	LC LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL	TI ALUMINUM TRELLIS	
	ML METAL LETTERING - BY OTHERS		

McDonald's

ELEVATIONS

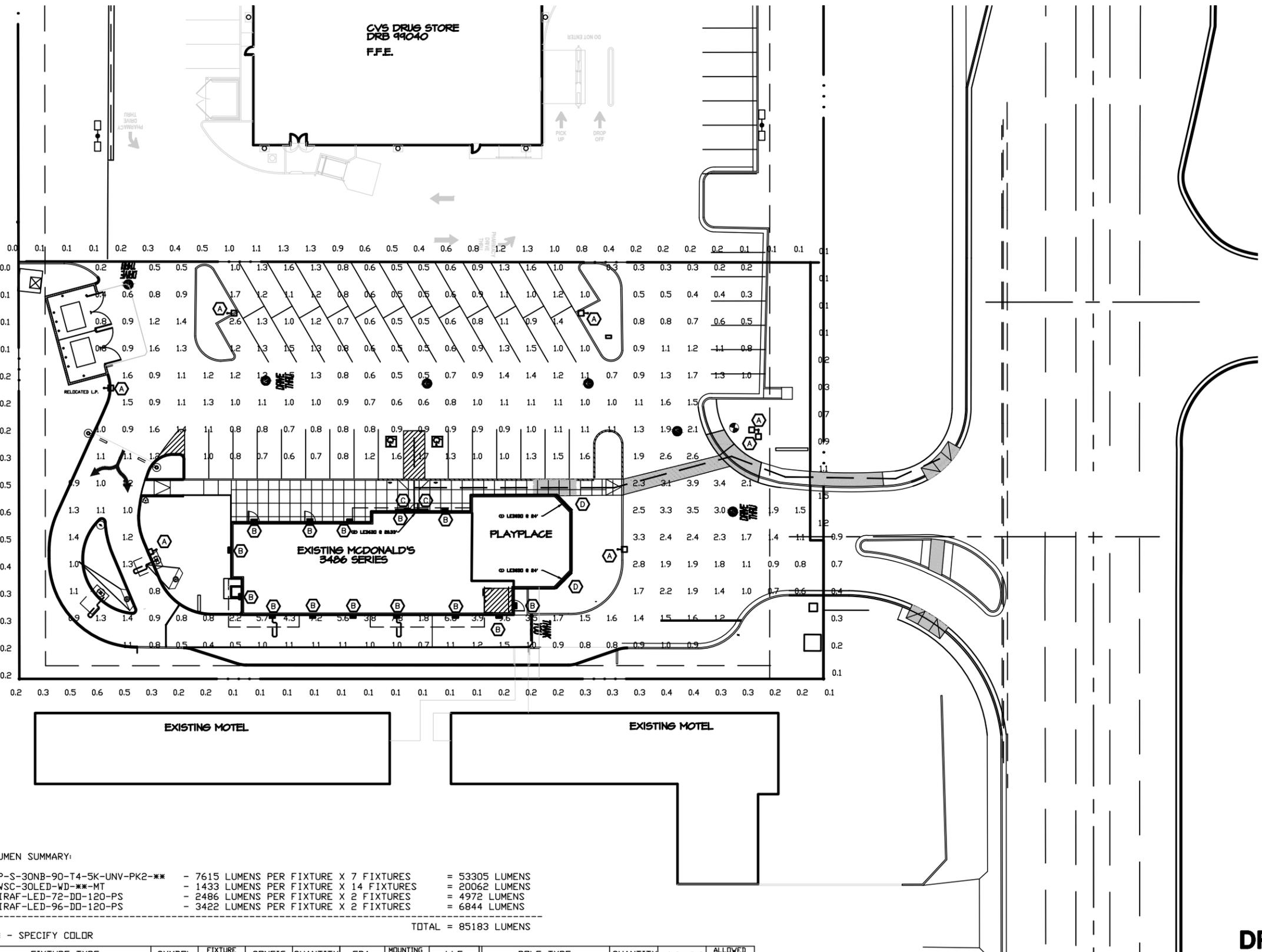
1129 HIGHWAY 260, COTTONWOOD, AZ.
 LOC - 02-0258, 08/16/2016

SCALE: 3/32" = 1'-0"

DRB-6

KDF
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 O: 602.234.1868
 F: 602.234.1413
 KDF #16008/ 08-16-2016



PAVED SURFACE READINGS

Average	1.3
Maximum	9.6
Minimum	0.2
Avg/Min	6.59
Max/Min	48.00

PROPERTY LINE READINGS

Average	0.4
Maximum	1.5
Minimum	0.0
Avg/Min	N/A
Max/Min	N/A

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
3. DISTANCE BETWEEN READINGS 10'
4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

LUMEN SUMMARY:

VP-S-30NB-90-T4-5K-UNV-PK2-***	- 7615 LUMENS PER FIXTURE X 7 FIXTURES	= 53305 LUMENS
RWSC-30LED-WD-**-MT	- 1433 LUMENS PER FIXTURE X 14 FIXTURES	= 20062 LUMENS
HIRAF-LED-72-DD-120-PS	- 2486 LUMENS PER FIXTURE X 2 FIXTURES	= 4972 LUMENS
HIRAF-LED-96-DD-120-PS	- 3422 LUMENS PER FIXTURE X 2 FIXTURES	= 6844 LUMENS
TOTAL = 85183 LUMENS		

*** - SPECIFY COLOR

	FIXTURE TYPE:	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE:	QUANTITY	WIND LOAD	ALLOWED EPA
A	VP-S-30NB-90-T4-5K-UNV-PK2-***	+	7	SGL	5	0.67	24'	0.87	EXISTING	6		
				DBL	1	1.34						
B	RWSC-30LED-WD-**-MT	□	14				9'	0.87				
C	HIRAF-LED-72-DD-120-PS	—	2				ON PLAN	0.87				
D	HIRAF-LED-96-DD-120-PS	—	2				ON PLAN	0.87				

McDonald's

LIGHTING PLAN

1129 HIGHWAY 260, COTTONWOOD, AZ.
 LOC - 02-0258, 08/16/2016

40 20 0 40 80

SCALE: 1" = 40'-0"



2100 Golf Road, Suite 460, Rolling Meadows, IL 60008
 1-800-544-4848

DRB-7

KDF ARCHITECTURAL GROUP, LLC

300 W. Clarendon Avenue, Suite 320
 Phoenix, AZ 85013
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 F: 602.234.1413
 KDF #16008/ 08-16-2016



CVS PHARMACY - EAST VIEW
 ZONING: HEAVY COMMERCIAL
 APN: 406-04-153E



CVS PHARMACY - SOUTHEAST VIEW
 ZONING: HEAVY COMMERCIAL
 APN: 406-04-153E



VERDE VALLEY INN - SOUTHWEST VIEW
 ZONING: HEAVY COMMERCIAL
 APN: 406-04-057E



VERDE VALLEY INN - NORTHWEST VIEW
 ZONING: HEAVY COMMERCIAL
 APN: 406-04-057E

 **McDonald's**
ADJACENT DEVELOPMENT PHOTOS

1129 HIGHWAY 260, COTTONWOOD, AZ.
 LOC - 02-0258, 08/16/2016



300 W. Clarendon Avenue
 Suite 320
 Phoenix, AZ 85013
 O: 602.334.1868
 F: 602.334.1413
 KDF #16008/ 08-16-2016

HIRAF LINEAR LED FACADE FIXTURE



The HIRAF Linear Facade Lighting System is a holistic LED lighting solution designed from a clean slate to maximize the lighting effect for marketing your building as your brand while keeping energy usage and maintenance to an absolute minimum. Thanks to its intuitive plug and play mounting design with integral driver system, installation is quick and simple and only requires that power be brought to one fixture in each continuous row. The long life LED source minimizes maintenance to only an occasional cleaning of outer lens surfaces. This system is truly a "set it and forget it" solution only from Security Lighting!

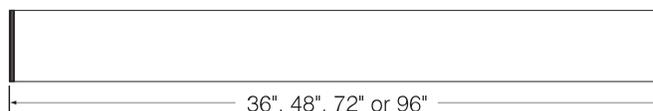
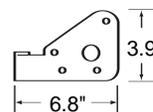


Fixture Specifications

FEATURES

- Extruded aluminum construction, finished in weatherproof powder-coat paint
- Tempered glass lenses
- Power feed required only at beginning of each continuous row; subsequent fixtures plug together in series
- Fully integrated driver for completely self-contained lighting system
- Aluminum mounting brackets are finished in powder-coat paint and each order ships with a formed drilling template for ease of installation
- 70 CRI standard
- 5200K Color temperature standard. Consult factory for others.
- 50,000 hour long life LED illumination
- Fixtures available in up and down light, down light only or up light only

DIMENSIONS



ORDERING INFORMATION

SAMPLE CATALOG NUMBER

HIRAF | **LED** | **XX** | **XX** | **XXX** | **PS**
 Series | Source | Size | Distribution | Voltage | Finish

SERIES

HIRAF Linear Façade Fixture

SOURCE

LED LED

SIZE

96 8-Foot
72 6-Foot
48 4-Foot
36 3-Foot

DISTRIBUTION

UD Up and Down Light (14 watts per foot)
DO Down Light Only (8.5 watts per foot)
UO Up Light Only (5.75 watts per foot)

VOLTAGE

120 120-Volt
277 277-Volt

FINISH

Standard:
PS = Platinum Silver
 Custom Color: Consult Factory



A HUBBELL LIGHTING, INC. COMPANY

Performance Designed Lighting Products

www.securitylighting.com

1085 Johnson Drive • Buffalo Grove, IL 60089 • TOLL-FREE: 800-544-4848 • PHONE: 847-279-0627 • FAX: 847-279-0642

RADIUS WALL SCONCE



The RWSC Series radius wall sconce offers maximum versatility with multiple light sources and finishes. The available combination of uplight/downlight washes the building facade while the radial soft form housing will complement similar architectural design elements.

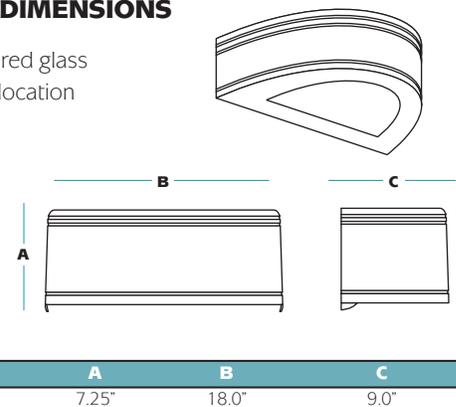


Fixture Specifications

FEATURES

- Durable cast aluminum housing
- Available in various lighting distributions for maximum versatility
- Integrated design eliminates high angle brightness
- Luminaire finished in weatherproof powder-coat paint
- Completely sealed, flat tempered glass lenses suitable for use in wet location
- Ships complete with lamp
- Downlight only, full cut-off
- Dark Sky compliant

DIMENSIONS



ORDERING INFORMATION

SAMPLE CATALOG NUMBER

RWSC | **XXXXXX** | **XX** | **XX** | **XXX**
 Series | Wattage/Source | Distribution | Finish | Voltage

SERIES	
RWSC	Radius Wall Sconce
WATTAGE/SOURCE ¹	
70PMH	70 watt pulse start metal halide
100PMH	100 watt pulse start metal halide
150PMH	150 watt pulse start metal halide
70HPS	70 watt high pressure sodium
100HPS	100 watt high pressure sodium
150HPS	150 watt high pressure sodium
26QF	26 watt quad tube fluorescent
32TRF	32 watt triple tube fluorescent
42TRF	42 watt triple tube fluorescent
226QF	2x26 watt quad tube fluorescent
232TRF	2x32 watt triple tube fluorescent
242TRF	2x42 watt triple tube fluorescent
30LED	30 watt LED ³ down only
50LED	50 watt LED up/down

DISTRIBUTION	
UD	Up/Downlight
WD	Downlight only (wide distribution)- standard
FT	Downlight only (forward throw)

FINISH ²	
DB	Dark Bronze
BK	Black
WH	White
PS	Platinum Silver

¹ Consult factory for other lamp wattage and sources.
² Other finishes available. Consult factory.
³ Available with WD distribution only.
⁴ Not for use with LED source.

VOLTAGE	
120	120 volt
277	277 volt
MT	Multi-Tap

OPTIONS	
QSL	Quartz re-strike with lamp
F	Single fusing
FF	Double fusing
EM12⁴	1 MR11/MR16 two pin socket for 12v power (by others) 35w max. 35w MR11 lamp included.
2EM12⁴	2 MR11/MR16 two pin sockets for 12v power (by others) 35w max. 35w MR11 lamp included.

ACCESSORIES	
EM	Remote emergency ballast (fluorescent only)



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VP-S

Viper (Small)

SITE/ROADWAY



FEATURES

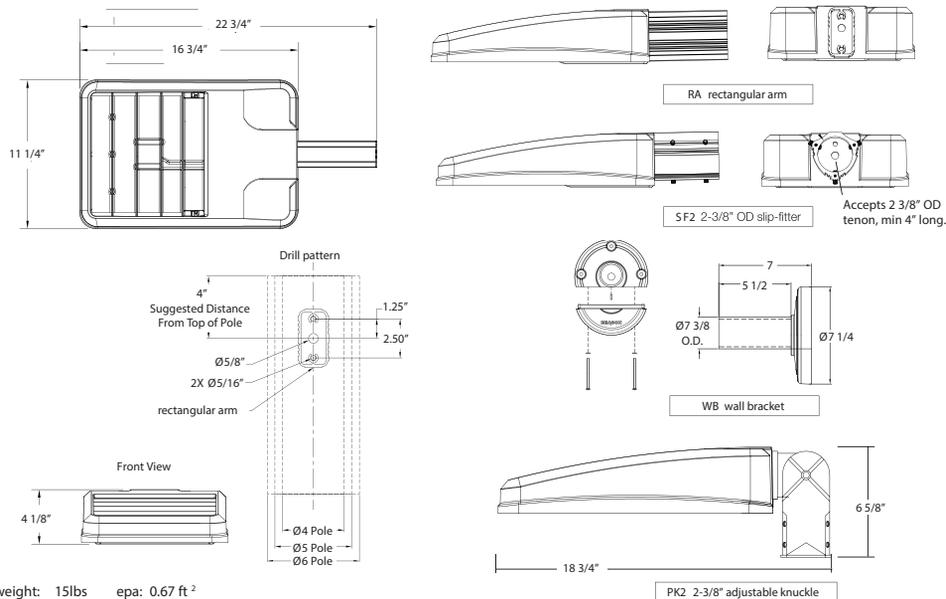
- The Beacon Viper luminaire is available in two sizes with a wide choice of different LED wattage configurations and optical distributions designed to replace HID lighting up to 1000W MH or HPS and with 5 different mounting options for application in a wide variety of new and existing installations.
- Each Viper luminaire is supplied with an one piece optical cartridge system consisting of an LED engine, LED lamps, optics, gasket and stainless steel bezel.
- A thermal circuit, LIFESHIELD™, shall protect the luminaire from excessive temperature by interfacing with the 0-10V dimmable drivers to reduce drive current as necessary.
- Aluminum thermal clad board with 0.062" thick aluminum base layer, thermally conductive dielectric layer, 0.0014" thick copper circuit layer circuit layer designed with copper pours to minimize thermal impedance across dielectric.

ORDERING INFORMATION

VP-S - - - - -				
MODEL VP-S Viper (Small)	CCT-COLOR TEMP 5K 5000° K (std.) 4K 4000° K 3K 3000° K	VOLTAGE UNV 120-277V 347 347V 480 480V	MOUNTING OPTIONS RA Rectangular Arm SF2 2 3/8" OD Slipfitter PK2 2 3/8" Adjustable Knuckle WB Wall Bracket	COLOR BBT Basic Black Textured BMT Black Matte Textured WHT White Textured MBT Metallic Bronze Textured BZT Bronze Textured GYS Gray Smooth DPS Dark Platinum Smooth GNT Green Textured MST Metallic Silver Textured MTT Metallic Titanium Textured OWI Old World Iron _RAL
ENGINE-WATTS 22NB-50 50 Watts 22NB-70 70 Watts 30NB-70 70 Watts 30NB-90 90 Watts	OPTICS T2 Type II T3 Type III T4 Type IV T5R Rectangular T5QM Sq. Medium T5W Round Wide	ELECTRICAL OPTIONS PCR-TL Photocell, Twist-lock PCR-SC Photocell, Shorting Cap NP No Photocontrol 2PF Dual Power Feed ^{1,2} STANDARD ELECTRICAL OPTIONS Lifeshield™ Thermal Protection 20K-Surge Protection ³ Dimming Drivers		

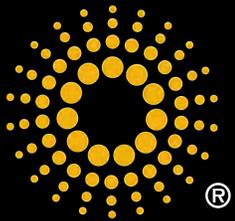
¹ Not available 30NB-90
² Not available @ 347/480V input
³ Not available @ 347V input

DETAILS





Prepared Exclusively For
Store NN26401-1
1129 HWY 260
COTTONWOOD, AZ
August 15, 2016



Everbrite

Everbrite, LLC
315 Marion Avenue
South Milwaukee, WI 53172
www.everbrite.com

Account Manager: Lori Blazek
lblazek@everbrite.com (888) 857-4078 x5467



WBE Certified
since 2002

Not for permitting; for branding review only

PROJECT DATA

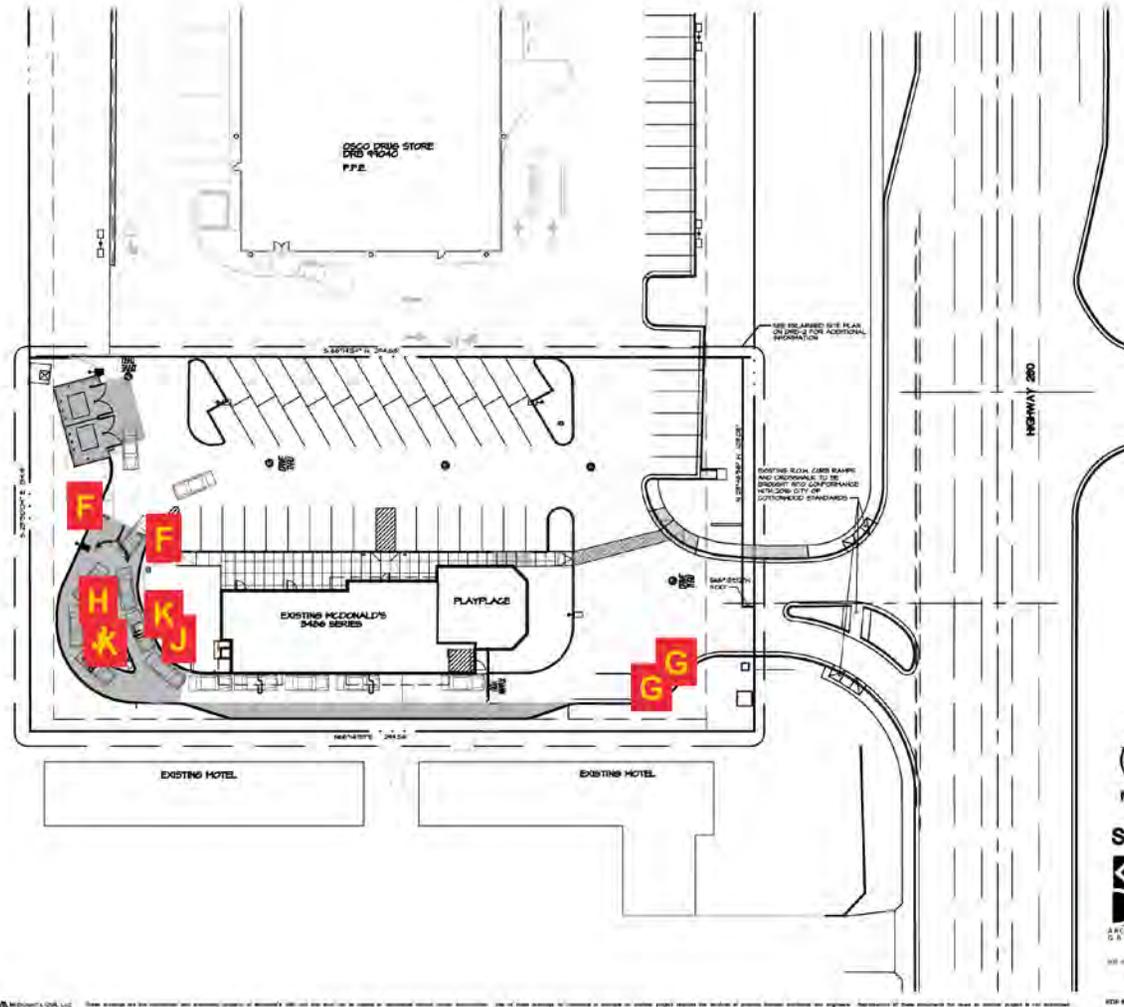
ADDRESS:	524 LIBERTY ST. COTTONWOOD, ARIZONA
LOC. CODE:	0000000
zoning:	U-2 HEAVY COMMERCIAL
DISPOSAL:	A. PUBLIC DRAINAGE PLAYPLACE B. FUTURE / STORAGE
TYPE OF CONSTRUCTION:	22 B. SPRINKLERED PER IFC 405
USE:	RESTAURANT (SERVE TRUCK)
BUILDING AREA:	
EXISTING AREA:	4500 SF. SHOP
NEW:	175 SF. MEN, WOMEN & CHILD RESTROOMS
	4625 SF. TOTAL
PARKING REQUIRED:	500 SF. / 20 = 40 VEH.
PARKING PROVIDED:	44 VEH. (INCLUDED 2 ACCESSIBLE)

VICINITY MAP
HTS



SITE PLAN

1125 HIGHWAY 260, COTTONWOOD, AZ.
LOC - 02-0258



SIGN-1



1125 W. CHANDLER AVENUE
SUITE 100
MILWAUKEE, WI 53214
TEL: 414.353.1111
FAX: 414.353.1112
WWW.SIGN-1.COM



Everbrite, LLC
315 Marion Avenue
South Milwaukee, WI 53172
www.everbrite.com

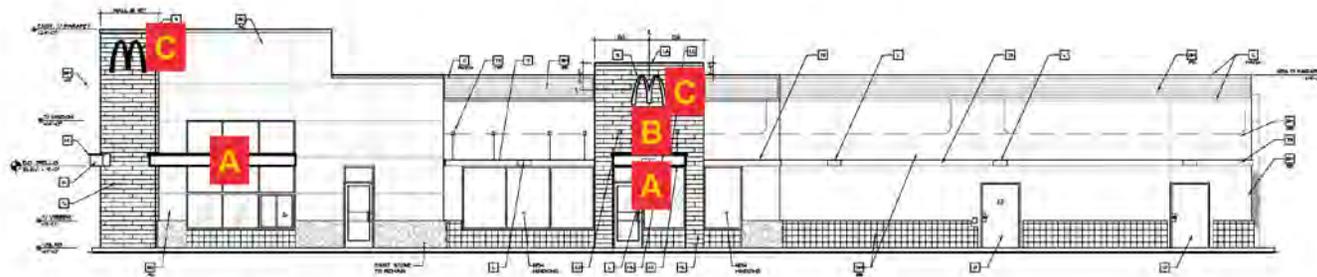
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Site: NN26401-1 COTTONWOOD, AZ

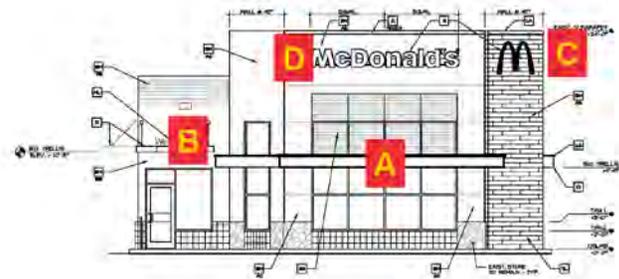
Prepared By: Lori Blazek, PIF: 350082-1

Date: 08/15/2016

Page 2 of 15



NON DRIVE-THRU ELEVATION



FRONT ELEVATION

COLOR LEGEND (ALL COLORS ARE PER BENJAMIN MOORE PAINTS, U.S.A.)	
NOTE:	
COYE 16 KIMBU BLACK TILE SCHEME	AR: ARCADES & HEARTH - TILE ELBOWEST: E-WOOD COLLECTION COLOR: RB BLACK SIZE: 67X21" WATERPROOFING SETTING MATERIAL AND GROUT BY MAPS DROPT COLOR: ULTRA COLOR PLUS - 47 CHARNICAL DROPT WHITE: 1/8" TO 1/16"
GB	BASE BUILDING - BEEDEER BRICK BM HC-30
DT, AC	DRIVE THRU SURROUND / ACCENT - ALEXANDER REDD BM HC-77
PB	PARAPET BAND - CORRUGATED METAL - 3/4" X 1" PANEL 24 GAUGE COLOR: CITY SCAPE

KEY NOTES:			
BM BUILDING MATERIAL	CJ CONTROL JOINT	PT PIPE BOLLARD - PAINTED YELLOW	T2 ALUMINUM TRELLIS TIE-BACK
COY COLOR	D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL	PTI PASS-THRU COIN COLLECTOR - OPTIONAL (N/A/C)	T3 ALUMINUM TRELLIS 2x8 WALL FASCIA
AR ARCADE	DR QUADRANT	NO SCOP DRAW OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL	T4 TILE FINISH
AC ACCENT	L LIGHT FIXTURE (WALL SIGNED) - SEE ELECTRICAL	NSO MCDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT SEE SIGNAGE SUPPORT NOTE ON THIS SHEET	
BR BASE BUILDING	LA LIGHT FIXTURE (FACADE LIGHT) - SEE ELECTRICAL		
DT DRIVE THRU BANKING	LX LIGHT FIXTURE (LUNAR LIGHT) - SEE ELECTRICAL		
PS PARAPET BAND	LS LIGHT FIXTURE (CANOPY LIGHT) - SEE ELECTRICAL		
A1 ALUMINUM CANOPY (COLOR: WHITE)	ML METAL LETTERING - BY OTHERS		
A2 ALUMINUM CANOPY TIE-BACK			
C2 METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL			
		SP NEW STOREFRONT AND GLAZING	
		SB METAL LOWER SUNSCREEN PANEL	
		T ALUMINUM TRELLIS	

McDonald's
ELEVATIONS
1125 HIGHWAY 260, COTTONWOOD, AZ
LOC - 02-0258



Everbrite, LLC
315 Marion Avenue
South Milwaukee, WI 53172
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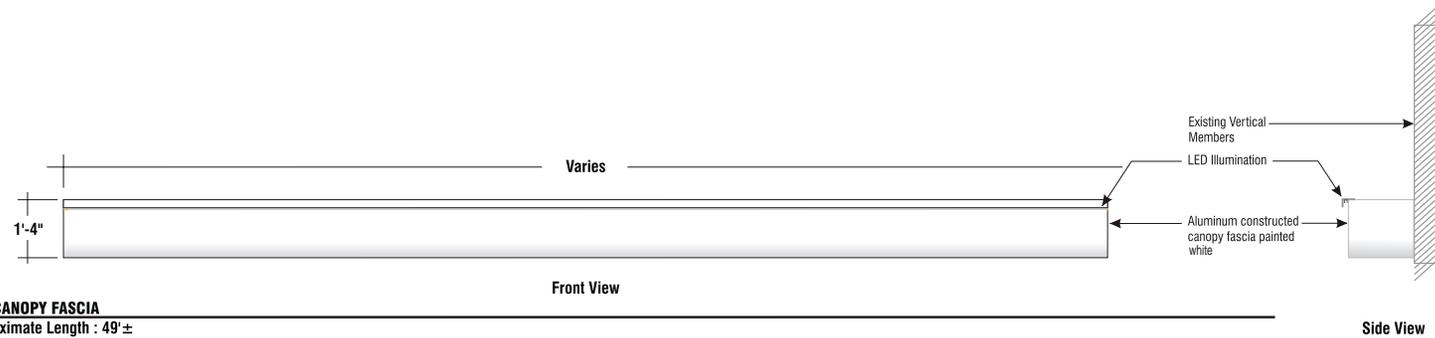
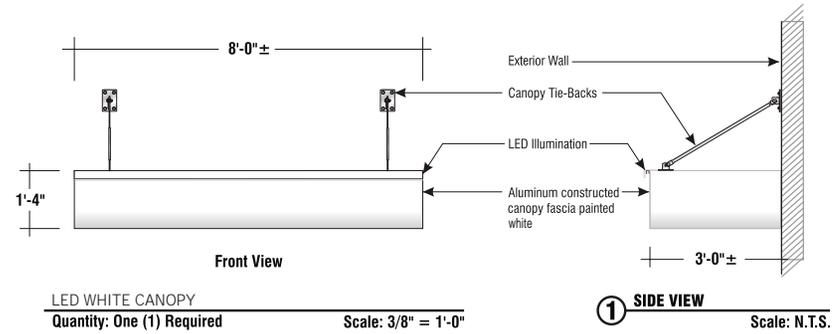
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Site: NN26401-1 COTTONWOOD, AZ

Prepared By: Lori Blazek, PIF: 350082-1

Date: 08/15/2016

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Prepared By: Lori Blazek, PIF: 350082-1

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- Non-illuminated
- Aluminum letters
- Powder coated silver



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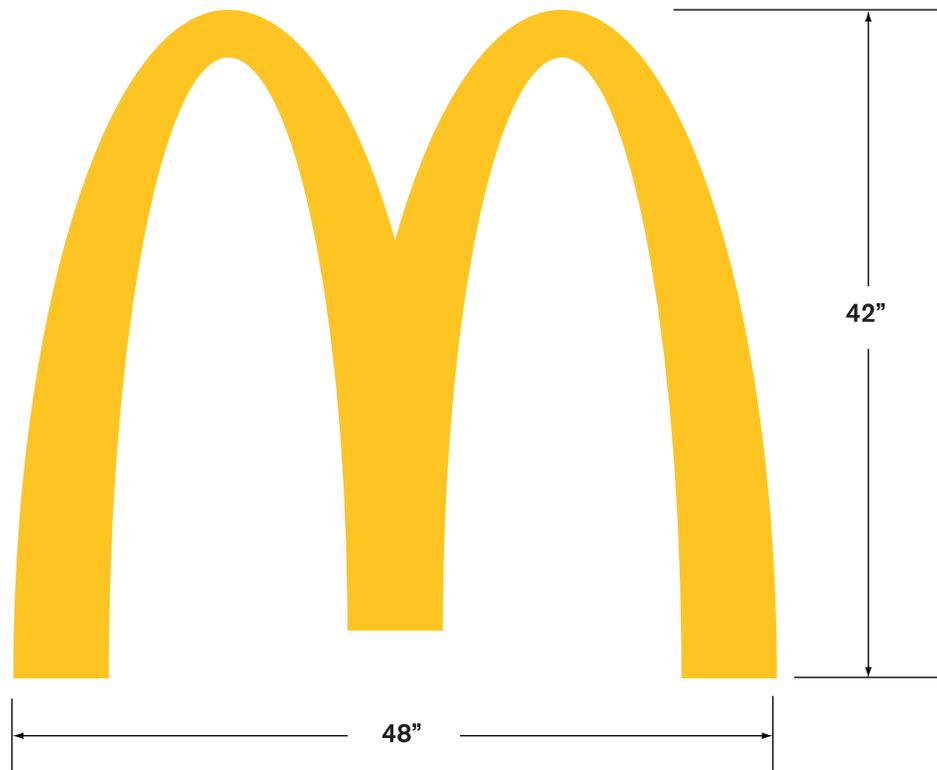
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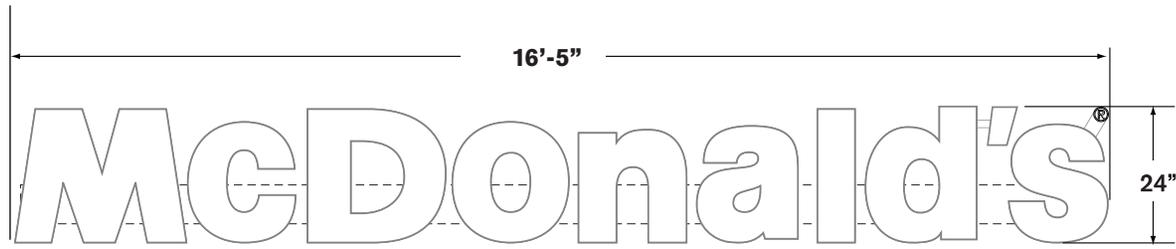
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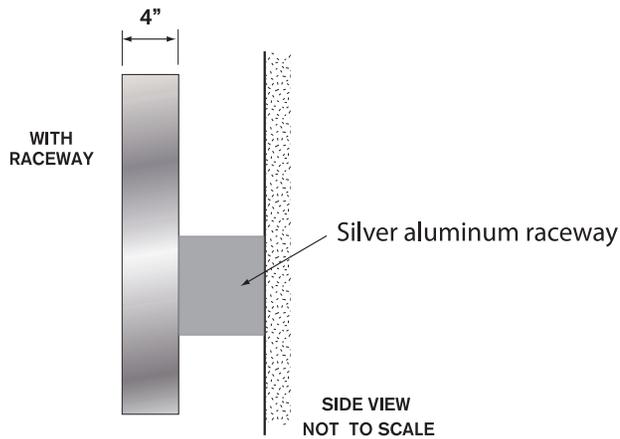
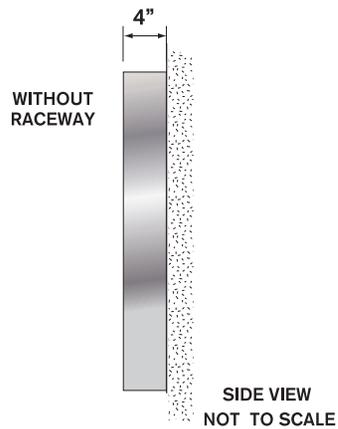
LED Illuminated,
yellow, modified
acrylic face.
Silver returns.

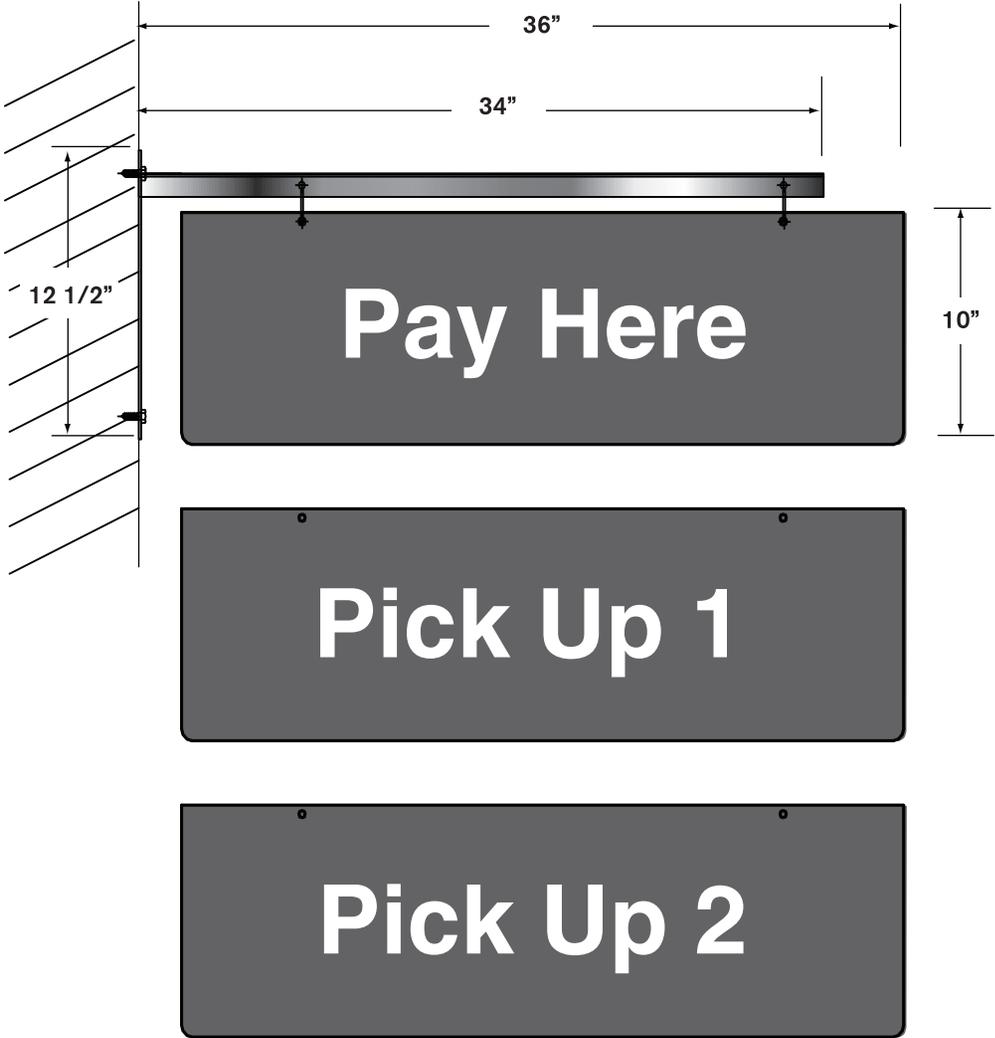
Boxed sq. ft. = 14.00
Actual sq. ft. = 4.10



LED Illuminated,
white, modified
acrylic face.
Silver returns.

Boxed sq. ft. = 32.83





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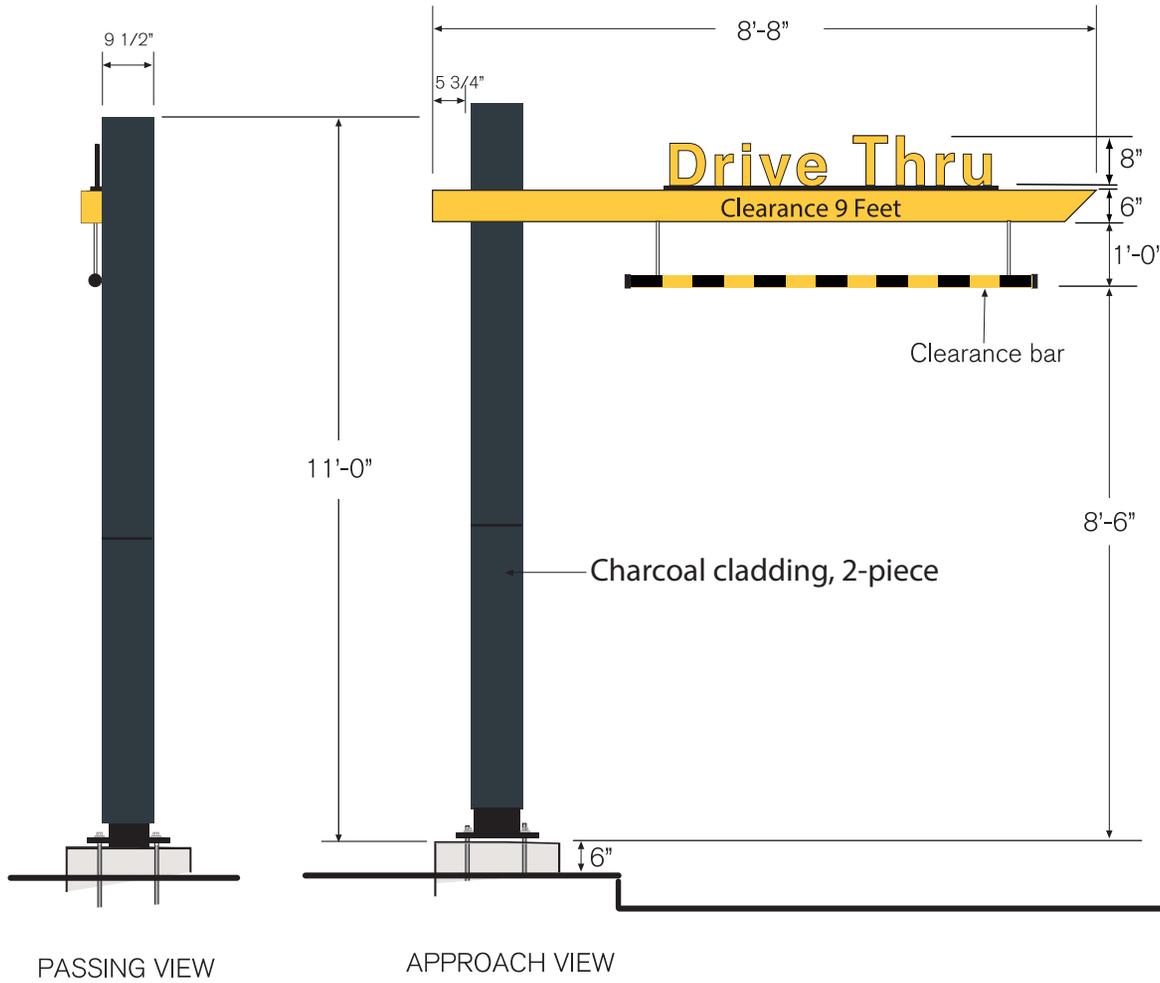
Site: NN26401-1 COTTONWOOD, AZ

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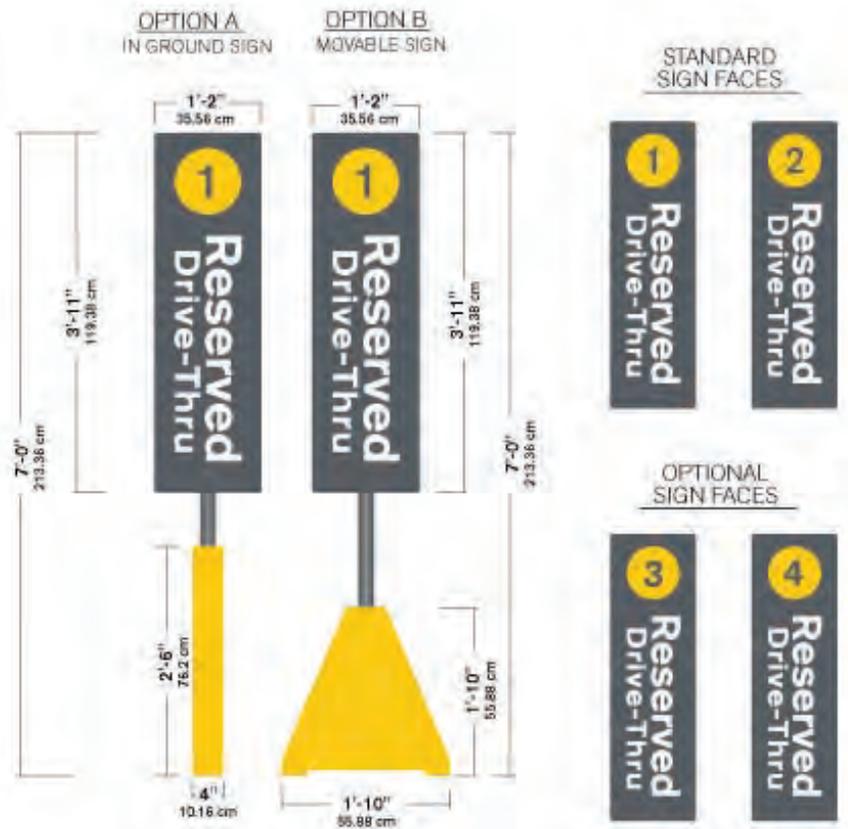


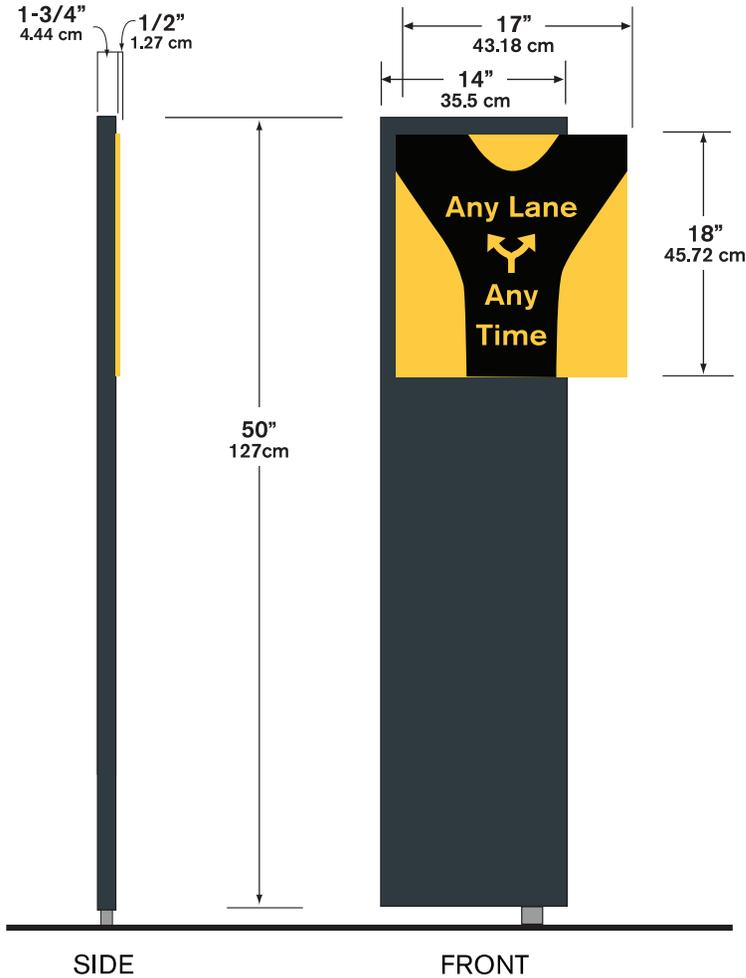


Illumination: N/A

Ship Weight: 790 lbs.

- Other:**
- Non-illuminated clearance sign with spring loaded break away clearance arm.
 - Adjustable bang bar.





Illumination: N/A

Ship Weight: 26 lbs.

- Other:**
- PMS 123 yellow reflective message panel with black decal graphics/letters
 - Two mounting systems available; direct burial or anchor bolt.



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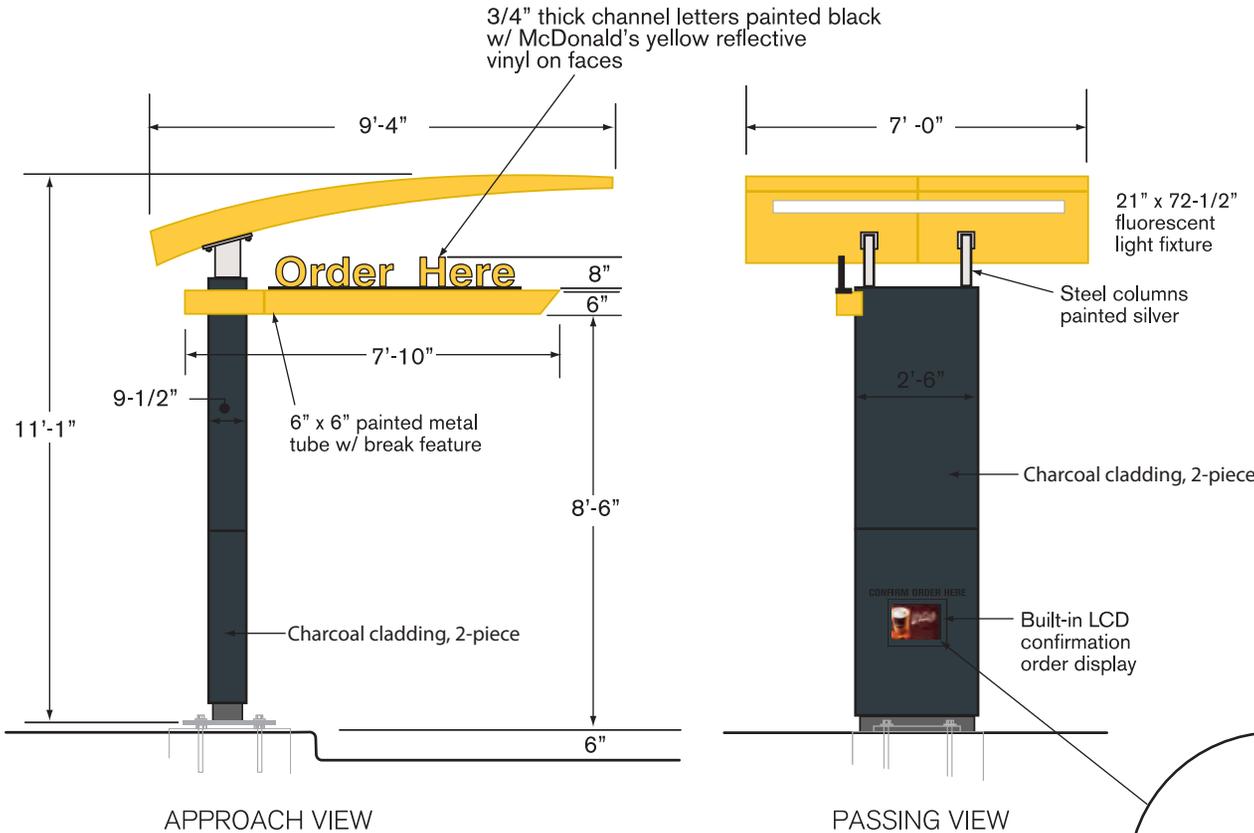
Date: 08/15/2016

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Drive-Thru Twin Pole Canopy w/ Built-in COD (Preferred)

LCD Confirmation Order Display



- Illumination:** 4 - F72T12 CW/HO
- Electrical:** 15 Amp 120 Volt
- Ballast:** Fulham Workhorse 7
- Ship Weight:** 1300 lbs.
- Other:**
 - Available with LED or LCD COD.
 - Spring loaded swing away 9' clearance arm
 - Illuminated awning provides a customer safe environment at night and protection from inclement weather



Built-in LCD confirmation order display



08/25/2016 11:17



08/25/2016 11:18





08/25/2016 11:19



08/25/2016 11:19



08/25/2016 11:19



08/25/2016 11:21



Drive Thru

Clearance
9 Feet

08/25/2016 11:21



08/25/2016 11:21



08/25/2016 11:21



Drive Thru

Clearance
9 Feet

08/25/2016 11:21



08/25/2016 11:22



CLEARANCE 8 FT.

08/25/2016 11:23



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Scott Ellis, Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: September 19, 2016

PROJECT NUMBER: **Z 16-003 & DR 16-014 LeMain Development**

Applicant is requesting a zone change and design review on two (2) parcels from C-1 (Light Commercial) to Planned Area Development (PAD) in order to develop vacant land for construction of one mixed use residential/commercial buildings and one residential building in Old Town Cottonwood.

PROJECT DATA AND FACTS:

Property Owners	LaMain 919 LLC, Cactus Development LLC
Representative	Steve Biasini
Location of Property	920 N. Main Street & 925 N. Cactus Street
Present Zoning and Land Use	C-1 – Light Commercial – Vacant land
Description of Applicant’s Request	Rezone two parcels to PAD in order to construct 2 new buildings.

LAND USE:

Adjacent Land Uses and Zoning – Main Street Property	
North:	C-1 (Light Commercial) Retail Shops
South:	C-1 (Light Commercial) Retail Shops
East (across Main St.):	C-1 (Light Commercial) Retail Shops
West:	C-1 (Light Commercial) Vacant Parcel & Future Hotel Expansion

Adjacent Land Uses and Zoning – Cactus Street Property	
North:	C-1 (Light Commercial) Vacant Parcel
South:	C-1 (Light Commercial) Future Hotel Expansion
East:	C-1 (Light Commercial) Vacant Parcel & Retail Shops
West (across Cactus St.):	R-2 (Single Family/Multiple Family Residential) Single Family Homes & Vacant Parcel

PROJECT PROPOSAL:

Background
<p>The developer owns two vacant parcels adjacent to each other across an alley between N. Cactus St. and N. Main Street in Old Town Cottonwood. The intent is to provide an in-fill development by constructing one new multi-use building facing N. Main Street and one new multi-unit residential building facing N. Cactus Street. The lower level of the building located on N. Main Street will be used as commercial space, with the upper two floors being used as residential space. The building facing N. Cactus Street will have a ground level parking garage, with the upper two floors being used as residential space. The residential space will be sold as condominium style housing.</p> <p>The buildings will be modern, yet will still fit with the surrounding historic buildings lining both streets. The project was presented to the Historic Preservation Commission in March 2016 with a positive reception from the commissioners.</p> <p>The site consists of two parcels both of which are currently vacant. The applicant would like to rezone the parcels to PAD and build 2 new buildings. The building on Main St. will be three stories with approximately 2,200 square feet of commercial space on the lower floor, and 3 residential units on the two upper floors ranging from 1,100 square feet to 1,800 square feet.</p> <p>The Cactus Street building will provide two residential floors situated above a ground level parking garage. A total of 6 residential units will be offered for sale in this building ranging from 950 to 1,400 square feet. Both buildings will be a maximum 35 feet in height. A total of 9 residential units will be sold between the two buildings.</p> <p>The proposed use does not conflict with the city’s General Plan and does not require an amendment.</p>

Structure Design

Number and Proposed Use of Building	9 new residential units
Number of Stories	2 (plus parking) - 3

Parking

The Main Street building is located in the Cottonwood Historic District and is exempt from parking requirements as set forth in Section 404 of the City's Zoning Ordinance.

The Cactus Street building will require additional off-street parking spaces. The applicant is proposing a ground level parking garage below the two residential floors on this building. This parking garage will accommodate a maximum of 8 off-street parking spaces. The garage will have two doors, one facing Cactus Street and the other on the alley. Entry to the parking garage will be from Cactus Street and the exit will be into the alley.

It is the intent of the developer to provide reserved parking for 8 of the 9 residential units to be sold. One unit will be sold without a dedicated off-street parking space.

Lighting:

All lighting will be designed to be in compliance with Section 408 of the City of Cottonwood Outdoor Lighting Ordinance and will be required to meet all Dark Sky requirements. Lighting will consist of recessed fixtures beneath the overhanging decks. No wall mounted lighting fixtures will be used.

Signage:

No signage has been proposed for this project. Any commercial signs to be used for the commercial portions of the building will require a separate sign permit submittal to be approved by staff.

Access:

Access to the Main Street building will be from Main Street and from the rear of the building off the alley. This will provide access to the commercial portion of the building only. Residential tenants will have access through a secured entry door at the rear of the building.

Access to the Cactus Street building will be from a secured front entry door with stairs and an elevator from the parking garage. The parking garage will be entered off Cactus Street and exit into the alley.

Landscaping:

Landscaping will match surrounding businesses by using Rayber Ash, Desert Willow, Manzanita, Myoporum as a groundcover. Both buildings will have courtyards at the entrances with brick pavers.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the Code Review Board on July 21, 2015 and November 25, 2015. The applicant will comply with all comments prior to development of site.

Architecture, Materials, Colors:

The design of the buildings will be modern but will keep with the existing historical feel of the neighboring buildings in Old Town. The exteriors will consist of stucco finishes with brick enhancements on the front and rear façade. Metal railings and decks and old fashioned corrugated roof porch/patio covers will also be incorporated. Stucco coloring will be in line with the brick

colors of Highland Grey. Salvaged construction materials of a historic nature will be used for interior design accents in both buildings.

Site Development Standards:

The Main St. building is proposed as a three-story building, exceeding the 2 ½ story limit set by the City’s Zoning Ordinance. The maximum height of the building as allowed by the ordinance is 35 feet, which the developer does not intend to exceed. Buildings in excess of 2 ½ stories or 35 feet in height are permitted with a Conditional Use Permit, however, due to the nature of PAD zoning, a Conditional Use Permit would not be warranted for this project. Building coverage for this parcel will be 100%, which is typical for smaller Old Town lots.

This building will also have a deck that projects 5 feet into the City right-of-way above the sidewalk, providing some coverage over the first floor entry. There will also be decks on the second and third floors on the alley side, projecting 3 feet into the alley. City Council will need to approve an encroachment agreement with the property owner to allow the Main St. building decks to overhang above City right-of-way. This is scheduled for the September 20th City Council meeting.

The Cactus Street building will be two-stories set above a parking garage on the ground level. The building height will not exceed 35 feet. The garage will accommodate 8 vehicles and will have garage doors on both sides (Cactus St. entrance and alley exit). Building coverage will be approximately 86% with approximately 5.57% open space in the form of a landscaped area, courtyard, and outdoor seating.

PAD zoning allows for a developer to propose setbacks which are different than in regular zoning designations. For this building the developer is proposing zero side yard setbacks, a 10 foot front setback, and a 15 foot rear setback (measured from the center of the alley).

GENERAL PLAN:

Analysis: As per Arizona Revised Statutes (ARS), a change of zoning must conform to the adopted General Plan of the municipality as relates to the range of uses, densities and intensities indicated in the land use element. Such conditions are specifically described through the Land Use Map. The applicable section of ARS Title 9 (Cities) is as follows:

ARS 9-462.01. Zoning regulations; public hearing; definitions

F. All zoning and rezoning ordinances or regulations adopted under this article shall be consistent with and conform to the adopted general plan of the municipality, if any, as adopted under article 6 of this chapter. In the case of uncertainty in construing or applying the conformity of any part of a proposed rezoning ordinance to the adopted general plan of the municipality, the ordinance shall be construed in a manner that will further the implementation of, and not be contrary to, the goals, policies and applicable elements of the general plan. A rezoning ordinance conforms to the land use element of the general plan if it proposes land uses, densities or intensities within the range of identified uses, densities and intensities of the land use element of the general plan.

GENERAL PLAN CONFORMANCE:

The General Plan 2025 indicates the Land Use classification for this area as General Commercial.

The State Statute allows such rezoning requests to be considered in terms of goals and policies of the General Plan. In addition, the applicable State Statute section describes the method for making

such determination as such: “the [rezoning] ordinance shall be construed in a manner that will further the implementation of, and not be contrary to, the goals, policies and applicable elements of the general plan.” In this case, the General Plan supports commercial use in this area. The proposed PAD zoning is indicated as in conformance with General Plan goals for this area.

STAFF REVIEW:

Staff has reviewed this submittal and finds the overall proposed use of the land meets General Plan guidelines, would be a good in-fill development for the Old Town area, and provides a high quality mixed-use establishment for the area.

The applicant held the required neighborhood meeting as received generally positive feedback from neighboring property owners regarding the project. An agreement is being worked on between the property owner, and adjacent property owner, and the City of Cottonwood to design and improve the alley that runs from W. Pima St. to W. Pinal St. The intent is to make the alley a welcoming part of this project and a hotel expansion project. The alley will accommodate one way traffic only.

RECOMMENDATION:

If approved, staff recommends the following stipulations:

1. That the project is developed in accordance with the Master Development Plan submitted on August 22, 2016 and as may be further modified by the Planning & Zoning Commission.
2. That the project conforms to code review board comments dated July 23, 2015 and November 25, 2015.
3. Any other required supporting documentation is submitted to staff and approved (i.e. drainage reports, surveys, etc.).
4. The decks overhanging the City of Cottonwood right-of-way are approved by City Council in the form of an encroachment agreement.
5. The property owner develops the alley in accordance with City standards.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the commission deems necessary.

MASTER DEVELOPMENT PLAN

PROJECT NAME

LeMain Development

PROJECT LOCATION

920 North Main Street (parcel 406-22-015), and
925 North Cactus Street (parcel 406-22-020A)
Old Town Cottonwood, AZ

PROJECT APPLICANT/MASTER DEVELOPER

LeMain Development LLC, Master Developer
c/o John C. Haupt
10008 East South Bend Drive
Scottsdale, AZ 85255
Mobile: 602-757-4398

Steve Biasini, Project Applicant
735 South Third Street
Williams, AZ 86046
Mobile: 928-202-2029

DATE OF SUBMITTAL

July 8, 2016
Revised August 16, 2016

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Graphic Exhibits

Exhibit 1	Vicinity Map
Exhibit 2	Aerial Photograph
Exhibit 3	Photographs of Property
Exhibit 4	Conceptual Development Site Plan
Exhibit 5	Exterior Building Materials and Colors
Exhibit 6	Landscaping Schematics
Exhibit 7	Main Street Building—Street View
Exhibit 8	Building Schematics and Floor Plans

1. PROJECT NARRATIVE

1a. Project Name, Location, Contact Information, Brief Description

LeMain Development LLC, an Arizona Limited Liability Company, proposes to develop two adjacent tax parcels in Old Town Cottonwood, AZ as LeMain Development, a Planned Area Development (PAD). The contact information for the Applicant, Master Developer, and property owners is:

Applicant: Steve Biasini
735 South Third Street
Williams, AZ 86046
Mobile: 928-202-2029
Email: sibiasini@gmail.com

Master Developer: LeMain Development LLC
c/o John C. Haupt
10008 East South Bend Drive
Scottsdale, AZ 85255
Mobile: 602-757-4398
Email: jchaupt1@gmail.com

Property Owners: LaMain 919 LLC
c/o John C. and Valerie A. Haupt
10008 East South Bend Drive
Scottsdale, AZ 85255
Mobile: 602-757-4398
Email: jchaupt1@gmail.com

Cactus Development LLC
c/o Michelle M. Haupt
2325 Taft Street NE
Minneapolis, MN 55418
Mobile: 612-554-5387
Email: mmhaupt@aol.com

Tax parcel 406-22-015 is located at 920 North Main Street, and tax parcel 406-22-020A is located at 925 North Cactus Street. These two vacant parcels are adjacent but are separated by the alley between North Main Street and North Cactus Street. The two lots are approximately in the center of the block, with West Pinal Street at the north end of the block and West Pima Street at the south end of the block. Both parcels are in Old Town Cottonwood and are currently zoned C-1. Please see Exhibit 1, Vicinity Map, and Exhibit 2, Aerial Photograph of the Property.

1b. Land Use Areas and Development Standards

We are submitting this master development plan to address substantial challenges identified resulting from the existing C-1 zoning requirements as they apply to very small parcel sizes in Old Town Cottonwood. The combination of required C-1 setbacks, open space, parking, floor limitations, and landscaping currently make it very difficult, if not impossible, to cost-effectively build a structure that we feel would add significant value to the City, its residents, and its visitors.

We are presenting a clear departure from the one-story/single family dwelling style that was carried forward by default when the east side of Cactus was changed to C-1 zoning. We are interested in expanding the urban flavor and tone of Main Street on to Cactus. As shown on the attached preliminary conceptual development site plan, our proposal has a fairly dense urban footprint. (These two parcels total less than 8,000 square feet.)

We are proposing a three-story mixed-use building on the Main Street parcel and a residential building consisting of two floors over a ground level parking garage on the Cactus Street parcel. Both buildings will have similar architecture and obvious design continuity in keeping with existing historical development on Main Street, as well as a common property owners' association. We intend to use remnant and historic construction materials already salvaged from the Main Street property for design accents. We had a useful meeting with the Historic Preservation Committee, and as a result of the meeting, we adjusted the setback of the third floor on Main Street by moving it back still further from the front of the structure. It is now set back twelve (12) feet to lessen its visual impact on the streetscape.

We feel that our proposed development will further the pride of ownership existing in the neighborhood by providing more opportunities for people to own/live in Old Town. We want to encourage the expansion of the architectural style and feel of the Old Town "brand" beyond Main Street to the very small commercial lots on the two adjacent streets, Cactus and First. We also believe that approval of our master development plan will provide the city a positive example for further new development for the balance of the Old Town C-1 zoning.

This master development plan explains and illustrates the proposed development and its uses and standards through text, data tables, and illustrations.

920 North Main Street

The North Main Street parcel is in the Cottonwood Historic District, and has been vacant land for many, many years; closed off by chain link fences at both ends. We lovingly refer to this lot as the "missing front tooth" of Old Town Main Street. We would like to provide the "implant" to make the existing Main Street smile more vibrant.

In this location, we are proposing a three-story building, a variance from the existing City code allowing for a two-and-a-half-story building. The building height will be equal to or less than 35 feet, (the current zoning height limit) which is consistent with existing City codes and will be similar in height to other new construction proposed in the immediate area.

Floor one at ground level will provide approximately 2,200 square feet of leased commercial space, with access from both the front of the building and the alley. The front entry will meet ADA requirements for accessibility. Floors two and three will contain a total of three for sale residential units, with sizes ranging from approximately 1,100 to 1,800 square feet. Floors two and three will be accessed via a secured entry door at the rear of the building with both stairs and an elevator.

The second floor on the Main Street side will have a deck that projects five (5) feet into the right of way above the sidewalk and will provide some coverage over the first floor entryway. The second and third floors on the alley side of Main Street will have decks that project three feet into the alley.

On the third floor, the front exterior wall will be set back twelve feet and the rear exterior wall will be set back six feet with a three foot overhanging deck. This architectural set back will provide an apparent height more consistent with existing Main Street buildings when viewed from street level.

The building front will include landscaping, including a front courtyard, designed to be appealing and pedestrian friendly. Building coverage on this parcel will effectively be 100 percent and no parking will be provided, consistent with existing City codes.

925 North Cactus Street

On Cactus Street, we are proposing a two-story residential building set above a private, enclosed parking garage at ground level. The garage will accommodate eight vehicles and will be fully screened from view, with garage doors at both the entrance on Cactus Street and the exit to the alley. The building height will be equal to or less than 35 feet, which is consistent with existing City codes and will be similar in height to other new construction proposed in the immediate area.

The two residential floors above the garage will each contain three for sale residential units, with sizes ranging from approximately 950 to 1,400 square feet. Sizes of these residential spaces will vary depending on demand. Floors two and three will be accessed via a secured front entry door with stairs and an elevator from the ground floor parking garage.

There will be a minimum front yard setback of ten feet measured from the front property line, no side yard setback, and a minimum rear yard setback of 15 feet measured from the center of the alley. A small part of the parking garage will project beyond the setback lines as shown on the conceptual development site plan and elevated decks will project, not more than five feet, into the setbacks as well.

The building front will include landscaping, designed to be appealing and pedestrian friendly. Building coverage on the Cactus Street lot will be approximately 86 percent.

The Alley

As noted, these parcels are separated in the rear by an alley, which will be a unifying tie between the parcels. The Master Developer intends to participate in improvements to the existing gravel alleyway as part of the project, and has begun discussions with the city engineer, planners, and an adjacent parcel owner. The City will develop the engineering requirements and contract out the work necessary to pave the alley from the existing city parking lot in front of the Tavern Hotel north to West Pinal Street. If this proposed PAD is approved, the Master Developer will participate in the city's costs associated with the alleyway improvements. Paving of the alley will not occur until all new construction is complete.

Parcel Data and Development Standards Table

Table 1 contains a preliminary parcel data table and summary of proposed property development standards.

Table 1

LeMain Development Planned Area Development
Data Table

Physical address	<u>920 North Main Street</u>	<u>925 North Cactus Street</u>	<u>Combined Properties</u>
Parcel number(s)	406-22-015	406-22-020A	
Subdivision	Willard Addition	Willard Addition	
Current use	Vacant Land	Vacant Land	Vacant Land
Parcel size	2,612 sq/ft	5,334 sq/ft	7,946 sq/ft
Assessor acres	0.06	0.12	0.18
Existing zoning	C-1	C-1	C-1
<u>Project uses:</u>			
Proposed Mixed Usage	Residential and Commercial	Residential	Residential and Commercial
Proposed # dwelling units	3	6	9
Total sq/ft of dwellings	~3,896 sq/ft	~6816 sq/ft	~10,700 sq/ft
Proposed # commercial units	Up to 2	None	Up to 2
Total sq/ft of commercial	~2,200 sq/ft	None	~2,200 sq/ft
Proposed # parking spaces	Exempt	8	8

	<u>920 North Main Street</u>	<u>925 North Cactus Street</u>	<u>Combined Properties</u>
<u>Coverages:*</u>			
Open space:	Exempt	956 sq/ft	5.57% on Cactus
Parking Area:	Exempt	3622 sq/ft	
Building coverage:	100% effective	4419 sq/ft	
Parking spaces (9'X20')			
* building coverage on Cactus is a projection of all of the covered areas of the site, including projecting decks onto the ground level.	Exempt	8	8
<u>Development standards:</u>			
Building heights	39 feet front, 35 feet rear	33 feet front, 35 feet rear	Height as measured from highest point on the parcel, adjacent to building
Setbacks:	none	10' front, 15' rear (alley center), side 0'	
Parking encroachment:	none	5' into front setback	
Overhang information:	4' front 3' rear, beyond P/L	5' front 5' rear, into setbacks	
Parking provided:	exempt	8 spaces	
Number of stories:	3 stories	(3) 2 stories over parking	
Screening:	N/A	parking area fully enclosed	

Proposed Streetscape/Open Space/Land for Public Purpose

Existing landscaping on Main Street is essentially composed of Rayber Ash street trees. Some buildings have entry courts landscaped with a variety of plant and furniture choices. Our landscaping on Main Street will follow the pattern set by the already existing efforts. On Cactus, we will continue the Main Street approach but expand both the area of landscaping and the palette of materials. Please see Exhibit 6, Landscaping Schematic. Open space is not required for the Main Street parcel; the Cactus Street parcel contains approximately 5.57% open space.

Conceptual Architectural Theme, Colors, Materials

The project will have similar architecture and obvious design continuity in keeping with the existing historical development on Main Street—the architectural theme effectively is “New Old Town.” The building exteriors will primarily have a stucco finish with brick enhancements on the front and rear façade. The buildings will have metal railings and decks, and old fashioned corrugated roof porch/patio covers. The façade is in scale with neighboring buildings, similar in character but more modern in design. The color of the stucco and trim will coordinate with the color of the brick (Acme Brick, Highland Grey). Please see Exhibit 5, Exterior Building Materials and Colors. We intend to use remnant and historic construction materials salvaged from the Main Street parcel for interior design accents in both buildings.

Conceptual Landscaping Plan

Existing landscaping on Main Street is essentially composed of Rayber Ash street trees. Some buildings have entry courts landscaped with a variety of plant and furniture choices. Our landscaping on Main Street will follow the pattern set by the already existing efforts. On Cactus, we will continue the Main Street approach but expand both the area of landscaping and the palette of materials. Please see Exhibit 6, Landscaping Schematic. The project offers small pedestrian landscaped areas (courtyards), on grade in front of the buildings, which will provide visual continuity to the overhanging porch areas.

Preliminary Master Circulation Plan

The project is adjacent to two existing streets—Main Street and Cactus Street. The project’s impact on these streets is negligible. The project will contribute significantly to the improvement of the alley that runs through the center of the project.

Utilities

All necessary utilities are available to the site, and preliminary master water, sewer, and drainage reports are not necessary for the project, given its location in Old Town.

1c. Project Objectives

The manner in which the proposed MDP meets or exceeds the intent of the PAD District:

The PAD zoning district is intended to provide an alternative to the conventional zoning and development processes to accomplish, among other things:

- assurance of superior design;
- economical, innovative, and efficient land use, with emphasis on utilizing existing infrastructure, improving amenities, with appropriate and harmonious variety, creative design, and sensitivity to the surrounding land uses;
- encouragement of a more creative approach to land utilization by creating efficient, aesthetic, and desirable developments, which may be characterized by incorporating special features of a particular property into its site planning; and
- promotion of a unique yet compatible development that is in harmony with the surrounding land uses and the goals of the General Plan.

The project easily accomplishes these goals. The project's architecture and design continuity in keeping with existing historical development creatively honors the Old Town character and expands the urban flavor and tone of Main Street on to Cactus. As mentioned above, property owners contemplating redevelopment or infill development in Old Town face substantial challenges resulting from the existing C-1 zoning requirements as they apply to very small parcel sizes. The combination of required C-1 setbacks, open space, parking, floor limitations, and landscaping currently make it very difficult, if not impossible, to cost-effectively build a project that we feel would add significant value to the City, its residents, and its visitors.

The proposed overall design rationale, as well as architectural and site design concepts, including style, colors, type of materials, and rationale for placement of structures to maximize views and take advantage of the natural characteristics of the PAD site.

The project will have similar architecture and obvious design continuity in keeping with the existing historical development on Main Street—the architectural theme effectively is “New Old Town.” The building exteriors will primarily have a stucco finish with brick enhancements on the front façade. The buildings will have metal railings and decks, and old fashioned corrugated roof porch/patio covers. The façade is in scale with neighboring buildings, similar in character but more modern in design. The color of the stucco and trim will coordinate with the color of the brick (Acme Brick, Highland Grey). Please see Exhibit 5, Exterior Building Materials and Colors.

Specific concepts by which the proposed MDP will make an orderly transition from existing or planned adjacent development including varied setbacks and façade treatment, open space elements, screening of parking areas, and landscaping of the public or private open spaces and recreational facilities.

On Main Street, the proposed building will fill the gap in the streetscape with a building that, while new, still harkens back to and has the feel of the balance of Main Street. The stepped third floor allows for additional residential units while providing both visual interest and a departure from the flat façades characterizing much of the older development. The small overhanging decks will bring a human presence to the street with a different kind of open space.

Similarly, on Cactus Street, while the northerly adjacent property is vacant, the southern neighbor will be developed as a hotel similar in scale to the LeMain residential building. Again, we intend that the courtyards and patios will be clear hallmarks of the building's residential character and human-scaled elements.

[A discussion of visual, traffic, or drainage impacts and compatibility with surrounding land uses and consistency with the General Plan.](#)

The traffic and drainage impacts of the proposed development will be nominal to non-existent. Drainage improvements will meet the City's requirements. The alley's usefulness and visual appeal will be enhanced by the paving and drainage improvements, as well as the landscaping. The project is both consistent with the General Plan, as described in Section 2, below, and compatible with surrounding uses in Old Town.

[Provide analysis of proposed residential density, mixed use issues, neighborhood quality, and other qualitative issues. Include a comparison of the existing zoning regulations in relation to the proposed standards for the PAD, including density, setbacks, and permitted uses.](#)

While there are a number of de-facto residential opportunities on Main Street, the Master Developer will be the first to provide an actual ownership opportunity for residents in the heart of Old Town. There are several current examples of very successful mixed-use projects in Cottonwood, notably Jerona on Mingus and Gateway Green on Main.

It is difficult to compare the project to the existing zoning regulations. We have noted the proposed design standards in Table 1. The City's current C-1 zoning standards were created to deal with much larger properties than the small parcels on Cactus Street. The setback requirements and parking requirements for these more standard parcels are just unworkable on lots of this size. As a result, this PAD requests a set of development standards that are compatible with lots of this size. Currently, there are a number of C-1 zoned parcels on Cactus and First Streets that face this same dilemma. It is our hope that, in addition to enabling a quality project to be placed on the parcels, the project also serves as a practical example of how the small C-1 parcels may be developed.

2. GENERAL PLAN REVIEW

- (1) Provide a statement indicating how the proposed development conforms to the Land Use Category or Categories indicated on the General Plan Land Use Map. Also provide a review of how the proposed development conforms to the narrative text and Local Strategies indicated in the applicable Land Use Planning Area for the proposed development. Indicate and discuss any Special Study Areas or other unique features within the applicable Plan Area Map.

The project conforms to the goals and objectives of Cottonwood General Plan 2025 (“General Plan”). The project is designated on the Land Use Map as General Commercial, and is located within Planning Sub-Area 2—Old Town & Parks—as described in the Land Use Element of the General Plan. The General Plan recognizes that Old Town is a community-wide asset and a matter of pride, and, among other things, calls for:

- The support of a well-balanced mix of residential, specialty retail, office, commercial, entertainment, cultural and civic uses as part of Old Town;
- The support of additional multi-unit residential units and mixed use development in appropriate locations within walking distance to the Old Town commercial and civic areas;
- Ensuring new construction in the historic areas is designed to be compatible with the existing architectural and historic context.

The project meets these objectives. The presence of high-quality mixed-use housing and commercial space, implemented with a new vision for developing the small commercial lot on Cactus Street, is positive for the community and provides an example to others seeking to achieve the General Plan’s goals and objectives for Area 2.

- (2) Provide a statement indicating how the proposed PAD meets the intent of the General Plan goals, objectives and policies for each of the General Plan elements, including Community Vision, Housing, Economic Development, Circulation, Open Space, Growth Area, Environmental Planning and Water Resources.

Community Vision—the project embodies the “respecting the past, focused on the future” theme of the Community Vision Element of the General Plan. The project’s architecture and design continuity in keeping with existing historical development honors small town character and respect for heritage and culture, two of the Guiding Principles of the Community Vision, and the project will contribute to the continued vibrancy of Old Town.

Housing—the project meets several objectives of the Housing Element. First, the Housing Element supports expanded home ownership opportunities, as Cottonwood is well below the national owner-occupied housing rates. The project will provide nine (9) additional for sale residential units within the City, contributing to the achievement of home ownership. In addition, the Housing Element encourages compact, mixed-use developments as an

innovative and forward-thinking approach to ensure there are adequate housing opportunities for an increasingly diverse population. The General Plan observes that “Cottonwood has a well-established tradition of allowing residential units within commercial districts and in association with non-residential uses. This traditional arrangement where residences were located above or behind ground floor shops and offices is understood as contributing to a lively and active city.”

Economic Development—while the goals of the Economic Development Element are largely intended to be implemented by the City, the project will assist Cottonwood in achieving its goals related to Old Town (Focus Area #4). Specifically, the project will contribute to the ongoing “efforts to develop the historic downtown area as a major, **mixed-use activity center** that includes **a variety of housing choices** and **retail**, restaurants, galleries, wine-related uses, office, government, arts and culture, entertainment, and other services.”

Circulation—the project is adjacent to two existing streets—Main Street and Cactus Street. The project’s impact on these streets is negligible. However, the project will contribute to the achievement of the Circulation Element’s Goal 4-8 by improving the visual aesthetic along Main Street adjacent to the project with new street trees to provide shade and character. In addition, the project will contribute significantly to the improvement of the alley that runs through the center of the project. The Circulation Element notes that alleys are a valuable part of the circulation system and a valued feature in certain areas of Cottonwood.

Open Space—the goals of the Open Space Element are inapplicable to the project, given its location in Old Town and the absence of natural areas and features on the property.

Growth Area—the goals of the Growth Area Element are inapplicable to the project, given its location in Old Town (not a designated growth area). The purpose of the Growth Area Element is:

to identify those areas most suitable for efficient, cost-effective mixed-use type of development where infrastructure, including streets, utilities and public services, is existing in relatively close proximity and where development can be accomplished in a manner that supports positive neighborhood qualities.

The General Plan notes that PAD zoning is most likely the appropriate zoning designation in a growth area. While Old Town is not designated in the General Plan as a growth area (likely because growth that occurs will be infill or redevelopment, as opposed to new development), redevelopment in Old Town, such as the project, also meets the stated purpose of the Growth Area Element.

Environmental Planning—the developer supports the goals of the Environmental Planning Element, and the project is one that is encouraged by this Element: focused infill development in proximity to existing infrastructure and transportation systems.

Water Resources—the project will meet the Water Resources goal of installing drought-tolerant landscaping in new developments, and will comply with the applicable provisions of the Cottonwood Plumbing Code.

3. PROPERTY DEVELOPMENT STANDARDS

Flexibility with development standards may be considered where superior design quality is provided resulting in a more innovative, creative project. Provide a detailed summary of proposed development standards for the project, including the following:

Minimum lot sizes, building setbacks, minimum yard standards, maximum height, maximum lot coverage and similar standards, as applicable:

Please see Table 1 (page 5). In summary, for the Main Street parcel, we request the ability to locate a three-story building on the parcel (rather than the current limit of two and one-half story building). For the Cactus Street parcel, we request changes to the setback requirements: no side yard setback and ten foot (10') front and rear setbacks (with rear setback measured from the center of the Alley).

Describe proposed standards for parking, lighting, signage, and landscaping:

Parking—The proposed Main Street building is located within the Cottonwood Historic District and is exempt from all parking requirements. The Cactus Street building will provide a total of eight parking spots that will be assigned to the residences within the project (including those in the Main Street building). One of the residential units will be sold specifically excluding a guaranteed parking space because it is physically impossible to provide additional on-site parking. However, the Cactus Street building has fifty feet (50') of frontage on Cactus Street, providing the opportunity for one or two on-street parking spaces.

Lighting—Exterior lighting will meet all Dark Sky and lighting code requirements. All outdoor lighting fixtures will be recessed beneath the overhanging decks and/or covered building areas. There will be no wall-mounted exterior lighting. All recessed lights are full cut off. The City will determine any necessary lighting for the alley as part of its design of the alley improvements.

Signage—Signage for the project is depicted on the attached Exhibit 8, Building Schematics and Floor Plans. Signs are not illuminated. Additional signage for the commercial space on Main Street will require a separate submission when a tenant is in place.

Landscaping—Existing landscaping on Main Street is essentially composed of Rayber Ash street trees. Some buildings have entry courts landscaped with a variety of plant and furniture choices. Our landscaping on Main Street will follow the pattern set by the already existing efforts. On Cactus, we will continue the Main Street approach but expand both the area of landscaping and the palette of materials. Please see Exhibit 6, Landscaping Schematics.

4. DESIGN GUIDELINES

The design guidelines section of the MDP shall describe both the overall development theme and specific design details for buildings and structures, site walls, signage, lighting, landscape features, paving, and similar project elements. It is the intent of the PAD standards that each project will be developed with an integrated design theme that defines the character of the development. The applicant shall develop and provide proposed design guidelines for the project to include the following:

4a. General Guidelines

Architectural Theme—The project will have similar architecture and obvious design continuity in keeping with the existing historical development on Main Street—the architectural theme effectively is “New Old Town.” The building exteriors will primarily have a stucco finish with brick enhancements on the front façade. The buildings will have metal railings and decks, and old fashioned corrugated roof patio covers. The façade is in scale with neighboring buildings, similar in character but more modern in design. The color of the stucco and trim will coordinate with the color of the brick (Acme Brick, Highland Grey). Please see Exhibit 5, Exterior Building Materials and Colors.

Design Details—Design details for the project are included in Exhibit 4 (Conceptual Development Site Plan), Exhibit 5 (Exterior Building Materials and Colors), and Exhibit 6 (Landscaping Schematic), as well as in the project narrative, above.

Variety of Housing Types—Does not apply to the project—only applicable to large-scale residential development.

Garage Door/Carport Openings—A standard garage door, in keeping with the design and colors of the project, will close both the front and rear vehicle access to the parking garage on Cactus Street.

4b. Site Features

Project Entry Features—The project offers small pedestrian landscaped areas (courtyards), on grade in front of the buildings, which will provide visual continuity to the overhanging porch areas. We intend that the courtyards and open patio/deck areas clearly identify the buildings as residential and offer both human scale and activity as visible elements of the project.

Perimeter Site Walls—The project does not include perimeter site walls, due to its location in Old Town.

Outdoor Lighting—Exterior lighting will meet all Dark Sky and lighting code requirements. All outdoor lighting fixtures will be recessed beneath the overhanging decks and/or covered building areas. There will be no wall-mounted exterior lighting. All recessed lights are full cut off. The City will determine any necessary lighting for the alley as part of its design of the alley improvements.

4c. Building Design

The building exteriors will primarily have a stucco finish with brick enhancements on the front and rear façade. The buildings will have metal railings and decks, and old fashioned corrugated roof patio covers. The façade is in scale with neighboring buildings, similar in character but more modern in design. The color of the stucco and trim will coordinate with the color of the brick (Acme Brick, Highland Grey). Please see Exhibit 5, Exterior Building Materials and Colors.

4d. Streetscape Design

The project does not include any new streets; however, our landscaping on Main Street will follow the pattern set by the already existing efforts. On Cactus, we will continue the Main Street approach but expand both the area of landscaping and the palette of materials.

4e. Neighborhood Design

The project does not create a new neighborhood, but it is compatible with its neighbors on Main Street and Cactus Street.

5. CIRCULATION STANDARDS

The project will use the City's existing circulation pattern. The project is adjacent to two existing streets—Main Street and Cactus Street. The project's impact on these streets is negligible, and City staff determined that a Traffic Impact Study was not warranted. The project will contribute significantly to the improvement of the alley that runs through the center of the project. Improvements will include improved drainage, clearly marked pedestrian crossings, and landscaping between the project's buildings.

6. OPEN SPACE STANDARDS

Given the project's location in Old Town, the absence of natural areas and features on the property, and the small lot size, there are few opportunities for meaningful open space. However, all of the residential units will have open outdoor patio areas visible from the street, with additional portions of the patio areas recessed into the residential units. Open space is not required for the Main Street parcel. For the Cactus Street parcel, approximately 5.57% of the parcel will be devoted to open space, which will consist of a landscaped area between the sidewalk and curb and an entrance courtyard with landscaping and an outdoor seating area.

7. LANDSCAPE STANDARDS

Proposed landscape standards shall be in compliance with [Section 407, Landscaping Requirements](#), of this ordinance. Any variation proposed for the PAD must clearly indicate an improvement to the adopted standards.

The project will be in compliance with the applicable provisions of Section 407, Landscaping Requirements, including use of groundcover (Myoporum Parvifolium). Both buildings will feature developed courtyards as entrances to the buildings. The areas will be paved with brick pavers and use plantings, benches, and tables to encourage pedestrian use. The plantings, as shown on the included landscape plans, will contain materials already present in the Old Town Area and that are on the City’s plant list.

Provide a master plant list for the development indicating trees, shrubs, groundcovers and other plants. Indicate proposed varieties for street trees and parking lot trees.

Master Plant List

(all included in City of Cottonwood Plant List)

Fraxinus ‘Rabyeri’	Rayber Ash	#15 can	5
Chilopsis Linearis	Desert Willow	#15 can	5
Arctostaphylos Manzanita	Manzanita	#5 can	10
Myoporum Parvifolium	Myoporum	#1 can	34

Describe techniques to ensure low water use landscaping will be provided, including xeriscape landscape treatment, greywater use and rainwater harvesting methods.

The master plant list is comprised entirely of low water use landscaping. The CC&Rs for the property will require continued installation and maintenance of low water use landscaping.

In addition to a master landscape plan for the development, provide graphic details for typical landscape installations, including development entry features, parks or common areas, building landscaping, parking lots, pedestrian walkways, typical streetscape and similar applications.

Please see Exhibit 6 (Landscaping Schematics) for graphic details.

8. STATEMENT OF WATER USE

For development that proposes to exceed the number of dwelling units allowed by the existing zoning classification, provide a statement comparing a likely range of water use for the proposed development in comparison to development under the current zoning. Contact the City of Cottonwood Utilities Department to obtain current data regarding average household water use for Cottonwood.

This requirement does not apply to the project.

9. WATER CONSERVATION PROGRAM

The project is located in Old Town, and is not of a scale to utilize dual plumbing systems. The project will otherwise comply with applicable provisions of the City of Cottonwood Plumbing Code.

10. PHASING PLAN

Although we intend to construct the Main Street building first, we will submit construction documents for the entire project, in order to address project-wide elements, such as potential retention areas. Reconstruction of the alley will occur last (and in conjunction with the City and neighboring property owner). If the Cactus Street parcel is disturbed prior to construction of the building on this parcel, we will install and maintain dust free surfacing.

11. OPERATIONS AND MAINTENANCE RESPONSIBILITIES

The developer will establish a property owners' association, which will maintain the common area elements of the project.

Development of the project shall conform to all conditions and standards of this PAD approval. This PAD applies to the subject property and change in ownership or successors in interest does not constitute a change in agreed upon standards and requirements. Section 404 General Provisions of the City of Cottonwood Zoning Ordinance shall apply for any general development standards not specifically a part of the PAD approval.

12. CITIZEN REVIEW AND PARTICIPATION

12a. Neighborhood Meeting Summary

The City of Cottonwood issued "Public Notice Regarding Neighborhood Meeting" on March 11, 2016 to all property owners within a 300 foot radius around the two (2) parcels subject to the proposed Planned Area Development (PAD) request. The meeting was held on March 31, 2016 for one hour starting at 5:30 pm in the Cottonwood Room at the Cottonwood Recreation Center located at 150 South Sixth Street. An attendee sign-in sheet was located prominently on a table as neighbors entered the meeting room and we believe everyone in attendance signed the sheet.

The developers/owners of the parcels were all on-site and in attendance at the meeting, and available to anyone who had questions, comments, or concerns about the project. Comment cards were available at all three tables that had each been set up with 24X36 copies of the full, multi-page site plans that all attendees could review. Only one comment card was completed and turned in. Full color, 24X36 conceptual renderings of both the Main Street and Cactus Street proposed buildings were displayed on easels. A repeating PowerPoint slide presentation was projected on a large screen during the course of the meeting.

12b. Feedback Summary

Overall feedback was very positive. Most attendees liked that the vacant parcels would finally be developed which would have a very positive impact on Old Town Cottonwood, including providing encouragement to future developers in the area. A few comments were made regarding the height of the building compared to neighboring buildings, but all understood that both buildings are within the 35 foot height restriction currently in place in the area. (LeMain has taken subsequent steps to alter the third floor by setting back the face of the building 12 feet on the third floor from the first/second floors, which provides an apparent height more consistent with existing Main Street buildings when viewed from street level.)

As noted, comment cards were provided but only one card was completed and turned in. The card was not signed, but we believe the card was submitted by one of the merchants along Main Street. The card read, "Our main concern has to do with parking for the retail space – if it's just retail, it won't be a problem, but another restaurant could be difficult." During discussions, this merchant noted that they are aware that parking does not have to be provided by Main Street owners/merchants, but just that they also have issues with parking for their Main Street business during peak times.

Other feedback received included discussion from Glenda Farley regarding the water drainage during storms and how a large rain causes water damage to businesses along the alley and adjacent streets. Glenda felt that the whole alley should be re-engineered to address the issue. Incidentally, a related meeting was subsequently held between various Cottonwood City staff, Eric Jurisin (owner of the Tavern Hotel who is planning to expand along Cactus Street up to the LeMain property line on Cactus), and John Haupt (owner of LeMain) to discuss paving the alley between Main Street and Cactus Street from the city parking lot to West Pinal Street; see separate Alley Meeting notes, below.

One of the owners on Cactus, Paul Cate, who is an architect, felt the project was completely wrong for Old Town Cottonwood and stated that he could provide plans more fitting to the area but they may not be financially feasible. While the Historical Preservation Commission members provided feedback that they did not want a new building to look like all the other old buildings in Old Town and very much liked the concept renderings, Paul felt any new buildings should look very similar to all the existing old buildings in Old Town to preserve the older look and feel that currently exists.

12c. List of Meeting Invitees & Who Attended

Public Notices were sent to 36 parcel owners. The meeting sign-in sheet listed 15 attendees in addition to the developer/owners. The table beginning on the next page is a listing of the parcel owners who were sent a public notice as well the names of all attendees.

Table 2

Parcel #	Cottonwood Address	Last Name	First Name	Attendee Name
406-22-049	902 North Cactus	Gutierrez	Ciro Escamilla	
406-22-050A	908 North Cactus	Childers	Rita Lynn	
406-22-024	909 North Cactus	Jurisin	Eric/Michelle	Eric Jurisin
406-22-023	911 North Cactus	Jurisin	Eric/Michelle	Eric Jurisin
406-22-052	916 North Cactus	Alvarez	Joseph	
406-22-022	919 North Cactus	Jurisin	Eric/Michelle	Eric Jurisin
406-22-053	920 North Cactus	No Info	No Info	
406-22-020	925 North Cactus	Haupt	John/Michelle	John/Val Haupt & Michelle Haupt
406-22-021	925 North Cactus	Haupt	John/Michelle	
406-22-054	928 North Cactus	Wagner	Nathan	
406-22-019	929 North Cactus	Leff	Karen	
406-22-044	1007 North Cactus	Sani	Hamid	
406-22-057B	1010 North Cactus	Bartosh	Doug & Diana	
406-22-043	1011 North Cactus	Nolan	Tonya	
406-22-042	1015 North Cactus	Trust Cate		Paul Cate
406-22-057A	1016 North Cactus	Wistuck	Kenneth	
406-22-041A	1017 North Cactus	Trust Cate		Paul Cate
406-22-072	1002 North Catclaw	Livingston	John	
406-22-073	1006 North Catclaw	Phillips	Bonnie	
406-22-074	1010 North Catclaw	Phillips	Bonnie	
406-22-075	1014 North Catclaw	Phillips	Bonnie	
406-22-064	N/A - North Creosote	Chavez	Rose	
406-22-065	N/A - North Creosote	Arey	Peter	
406-22-066	N/A - North Creosote	Trust Garrison		
406-22-067	N/A - North Creosote	Arey	Peter	
406-22-068	N/A - North Creosote	Trust Garrison		
406-22-068A	N/A - North Creosote	City of Cottonwood		
406-22-069	N/A - North Creosote	Trust Garrison		
406-22-070	N/A - North Creosote	City of Cottonwood		
406-34-045	902 North First	Livingston	John	
406-34-046	906 North First	Luttrell	Curtis	
406-34-047	910 North First	Trust Green		

406-34-048	914 North First	Molina	Larry & Victoria	
406-34-036A	903 North Main	Addis	Lee & Mary	
406-22-025	904 North Main	Jurisin	Eric/Michelle	Eric Jurisin
406-34-038	907 North Main	Coleman	Larry & Teri	
406-34-039	909 North Main	Trust Chapman		
406-34-040	913 North Main	Trust Robson		
406-22-013	914 North Main	Jurisin	Eric/Michelle	Eric Jurisin
406-34-041	917 North Main	Jurisin	Eric/Michelle	Eric Jurisin
406-22-014	918 North Main	Portnoy	Andrea/Michael	Michael Warren/Naomi McKeever
406-22-015	920 North Main	Haupt	John/Michelle	John/Val Haupt & Michelle Haupt
406-34-042	921 North Main	Coombs	Virgil & Jacqueline	Jacque/Virgil Coombs
406-22-016	924 North Main	Scharfencamp p	Michael & Judy	Judy Scharfencamp
406-34-043	925 North Main	Jurisin	Eric/Michelle	Eric Jurisin
406-22-017	928 North Main	Leff	Karen	
406-34-044	929 North Main	Woods	Katherine	Kate Woods
406-22-018	930 North Main	Leff	Karen	
406-34-097	1001 North Main	Cord	Douglas &	
406-22-026	1002 North Main	Kilpatrick	Michael	
406-22-027	1004 North Main	Trust Linder		Glenda Farley
406-34-098	1005 North Main	Ledbetter	James	
406-22-028	1008 North Main	Anderson	Charles	
406-22-029	1010 North Main	Pender	Tom	
406-22-030	1014 North Main	Lozano	Lupe	
406-22-031	1016 North Main	Jauregui	Ruben/Veronica	
406-34-001	1017 North Main	Lyman	Holly	
406-22-032	1018 North Main	Trust Hansohn		
406-34-002	1019 North Main	Trust Van Wert		
406-22-033	1020 North Main	Moss	Ranney	
406-22-033	1020 North Main	Childress	David	
406-22-033	1020 North Main	Bolm	Jennifer	
406-32-023	770 North Verde Heights Dr	Stubner	Carl	
406-32-056	770 North Verde Heights Dr	Stubner	Carl	
406-34-049	N/A	CV - Qwest Corp		

406-34-050	N/A	CV - Qwest Corp		
406-34-051	N/A	CV - Qwest Corp		
406-22-046A	14 West Pinal	Mitchell	Janet Lee	
406-22-055	101 West Pinal	Frazier	Daniel &	
406-22-056	102 West Pinal	Livingston	John	
406-22-070A	113 West Pinal	Trust Lutken		
406-22-071	113 West Pinal	Trust Lutken		
406-32-054	75 West Pima	Jurisin	Eric/Michelle	Eric Jurisin
	ATTENDEES NOT ON PUBLIC NOTICE DISTRIBUTION:			
	747 North Main	Manheim Gallery		Patt Manheim
	City of Cottonwood			Casey Rooney
	Verde Independent			Jon Hutchinson
	N/A			Laura Jones
	1040 North Main	Burning Tree Cellars		Mitch Levy
	Cashmere Properties			Randy Garrison

12d. Alley Meeting

On approximately May 19, 2016, Steve Biasini and John Haupt met with Eric Juerson, hotel project owner, Morgan Scott, City engineer, and Doug Bartosh, City manager, to discuss the alley improvement project. We determined that the alley improvement project would be designed by the city of Cottonwood and built by the contractor the City selects. The cost of the alley project will be split as follows: (1) the City will pay all of the design and engineering costs; and (2). the construction costs will be split equally between LeMain Development and the legal entity that Mr. Jurisin uses for his construction operation. The City is in the process of preparing a joint agreement reflecting this arrangement. It is the intention of the Master Developer to cooperate in the alley improvement once a joint agreement is finalized.

12e. Code Review Board Meetings

Two Code Review Board meetings were conducted for the project. The first meeting occurred on July 23, 2015, and the second meeting occurred on November 17, 2015. Letters summarizing the two meetings are attached on the following pages.



VIA EMAIL

July 23, 2015

Steve Biasini
735 S. 3rd Street
Williams, AZ 86046

Re: CRB # 15-018 La Main 919

Dear Mr. Biasini,

Thank you for attending the July 21st Code Review Meeting, we look forward to working with you on this project. This project is required to go to the Planning and Zoning Commission for Design Review approval, and a Conditional Use Permit to exceed the 35', 2 ½ story building height limit. It will also be presented to the Historic Preservation Commission prior to Planning & Zoning.

Below is a process summary and comments regarding this project.

- 1) **P&Z Hearing regarding Design Review and Conditional Use Permit submittal.** A hearing application is required (submitted following Code Review), with a fee for Design Review of \$250, and \$350 for a Conditional Use Permit. The Planning & Zoning Commission meets at 6 PM on the third Monday of each month, except during holiday months. After you submit your hearing application with all required documents you will be scheduled to attend a P&Z meeting. You must have a representative who is familiar with all aspects of this project attend this meeting.

Please review the Cottonwood Zoning Ordinance procedural codes for Design Review (Article III, Sec. 304) and Conditional Use Permits (Article III, Sec. 302). Other design related codes pertaining to signs, parking, landscaping, and lighting are found under Sections 405-408. The zoning ordinance is on-line at <http://cottonwoodaz.gov>.

- 2) **Site Improvement Permits:** Grading and Building Permits may not be issued nor any site work commenced until after Planning & Zoning approval.
- 3) **Certificate of Occupancy:** Issuance of a Certificate of Occupancy is required prior to use of this building. All requirements stipulated as part of the Code Review and Planning & Zoning process must be addressed before the Certificate of Occupancy will be issued.

DEPARTMENT COMMENTS REGARDING SUBMITTAL

Planning – Scott Ellis, sellis@cottonwoodaz.gov (928) 634-5505 x3321

1. **Site Plan:** A site plan is required that shows the current layout of the property, including all structures, parking, landscaping (proposed and existing), lighting, signs, screening from adjacent properties, and any proposed changes to the site.
2. **Landscaping:** Landscaping is not required, however, please submit a detailed landscaping plan for any intended landscaping to be done.
3. **Lighting:** Any exterior lighting shall meet the provisions of the State's Dark Sky Laws as well as the City's Lighting Code. Full, cut-off style shielding is required. Please submit a lighting plan with cut sheets on all lighting fixture types and lumen calculation.
4. **Screening/Storage:** All outdoor storage is required to be screened. Method of screening is subject to Design Review approval.
5. **Signs:** A sign plan for Design Review must be submitted if signs will be installed. Signs with more than one letter color or more than one background color may be referred to P&Z (per code). Dark or opaque backgrounds are required on all internally illuminated signs. Monuments are required for free-standing signs. Five (5) foot setback required from property boundaries and rights-of-way (Sec. 405.E.1). A permit is required for signs.
6. **Trash:** Any dumpsters must be screened with gated enclosure. Indicate if dumpsters will be used or if individual trash barrels will be used.
7. Show surrounding properties-neighboring buildings on site plan and elevations. Show a block-length elevation of all buildings.
8. Parking is not required, however, there are concerns regarding the proposed parking and safely being able to pull in/out of the alley from parking stalls. If parking is developed, consider reserving parking for tenants only.
9. Architectural design of the building should incorporate the historic nature of Old Town (i.e. recessed storefronts, number of windows, etc.). This area is in a National Historic District.
10. Setbacks are not required.

Engineering / Public Works – Martin Smith, msmith@cottonwoodaz.gov 634-8033

1. The second floor deck along the front of the building extends into the City right-of-way. This will require a special permit and City Council approval.
2. The second floor deck along the rear of the building extends into the alley. This will require a special permit and City Council approval.
3. It is not clear how the roof drainage is being addressed. Where is this storm water being deposited?
4. What are the plans to develop the parking area (parcels 406-22-020 and 406-22-021)? The architectural plans show provisions for 5 parking spaces. Will this be enough to accommodate four apartments and the employees of the business? What is to be done with the remainder of this property?
5. As part of this development the City will require the developer to remove and replace the concrete sidewalk in front of the subject property.
6. The architectural plans for this development show partial paving of the alley behind the development. The City will require the developer to pave an additional fifty-two (52) feet to the south to match the existing asphalt behind the Tavern Restaurant as well as forty-eight (48) feet to the north to match the existing concrete alley entrance. This work shall be reviewed and inspected by City staff and installed per MAG and local standards.
7. Any work within the City right-of-way will require a right-of-way permit.

Utilities – Mike Traynor, mtraynor@cottonwoodaz.gov (928) 634-0186

1. Please contact for comments and to coordinate upgrading underground water/sewer lines before any work is done in the alley.

Fire Department- Rick Contreras, rcontreras@cottonwoodaz.gov (928) 634-2741

All plans and designs shall fully comply with the 2009 International Fire code, 2009 International Building code, City of Cottonwood Ordinance and per the Cottonwood Fire Departments Conditions.

1. Fire sprinklers shall be installed throughout the building per NFPA 13 and all local regulations. The system shall be designed to meet the Hazard Class.
2. Fire Sprinkler System Final, NFPA Underground and Aboveground Certificates required.

3. The FDC shall be located in a remote location or shall be located on the wall of the address side or natural approach of the building that it serves and shall identify the building{s} served with permanent retro reflective signage. The FDC shall not exceed 4' in height. The installation of locking Knox Caps shall be connected to the FDC. Contact the Cottonwood Fire Marshal for direct placement.
4. Sectional control valves, and all valves controlling water supply, shall be indicating type valves listed for the use with fire sprinkler systems. When supplying more than 100 sprinkler heads, these valves shall be **monitored** with an electric tamper switch per NFPA 72.
5. Fire Sprinkler Riser rooms/area shall have an 8"x12" Red retro reflective signage with white lettering in 1" stroke stating "Fire Riser" on the doors exterior. The same type of signage is required for Fire Alarm Panels stating "FACP"
6. Inspector's tests valves shall be located in conspicuous readily accessible locations and plumbed to the buildings exterior. A sprinkler orifice of the same size as the sprinkler head used in the building shall be installed in the test pipe outlet.
7. Sprinkler piping in unheated areas shall be protected with approved freeze protection such as batted insulation {tented}, dry sprinkler heads. Contact the Cottonwood Fire Departments Fire Marshal for approved freeze protection methods.
8. The Fire Marshal or his representative shall inspect any/all fire protection system{s} components **prior to concealment**. This will also include the flushing of the fire line. Call 24 hours in advance to schedule all fire inspections @ {928} 634-2741 The following inspections are required for Fire Sprinklers:
 - Aboveground Rough-in & >200# test
 - Installation and testing of underground Fire lines
 - Freeze Protection/Insulation. *Provide insulation detail to general contractor or insulator*
 - Final system acceptance
9. Fire Extinguishers are required for this project. Contact the Cottonwood Fire Department for placement and type @ 928} 634-2741.
10. A Knox Box is required to be installed on this project. Verify the exact location with the Cottonwood Fire Marshal. Provide a copy of the door keys to the Cottonwood Fire Department.
11. All Fire lanes shall be shall be a minimum of 20' {if applicable in the alley} wide and have a vertical clearance of 13'6" and maintained within 150' of any part of the building. 12"x 8" Red retro reflective Fire Lane signs stating "No parking by order of the Fire Marshal" shall be posted.
12. Fire Hydrants must be available in accordance to fire code requirements. All existing Fire Hydrants shall be clear of all debris and materials at all times.

13. Address shall be posted plainly visible from the street frontage in not less than 10" tall numerals. Address shall be similarly posted on monument signage {if applicable}. Unit/Suite numbers shall be posted, plainly visible from driveways/walkways. Coordinate addressing with the Cottonwood Fire Department.

Fire Alarm Plan Comments

14. Fire Alarms shall be installed per NFPA 72 and all applicable codes and standards.
15. All Fire Alarm Plans shall be provided to the Cottonwood Fire Department for approval before the work to the Fire Alarm system starts. The Fire Alarm shall be tested by the Fire Marshal or his representative.
16. A Certification of Completion per NFPA72 shall be completed by the contractor and provided to the Cottonwood Fire Departments Fire Marshal after the testing and acceptance of the fire alarm system is completed.
17. Fire Alarm Panel location signage is required, verify the exact verbiage with the Cottonwood Fire Marshal {see item #5 for details and size}
18. If there are any questions please feel free to contact the Cottonwood Fire Department
19. **Final determinations, comments and approvals will be provided upon review of the final sets of plans submitted. No Certificate of Occupancy will be signed or issued by the Fire Marshal until all Fire Department conditions and requirements are fully met.**

Building Department- Steve Jackson, sjackson@cottonwoodaz.gov (928) 634-5505 x3317

1. We are on the 2009 IRC code.
2. Need complete plans; Plumbing, mechanical, and electrical.
3. Need light, ventilation, and heating calculations.
4. Would like to see the means of egress from all apartments and business.

Yavapai County Community Health Services – John Alden, john.alden@yavapai.us (928) 634-6893

If retail space sells or prepares any foods, Environmental Health will be a full set of plans (to include site plan, floor plan, equipment layout, plumbing schedule, electrical layout to include lighting, finish schedule for floors, wall, ceilings, HVAC to include exhaust ventilation and make-up air), completed plan review application, and appropriate fee for a plan review.

The apartments do not need Health Department review.

NOTE: All plan submittals shall be through the Community Development Department. Changes to project proposals following Design Review approval which have been incorporated into permit submittal must be highlighted in writing and attached to the building permit, or they will not be considered approved. All change orders which occur following issuance of a building permit must be approved by City Staff, or they will be cited as part of the final inspection and must be remedied before a Certificate of Occupancy will be issued.

Please call if you have any questions.

Sincerely,

Scott Ellis
Planner



VIA EMAIL

November 25, 2015

Steve Biasini
735 S. 3rd Street
Williams, AZ 86046

Re: CRB # 15-024 La Main 919

Dear Mr. Biasini,

Thank you for attending the November 17th Code Review Meeting, we look forward to working with you on this project. This project is required to go to the Planning and Zoning Commission for Design Review and rezoning approval, and City Council for rezoning approval. It will also be presented to the Historic Preservation Commission prior to Planning & Zoning.

Below is a process summary and comments regarding this project.

- 1) **P&Z & City Council Hearings regarding Design Review submittal, and Zone Change.** A hearing application is required (submitted following Code Review), with a fee for Design Review and Re-zoning. Fees for re-zoning are \$750 + \$35 per acre. Design Review fees are \$250. The Planning & Zoning Commission meets at 6 PM on the third Monday of each month, except during holiday months. After you submit your hearing application with all required documents you will be scheduled to attend a P&Z meeting. You must have a representative who is familiar with all aspects of this project attend this meeting.

If the Planning & Zoning Commission recommends approval for the rezone, it will then be presented to the City Council for final approval. This meeting will be scheduled after Planning & Zoning approval and will require two hearings.

Please review the Cottonwood Zoning Ordinance procedural codes for Design Review (Article III, Sec. 304) and Amendments or Zone Changes (Sec. 301). Other design related codes pertaining to signs, parking, landscaping, and lighting are found under Sections 405-408. The zoning ordinance is on-line at <http://cottonwoodaz.gov>.

- 2) **Site Improvement Permits:** Grading and Building Permits may not be issued nor any site work commenced until after Planning & Zoning approval.

- 3) **Certificate of Occupancy:** Issuance of a Certificate of Occupancy is required prior to use of this building. All requirements stipulated as part of the Code Review and Planning & Zoning process must be addressed before the Certificate of Occupancy will be issued.

DEPARTMENT COMMENTS REGARDING SUBMITTAL

Planning – Scott Ellis, sellis@cottonwoodaz.gov (928) 634-5505 x3321

- 1) **Zoning:** As discussed in code review, the applicant is proposing to rezone three parcels to PAD from the current C-1 zoning. Rezoning to PAD will require submittal of a Master Development Plan (MDP) as outlined in Section 424 of the Zoning Ordinance related to PAD zoning. All portions listed in Section 424 must be addressed in the MDP.
- 2) **Historic Preservation Commission:** This project will be presented to the Historic Preservation Commission for informational purposes only, before being presented to the Planning & Zoning Commission. The project can be scheduled for this meeting before a MDP is submitted. Please inform staff as to when you feel ready to attend this meeting. Only a site plan and color elevations will need to be provided for this meeting. The Historic Preservation Commission meets on the second Wednesday of the month at 6:00pm.
- 3) **Elevations:** The Design Review process requires submittal of colored architectural rendering, actual color samples, and material board. Please follow all submittal requirements found on the Design Review application.
- 4) **Site Plan:** A site plan is required that shows the current layout of the property, including all structures, parking, landscaping (proposed and existing), lighting, signs, screening from adjacent properties, and any proposed changes to the site.
- 5) **Landscaping:** Landscaping is not required, however, please submit a detailed landscaping plan for any intended landscaping to be done.
- 6) **Lighting:** Any exterior lighting shall meet the provisions of the State's Dark Sky Laws as well as the City's Lighting Code. Full, cut-off style shielding is required. Please submit a lighting plan with cut sheets on all lighting fixture types and lumen calculation.
- 7) **Screening/Storage:** All outdoor storage is required to be screened. Method of screening is subject to Design Review approval.
- 8) **Signs:** A sign plan for Design Review must be submitted if signs will be installed. Signs with more than one letter color or more than one background color may be referred to P&Z (per code). Dark or opaque backgrounds are required on all internally illuminated signs. Monuments are required for free-standing signs. Five (5) foot setback required

from property boundaries and rights-of-way (Sec. 405.E.1). A permit is required for signs.

- 9) **Trash:** Any dumpsters must be screened with gated enclosure. The site plan submitted shows a dumpster being accessed by trucks traveling north down the alley. Please verify that this is the direction other businesses use for trash pickup.
- 10) Show surrounding properties-neighboring buildings on site plan and elevations. Show a block-length elevation of all buildings.
- 11) **Parking:** Parking requirements will apply to the portion of the project that fronts Cactus Street. Based on the site plan presented, the current parking proposal does not meet requirements. Please discuss with Planning & Zoning staff to work out the parking issues.
- 12) Architectural design of the building should incorporate the historic nature of Old Town (i.e. recessed storefronts, number of windows, etc.). This area is in a National Historic District.

Engineering / Public Works – Robert Winiecke, rwiniecke@cottonwoodaz.gov (928) 634-8033

1. The second floor deck along the front of the building extends into the City right-of-way. This will require a special permit and City Council approval.
2. The second floor deck along the rear of the building extends into the alley. This will require a special permit and City Council approval.
3. It is not clear how the roof drainage is being addressed. Where is this storm water being deposited?
4. As part of this development the City will require the developer to remove and replace the concrete sidewalk in front of the subject property.
5. The architectural plans for this development show partial paving of the alley behind the development. The City will require the developer to pave an additional fifty-two (52) feet to the south to match the existing asphalt behind the Tavern Restaurant as well as forty-eight (48) feet to the north to match the existing concrete alley entrance. This work shall be reviewed and inspected by City staff and installed per MAG and local standards.
6. Any work within the City right-of-way will require a right-of-way permit.
7. Any asphalt installed that does not abut a hard surface (i.e. curb, building, etc.) shall have a thickened edge per MAG standard detail 201, Type B.
8. The plans show what appear to be brick pavers in the alley. The City will not allow brick pavers to be installed in the right-of-way as part of the new construction.

9. The current parking lot configuration does not provide sufficient backing and turning movements. The developer may want to consider utilizing a drive entrance onto Cactus Street with one-way traffic through the parking area and diagonal parking. This should also allow the ability to provide additional spaces.
10. The entrance to the parking area from the alley showed on the plans measures 12'. This is insufficient for 2-way traffic. The alley is also insufficient for two way traffic and an additional entrance or exit will be required.
11. A portion of this proposed development falls within Zone A of the floodplain. FEMA FIRM Map Panel Number 04025C1757H shows the southeast corner of parcel 406-22-015 being in the floodplain. The developer will have to comply with the requirements of Ordinance 615 and obtain a Floodplain Permit (see attached).
12. The proposed development across the 3 lots does not leave much room for open space and landscaping. The percentage of impervious surface may exceed that allowable by existing City Codes. Additionally, no provisions appear to be made for stormwater runoff. Ordinance 172 should be reviewed and drainage requirements shall be accommodated.
13. The lots on Cactus Street will need to be joined prior to the building permit being issued.
14. If an overhang is placed above the alley a sign will need to be installed per MUTCD standards stating the vertical clearance to the overhang. The overhang shall be a minimum 13'-6" vertical clearance.
15. The development will need to install one-way signage at both ends of the alley if access is taken from the alley. The Fire Department shall determine which direction traffic shall be limited to.

Utilities – Mike Traynor, mtraynor@cottonwoodaz.gov (928) 634-0186

1. Please contact for comments.

Fire Department- Rick Contreras, rcontreras@cottonwoodaz.gov (928) 634-2741

All plans and designs shall fully comply with the 2009 International Fire code, 2009 International Building code, City of Cottonwood Ordinance and per the Cottonwood Fire Departments Conditions.

1. Schedule a meeting with the Cottonwood Fire Marshal to review site design and construction requirements.

2. Fire sprinklers shall be installed throughout the building per NFPA 13 and all local regulations. The system shall be designed to meet the Hazard Class.
3. Fire Sprinkler System Final, NFPA Underground and Aboveground Certificates required.
4. The FDC shall be located in a remote location or shall be located on the wall of the address side or natural approach of the building that it serves and shall identify the building{s} served with permanent retro reflective signage. The FDC shall not exceed 4' in height. The installation of locking Knox Caps shall be connected to the FDC. Contact the Cottonwood Fire Marshal for direct placement.
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12. All Fire lanes shall be shall be a minimum of 20' {if applicable in the alley} wide and have a vertical clearance of 13'6" and maintained within 150' of any part of the building. 12"x 8" Red retro reflective Fire Lane signs stating "No parking by order of the Fire Marshal" shall be posted.
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Fire Alarm Plan Comments

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18. Fire Alarm Panel location signage is required, verify the exact verbiage with the Cottonwood Fire Marshal {see item #5 for details and size}
19. If there are any questions please feel free to contact the Cottonwood Fire Department
20. **Final determinations, comments and approvals will be provided upon review of the final sets of plans submitted. No Certificate of Occupancy will be signed or issued by the Fire Marshal until all Fire Department conditions and requirements are fully met.**

Building Department- Steve Jackson, sjackson@cottonwoodaz.gov (928) 634-5505 x3317

1. We are on the 2009 IRC code.
2. Need complete plans; Plumbing, mechanical, and electrical.
3. Need light, ventilation, and heating calculations.
4. Would like to see the means of egress from all apartments and business.

Yavapai County Community Health Services – John Alden, john.alden@yavapai.us (928) 634-6893

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The apartments do not need Health Department review.

NOTE: All plan submittals shall be through the Community Development Department. Changes to project proposals following Design Review approval which have been incorporated into permit submittal must be highlighted in writing and attached to the building permit, or they will not be considered approved. All change orders which occur following issuance of a building permit must be approved by City Staff, or they will be cited as part of the final inspection and must be remedied before a Certificate of Occupancy will be issued.

Please call if you have any questions.

Sincerely,

Scott Ellis
Planner

EXHIBIT 1

Exhibit 1
Vicinity Map

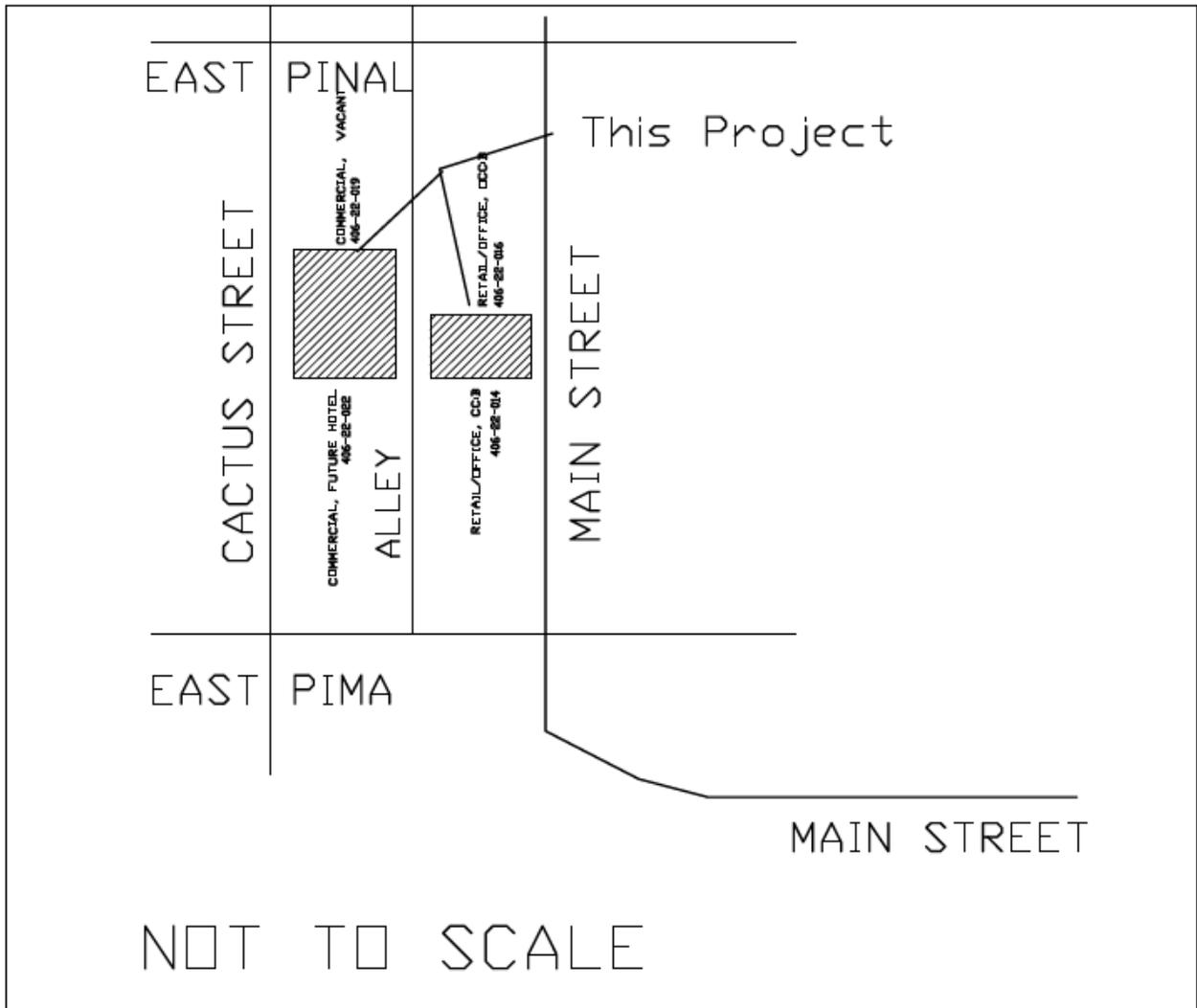


EXHIBIT 2



Google earth

© 2016 Google
© 2016 Europa Technologies

Imagery Date: 11/6/2015 34°44'50.06" N 112°01'38.87" W elev 3349 ft eye alt 3895 ft

1992

EXHIBIT 3



LE MAIN DEVELOPMENT P.A.D.
MAIN STREET - STREET VIEW
COTTONWOOD, ARIZONA 86326



LE MAIN DEVELOPMENT P.A.D.
MAIN STREET - ALLEY VIEW
COTTONWOOD, ARIZONA 86326



LE MAIN DEVELOPMENT P.A.D.
CACTUS STREET - STREET VIEW
COTTONWOOD, ARIZONA 86326



LE MAIN DEVELOPMENT P.A.D.
CACTUS STREET - ALLEY VIEW
COTTONWOOD, ARIZONA 86326

EXHIBIT 4

LE MAIN DEVELOPMENT PAD, MIXED USE, MAIN AND CACTUS

GENERAL CONTRACTORS NOTES & SPECIFICATIONS

GENERAL:

- ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, (CURRENT EDITION AT THE TIME IT WAS DRAFTED), AS LOCALLY AMENDED, AND ALL APPLICABLE CODES & ORDINANCES. IT IS THE RESPONSIBILITY OF THE PURCHASER AND/OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE AND FEDERAL).
- CONTRACTOR IS OBLIGATED TO OBTAIN A FULL AND CLEAR UNDERSTANDING OF THE PLANS, NOTES AND CONCEPTS CONTAINED HEREIN PRIOR TO THE START OF ANY WORK.
- AFTER THE SIGNING OF ANY WORK AGREEMENTS, THERE WILL BE NO CONSIDERATION GIVEN TO ANY CLAIM OF MISUNDERSTANDING OF THE DRAWINGS, DETAILS, CONCEPTS, ETC. AS THEY APPLY TO THE PLANS.
- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK.
- CONTRACTOR WILL INSURE THAT ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERTINENT GOVERNMENTAL CODES AND REQUIREMENTS.
- PRIOR TO STARTING ANY EXCAVATION, CONSTRUCTION AND/OR DEMOLITION WORK - THE CONTRACTOR SHALL WALK THE PROJECT SITE WITH THE OWNER TO VERIFY WHAT WORK WILL BE TAKING PLACE.
- CONTRACTOR IS OBLIGATED TO PERFORM ALL WORK IN A GOOD CRAFTSMANSHIP/WORKMANSHIP MANNER ACCORDING TO ALL MANUFACTURERS SPECIFICATIONS.
- THE DRAWINGS, INCLUDING ANY NOTES, SPECIFICATIONS, AND/OR REPORTS ARE TO BE INTERPRETED AS ONE DOCUMENT. HOWEVER, SHOULD ANY ITEM APPEAR IN ONLY ONE AND NOT THE OTHER, SUCH ITEMS ARE STILL TO BE CONSIDERED VALID COMPONENTS OF THE OVERALL DOCUMENT.
- THE CONTRACTOR SHALL NOT PROCEED WITH WORK IF THERE IS AN ERROR, OMISSION, OR DISCREPANCY THAT IS DISCOVERED IN THE DRAWINGS UNTIL CONTACT WITH THE OWNER HAS BEEN ESTABLISHED FOR SPECIFIC INSTRUCTIONS AS TO HOW TO CONTINUE.
- ANY WORK THAT IS NOT EXPLICITLY ILLUSTRATED OR NOTED IN THE DRAWINGS BUT CLEARLY REQUIRED AS NECESSARY TO COMPLETE THE PROJECT SHALL BE INCLUDED AND EXECUTED AS AN INTEGRAL PART OF THE ORIGINAL SCOPE OF WORK WITH NO ADDITIONAL COST TO THE OWNER.
- SHOULD THERE BE ANY ARCHITECTURAL DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS VERSUS SUPPLEMENTAL DRAWINGS (I.E. ELECTRICAL, MECHANICAL, LANDSCAPE, CIVIL, ETC.) THE ARCHITECTURAL DRAWINGS SHALL ALWAYS BE USED AS THE PREDOMINANT SOURCE OF INFORMATION.
- WHEN QUESTIONS ARISE OVER A SCALED DIMENSION VERSUS A WRITTEN DIMENSION, THE WRITTEN DIMENSION SHALL ALWAYS SUPERSEDE THE SCALED DIMENSION.
- ALL AND ANY SUBSTITUTIONS (INCLUDING BUT NOT LIMITED TO: DESIGN, METHODS, COLORS, TEXTURES AND/OR MATERIALS) THAT DEVIATE FROM THE APPROVED PERMITTED SET OF CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE OWNER. FAILURE TO NOTIFY THE OWNER AND WHEN NECESSARY, CITY INSPECTORS, OF ANY DEVIATIONS FROM DRAWINGS WILL BE CAUSE FOR "STOP OF WORK" UNTIL ALL DEVIATIONS ARE RECTIFIED PER THE APPROVAL OF THE OWNER. ALL AND ANY EXPENSE INCURRED TO RECTIFY SUCH DEVIATIONS WILL BE DONE SOLELY AT THE GENERAL CONTRACTORS EXPENSE.
- IN THE EVENT THAT HAZARDOUS MATERIALS AND/OR CONDITIONS ARE ENCOUNTERED THEY MUST BE ADDRESSED & COMPLY WITH ALL PERTINENT GOVERNMENTAL CODES AND REQUIREMENTS. IF ANY SUCH REMEDIES ARE REQUIRED, COSTS SHALL BE NEGOTIATED BETWEEN OWNER AND CONTRACTOR.

CONCRETE AND FOUNDATIONS:

- ALL FOOTINGS SHALL BE 3000 PSI (28 DAY COMPRESSIVE STRENGTH CONCRETE) WITH (2) HORIZ. #4 REBAR CONTINUOUS (OVERLAP REBAR 30 BAR DIAMETERS) & VERTICAL #4 DOWELS (6" x 16") AT 32" O.C. ALTERNATE BEND DIRECTION IN FOOTING. BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF 12" BELOW FINISHED GRADE AND ALWAYS BELOW FROST LINE. FOOTING SIZE - 16" (WIDE) MIN. X 8" (HIGH), UNLESS NOTED OTHERWISE.
- ALL FOUNDATION WALLS SHALL BE 8" x 8" x 16" C.M.U. GROUTED SOLID, UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT AS FOLLOWS: (1) #4 HORIZ. REBAR CONTINUOUS (OVERLAP REBAR 30 BAR DIAMETERS) AT TOP & BOTTOM - VERT. #4 BARS AT 32" O.C. - UNLESS NOTED OTHERWISE.
- ALL SLABS ON GRADE SHALL BE 3000 PSI (28 DAY COMPRESSIVE STRENGTH CONCRETE), UNLESS NOTED OTHERWISE.
- ALL SLABS ON GRADE SHALL BE 4" THICK (MIN.) AND REINFORCED WITH 6"x6"-W1.4xW1.4 WELDED WIRE MESH (W.W.M.), AND BEAR ON 4" (MIN.) COMPACTED AGGREGATE BASE COURSE (COMPACTED TO 95%) UNLESS NOTED OTHERWISE.
- INTERIOR SLABS SHALL HAVE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH (GARAGE SLAB NOT INCLUDED).
- PROVIDE PROPER EXPANSION AND CONTROL JOINTS (KEYED OR SAWCUT) NOT TO EXCEED 400 SQUARE FEET AREA OR AS PER LOCAL CODE.
- FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL FLOOR SYSTEM IS COMPLETELY IN PLACE.
- INSTALL 1/2" DIA. x 10" ANCHOR BOLTS TO 2x6 PRE-TREATED SILL PLATE OVER SILL SEALER AT 32" O.C. NOT MORE THAN 12" FROM ANY CORNER OR END OF PLATE.
- IN THE EVENT THAT STEPPED FOOTINGS ARE REQUIRED - HORIZONTAL DIMENSION - 32" (MIN.); VERTICAL DIMENSION - 24" (MAX.)
- APPLY WATERPROOF MEMBRANE / COATING TO EXTERIOR OF ALL FOUNDATION WALLS.

STEEL:

- ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH ASTM SPECIFICATION A-615 GRADE 60.
- ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH ASTM SPECIFICATION A-36.
- ALL STRUCTURAL STEEL FOR STEEL COLUMNS SHALL COMPLY WITH ASTM SPECIFICATION A-53 GRADE B OR A-501.
- PROVIDE (1) #5 REBAR VERTICALLY AT BEAM POCKET LOCATIONS.
- STEEL COLUMNS ARE TO BE 3" I.D. (INSIDE DIAMETER) UNLESS NOTED OTHERWISE.

FRAMING MEMBERS:

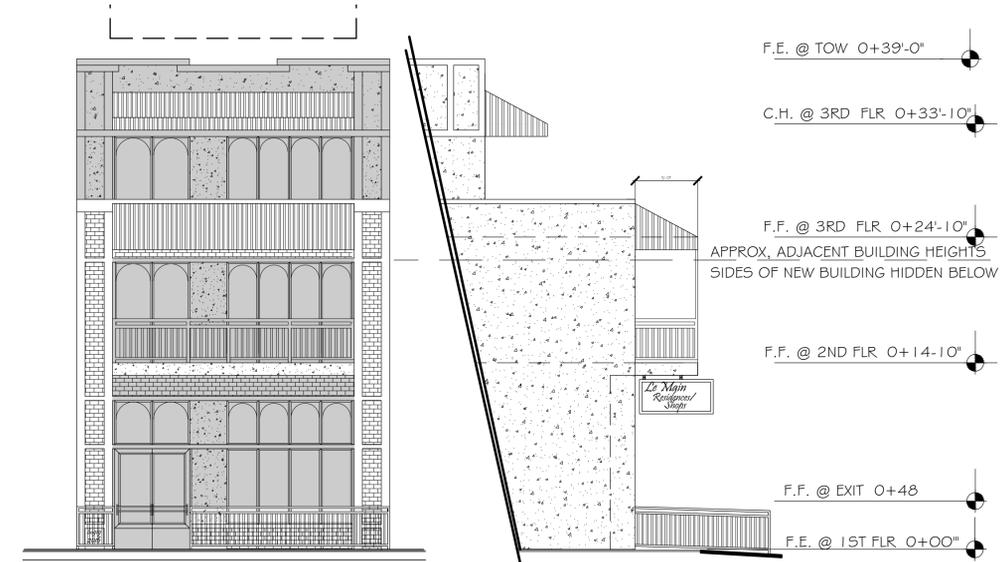
- ALL FRAMING LUMBER TO BE DOUGLAS FIR-LARCH #2 (DFL #2) OR BETTER, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET LOCAL CODE REQUIREMENTS PER LOCAL STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
- ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY THE CONTRACTOR PER LOCAL STRUCTURAL ENGINEER.
- ALL EXTERIOR WALLS ARE 2x6 STUDS AT 16" O.C. & ARE DIMENSIONED FROM OUTSIDE EDGE OF EXTERIOR SHEATHING TO INSIDE EDGE OF STUD (6" DIMENSION).
- ALL INTERIOR WALLS ARE DIMENSIONED FROM EDGE OF STUD TO EDGE OF STUD.
- ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 5/8" EXTERIOR WALL SHEATHING 5/8" CDX PLYWOOD OR O.S.B.). WALL SHEATHING SHALL BE INSTALLED W/ 8d NAILS AT 4" O.C. AT ALL PANEL EDGES & 12" O.C. ON ALL FRAMING MEMBERS NOT AT PANEL EDGES.
- CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL FRAMED WALLS HAVE A FINISHED HEIGHT AS NOTED ON PLANS
- ALL ANGLED WALLS ON FLOOR PLANS ARE AT A 45 DEGREE ANGLE, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ABOVE ALL OPENINGS THAT ARE:
 - INTERIOR NON-LOAD BEARING LESS THAN OR EQUAL TO 6'-0" USE: (2) 2 x10 DF #1 OR EQUIVALENT.
 - INTERIOR NON-LOAD BEARING GREATER THAN 6'-0" USE: (2) 1-3/4" x 9-1/4" 1.9E LVL HEADER OR EQUIVALENT.
 - INTERIOR LOAD BEARING OR EXTERIOR LESS THAN OR EQUAL TO 3'-0" USE: (2) 2 x10 DF #1 OR EQUIVALENT.
 - INTERIOR LOAD BEARING OR EXTERIOR 3'-0" - 5'-0" USE: (2) 1-3/4" x 9-1/4" 1.9E LVL OR EQUIVALENT.
 - INTERIOR LOAD BEARING OR EXTERIOR 5'-0" - 8'-0" USE: (2) 1-3/4" x 11-7/8" 1.9E LVL OR EQUIVALENT.
 - ALL OVERHEAD GARAGE DOORS USE: (2) 1-3/4" x 14" 1.9E LVL HEADER OR EQUIVALENT.
- POSTS UNDER HEADERS, BEAMS, GIRDERS SHALL BE (2) 2 x STUDS OR GREATER x MATCHING WALL THICKNESS - U.O.
- ALL FLOOR & ROOF TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER ACCORDING TO THE LOADING INDICATED ON THE PLAN.
- UNLESS NOTED OTHERWISE ALL ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES PER THE ROOF TRUSS MANUFACTURER.
- ALL FRAMING CONNECTORS ARE TO BE SIMPSON COMPANY OR EQUIVALENT.

MISCELLANEOUS:

- N/A
- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS.
- N/A
- 5/8" GYPSUM BOARD ON ALL INTERIOR WALLS AND 5/8" GYPSUM BOARD ON ALL CEILINGS. ALL WALLS AND CEILINGS FIRE RATED GWB.
- N/A
- N/A
- N/A
- PROVIDE ATTIC ACCESS.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- REMOVE ALL MATERIALS RESULTING FROM DEMOLITION WORK FROM THE SITE IN SUCH A MANNER AS TO AVOID CREATING A NUISANCE.
- THE CONTRACTOR OR SUBCONTRACTOR SHALL INSPECT THE PREMISES PRIOR TO COMMENCING WORK TO CHECK EXISTING WORKING CONDITIONS. SHOULD CONTRACTOR OR SUBCONTRACTOR FIND CONDITIONS WHICH THEY BELIEVE WOULD IMPEDE THEIR WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO SO ADVISE WILL CONSTITUTE NOTICE THAT THE CONTRACTOR IS FULLY SATISFIED AND THAT THEY INTEND TO PERFORM THEIR OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERRORS OCCUR OR CONDITIONS NOT COVERED ON THE DRAWINGS IS ENCOUNTERED CONTRACTOR SHALL NOTIFY THE OWNER BEFORE COMMENCING THAT PORTION OF THE WORK.
- DETAILS, NOTES, AND FINISHES SHALL BE APPLICABLE TO ALL TYPICAL CONDITIONS. WHETHER OR NOT REFERENCED AT ALL PLACES. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGES THROUGHOUT CONSTRUCTION THEY SHALL MEET THE LATEST REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND COMPLY WITH THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, ALL APPLICABLE SAFETY AND SANITARY LAWS, REGULATIONS AND ORDINANCES, AND ANY SAFETY RULES OR PROCEDURES ESTABLISHED BY THE OWNER FOR ANY IMPEDIMENTS TO WORK.
- THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE. THEY ASSUME ALL RISKS IN THE PERFORMANCE OF THE WORK AND IS RESPONSIBLE FOR SUPERVISION, MATERIALS, EQUIPMENT AND LABOR REQUIRED TO IMPLEMENT THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION AND ALL PHASES OF ITS CONTRACT. THEY ARE ALSO RESPONSIBLE FOR SCHEDULING, COORDINATING, MANAGEMENT AND ADMINISTRATION OF SUBCONSULTANTS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AND PROTECT THE SAME.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
- ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER, ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS IN WRITING FOR A PERIOD OF 2 YEARS (S) FROM THE DATE OF CERTIFICATE OF OCCUPANCY.
- UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.

ABBREVIATIONS

A.B.	ANCHOR BOLT	JAN	JANITOR
A.B.C.	AGGREGATE	JT.	JOINT
A/C	BASE COURSE	KIT.	KITCHEN
ACOUS.	AIR CONDITIONING	LAM.	LAMINATE
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISHED FLOOR	L.F.	LINEAR FOOT
AGG.	AGGREGATE	LT.	LIGHT
ALUM.	ALUMINUM	MAX.	MAXIMUM
ALT.	ALTERNATE	MECH.	MECHANICAL
APPROX.	APPROXIMATE	MED.CAB.	MEDICINE CABINET
ARCH.	ARCHITECTURAL	MEMB.	MEMBRANE
ASPH.	ASPHALT	MTL.	METAL
		MFR.	MANUFACTURER
BD.	BOARD	MIR.	MIRROR
B.D.G.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	M.O.	MASONRY OPENING
BLK.G.	BLOCKING	M.R.	MOISTURE
BM.	BEAM		RESISTANT
B.O.	BOTTOM OF	MTD.	MOUNTED
BOT.	BOTTOM	MUL.	MULLION
B.U.	BUILT-UP		
		N	NORTH
CAB.	CABINET	N.C.	NOT IN CONTRACT
C.B.	CORNER BEAD	NO. OR #	NUMBER
C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE
CHAN.	CHANNEL		
CI.	CAST IRON	O.A.	OVERALL
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
C.J.	CONSTRUCTION / CONTROL JOINT	O.D.	OUTSIDE DIAMETER
CLG.	CEILING	O.F.C.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED
CLO.	CLOSET	OFF.	OFFICE
CLC.	CEILING	OPNG.	OPENING
C.M.U.	CONCRETE	OPP.	OPPOSITE
	MASONRY UNIT		
CNTRS.NK.	COUNTERSINK	PNLG.	PANELING
CNTR. TOP	COUNTER TOP	PAR.	PARAPET
C.O.	CLEAN OUT	PARTN	PARTITION
COL.	COLUMN	PL.	PLATE OR PROPERTY LINE
CONC.	CONCRETE	P.I.A.M.	PLASTIC LAMINATE
CONN.	CONNECTION	PLAS.	PLASTER
CONSTR.	CONSTRUCTION	PL.	PLASTER
CONT.	CONTINUOUS	P.V.C.	POLYVINYL CHLORIDE
CONTR.	CONTRACTOR	PLYWD.	PLYWOOD
CORR.	CORRIDOR		
CTR.	CENTER	Q.T.	QUARRY TILE
C.W.	COLD WATER		
		R.	RISER
DRL.	DOUBLE	RAD.	RADIUS
DEPT.	DEPARTMENT	R.A.	RETURN AIR
D.F.	DRAINAGE FLOW	R.D.	ROOF DRAIN
DIA.	DIAMETER	REDWD.	REDWOOD
DIM.	DIMENSION	REF.	REFERENCE
DSP.	DISPENSER	REFRIG.	REFRIGERATOR
DN.	DOWN	RENF.	REINFORCED
DNSPT.	DOWNSPOUT	REQD.	REQUIRED
D.O.	DOOR OPENING	RESIL.	RESILIENT
DIR.	DOOR	RM.	ROOM
DTL.	DETAIL	R.O.	ROUGH OPENING
DWG.	DRAWING	ROOFG.	ROOFING
DWR.	DRAWER		
		S.	SOUTH
E.	EAST	S.A.	SUPPLY AIR
E.A.	EACH	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SECT.	SECTION
ELEC. PAN.	ELECTRICAL PANELBOARD	SQ. FT.	SQUARE FEET
ELEV.	ELEVATION	SH.	SHelf
EMER.	EMERGENCY	SHR.	SHOWER
ENCL.	ENCLOSURE	SHT.	SHEET
EQ.	EQUAL	SHB.	SHOULDER
EQUIP.	EQUIPMENT	SPEC.	SPECIFICATION
EXST.	EXISTING	SQ.	SQUARE
EXT.	EXPANSION	S.S.	STAINLESS STEEL
	EXTERIOR	STD.	STANDARD
F.D.	FLOOR DRAIN	STL.	STEEL
F.F.	FIBERGLASS FIBRE	STOR.	STORAGE
F.E.	EXTINGUISHER	STRUC.	STRUCTURAL
F.E.C.	FIRE EXT-GUISHER CAB.	SUSP.	SUSPENDED
	FINISH FLOOR	SYM.	SYMMETRICAL
FFE.	ELEVATION		
F.G.	FINISH GRADE	T.	TREAD
FN.	FINISH	TEL.	TELEPHONE
FXT.	FIXTURE	T & G	TONGUE AND GROOVE
FLASHG.	FLASHING	THK.	THICK
FLR.	FLOOR	T.O.	TOP OF
FLUOR.	FLOURESCENT	T.O.C.	TOP OF CURB
FRF.	FIREPROOF	T.O.W.	TOP OF WALL
FRMG.	FRAMING	T.S.	TUBE STEEL
FT.	FOOT OR FEET	T.T.B.	TELEPHONE TERMINAL BOARD
FIG.	FOOTING	TYP.	TYPICAL
FURN.	FURNITURE	U.N.O.	UNLESS NOTED OTHERWISE
FURR.	FURNISHING	URNAL.	URNAL
		V.C.T.	VINYL COMPOSITION TILE
GA.	GALVE	VERT.	VERTICAL
GALV.	CALVANIZED	VTR.	VENT-THRU ROOF
GL.	GLASS		
G.L.B.M.	GLU-LAM BEAM	W.	WEST
GR.	GRADE	W & W/O	WITH AND WITHOUT
GRND.	GROUND	W.C.	WATER CLOSET
G.W.B.	GYPSUM BOARD.	WD.	WOOD
		WDW	WINDOW
H.B.	HOSE BIBB	WP.	WEATHERPROOF
H.C.	HOLLOW CORE	WR.	WATER RESISTANT
HCP.	HANDCAP	W.S.	WEEP SCREEN
CWDW.	HARDWOOD	WT.	WEIGHT
HDWR.	HARDWARE		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HT.	HEIGHT		
HW.	HOT WATER		
LD.	INSIDE		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		



PROJECT DATA:

DESIGN CRITERIA

ROOF LIVE LOAD:	20 PSF (SNOW)
FLOOR LIVE LOAD:	40 PSF
DECK LIVE LOAD:	60 PSF
WIND LOAD:	90 MPH / 20 PSF
SEISMIC ZONE:	C
SOIL BEARING:	1500 PSF MAX. UNLESS A HIGHER VALUE IS SUBSTANTIATED BY SOILS TESTING

2009 INTERNATIONAL BUILDING CODE	A 1.6
2009 INTERNATIONAL ENERGY CONSERVATION CODE	A 1.7
2009 INTERNATIONAL PLUMBING CODE	A 1.8
2009 INTERNATIONAL MECHANICAL CODE	A 1.9
2009 INTERNATIONAL ELECTRICAL CODE	A 1.10
2009 INTERNATIONAL FIRE CODE	A 1.11

PHYSICAL LOCATION : VACANT LOT, WEST SIDE OF MAIN, DOWNTOWN
NO ADDRESS ASSIGNED, VACANT LOT CACTUS, NOT ADDRESSED

PARCEL #: 406-22-015, 406-22-020A
DEVELOPER : LaMain 919 LLC
MAILING ADDRESS: jchaupt@gmail.com
10008 SOUTH BEND DRIVE
SCOTTSDALE, AZ 85255

TELEPHONE: LaMain 919 LLC: 602-757-4398
CURRENT ZONING: C1

OCCUPANCY: MIXED USE B/R2
CONSTRUCTION: TYPE V - 1 HOUR

BUILDING DATA:
RETAIL: 2193 SQ. FT.
APARTMENTS (9): 10712 SQ. FT.

TOTAL: 12905 SQ. FT.

SETBACKS:

MAIN STREET COMMERCIAL LOT:
FRONT, 0 SIDES, 0, BACK 0

CACTUS STREET COMMERCIAL LOT:
FRONT, 0 SIDES, 0, BACK 5

SHEET INDEX

CS COVER SHEET
C1

A 1.0
A 1.1
A 1.2
A 1.3
A 1.4
A 1.5
A 1.6
A 1.7
A 1.8
A 1.9
A 1.10
A 1.11
A 1.12

A 2.1
A 2.2
A 2.3
A 2.4
A 2.5
A 2.6

A 3.1
A 4.1

A 4.1

A 5.1

E 1.1
E 1.2

P 1.1
P 1.2

DESIGN TEAM:

STEVE BIASINI, LANDSCAPE ARCHITECT
PROJECT MANAGER
REG. # :
735 SOUTH 3RD DTREET
WILLIAMS, AZ 86046
928-202-2029

BRENT MAUPIN, ARCHITECT
STRUCTURAL ENGINEERING
REG. # :
REG. # :

76 EAST TONTO DRIVE
SEDONA, AZ 86351
928-300-4822

DARDAN ENGINEERING, HVAC,
PLUMBING, ELECTRICAL
REG. # :
2432 W. PEORIA AVE.
PHOENIX, AZ 85029
602-331-0501

SEC, SURVEYING, HYDROLOGY
CIVIL ENGINEERING
REG. # :
825 COVE PARKWAY
COTTONWOOD, AZ 86326
928-282=7787

REVISIONS	BY

Biasini/Maupin
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-202-2029

LaMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/17/16
SCALE NTS
DRAWN SJB
JOB MJH415
SHEET NO.

CS
OF x

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MAIN & CACTUS STREETS
COVER SHEET

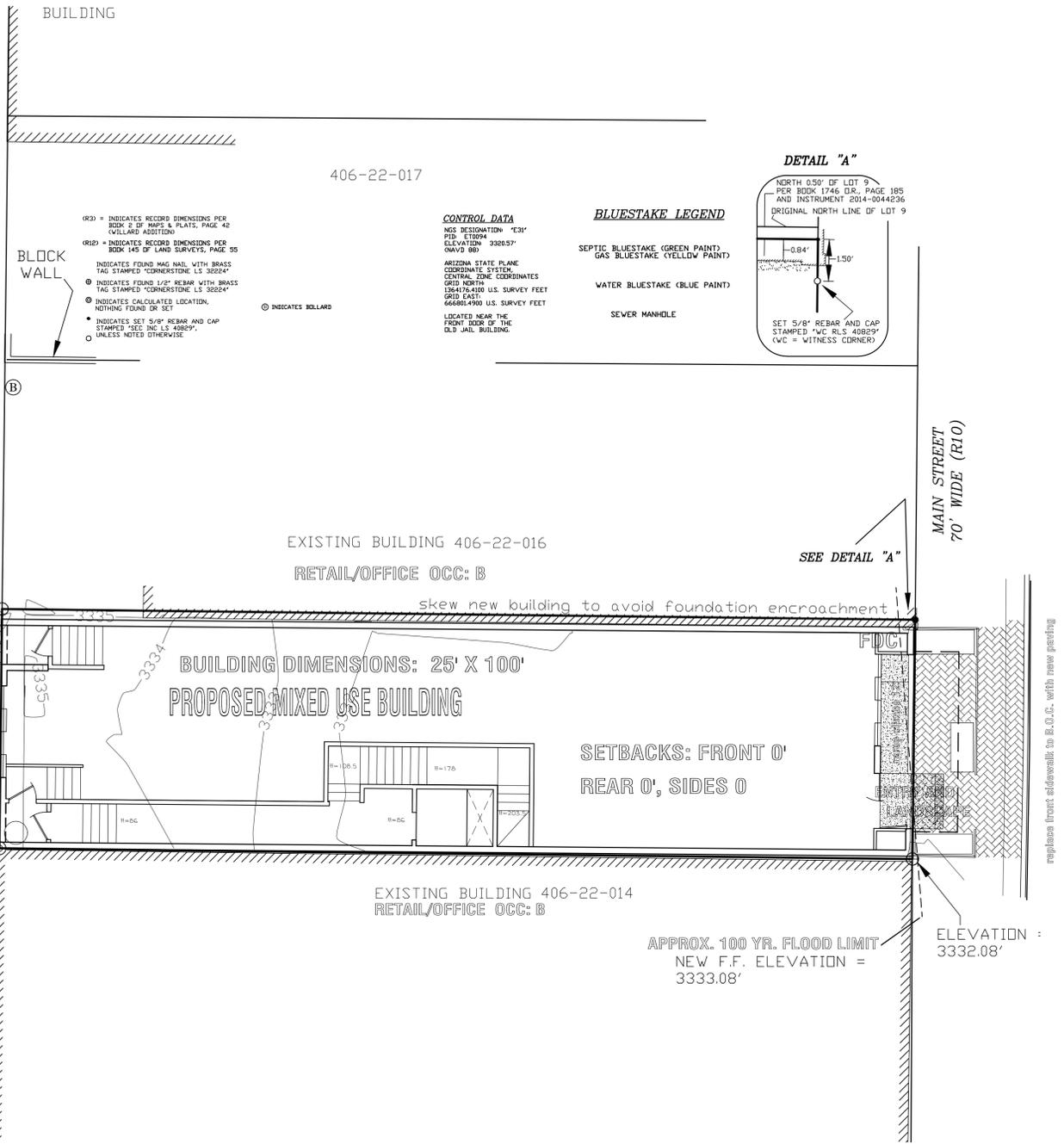
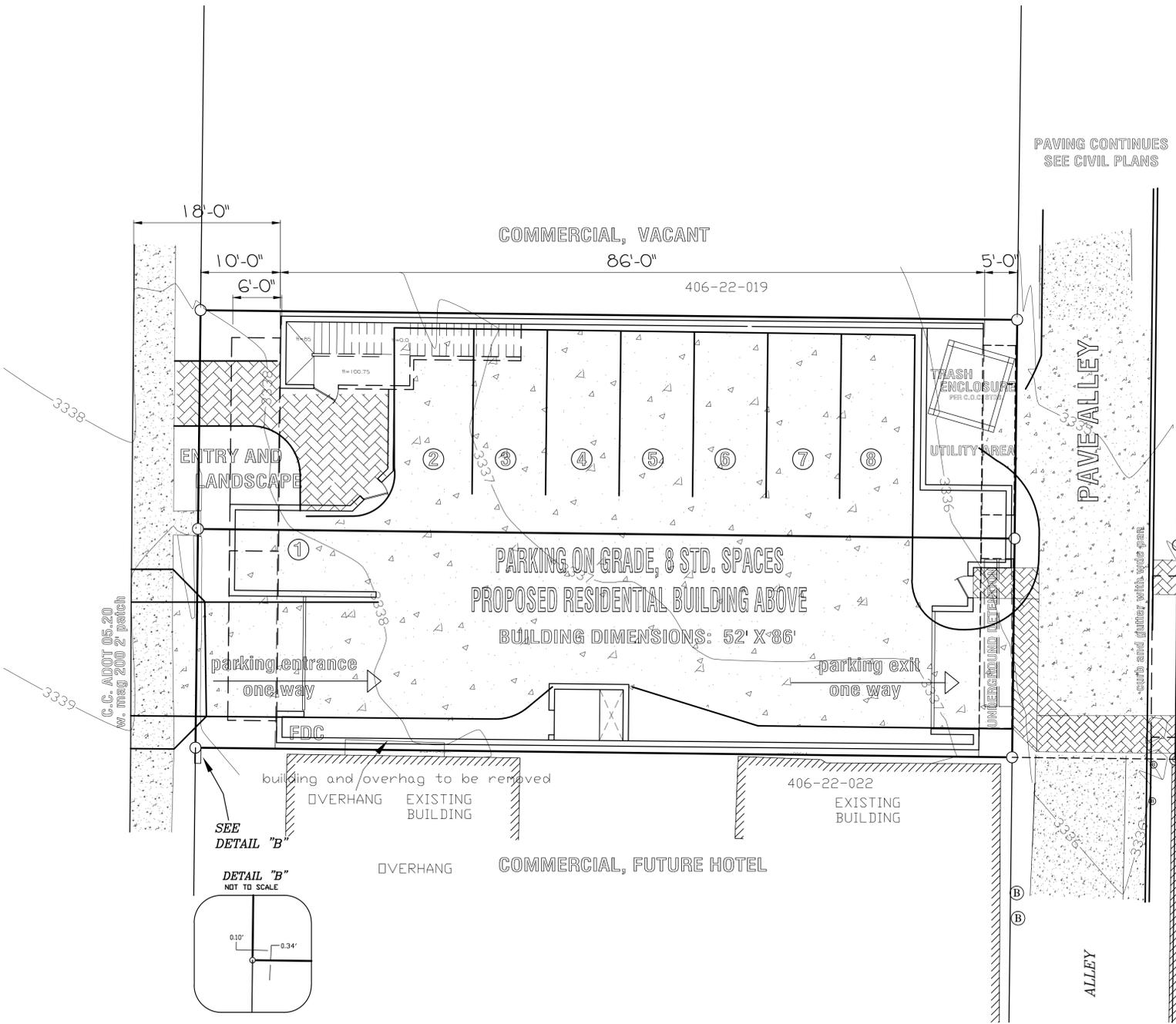
REVISIONS	BY

Biastini/Martin
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-702-2929

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/16/16
SCALE 1/8" = 1'-0"
DRAWN SJB
JOB MJS415
SHEET NO.
C1
OF x



CODE EXCEPTIONS:

SEE DEVELOPMENT STANDARDS FOR PROPOSED:
 SETBACKS, LANDSCAPE AREA, OPEN SPACE, PARKING

GENERAL NOTES:

- MECHANICAL EQUIPMENT ON ROOF, PARAPET SCREENING
- ALL EXTERIOR LIGHTING FULLY SHIELDED
- SIGNS ARE WALL HUNG AND SHOW ON ELEVATIONS
- LANDSCAPING ON SEPARATE SHEETS
- FDCs ARE SHOWN, ALL UTILITY LOCATIONS T.B.D.
- ANY WORK IN THE R.O.W. WILL BE PERFORMED TO CITY OF COTTONWOOD STANDARDS

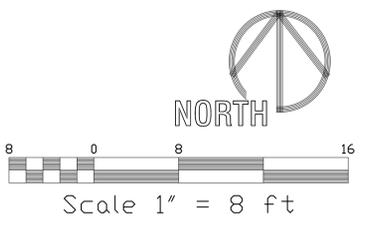
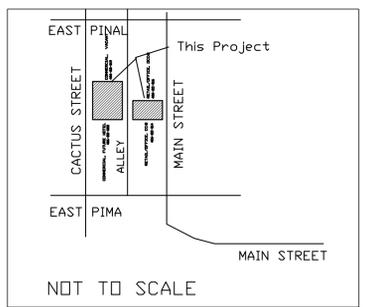
OWNERSHIP INFORMATION:

PARCELS #: 406-22-015 & 020a
 PHYSICAL LOCATION : VACANT LOT, WEST SIDE OF MAIN,
 AND EAST SIDE OF CACTUS, VACANT
 DOWNTOWN, NO ADDRESSES ASSIGNED
 OWNER : LaMain 919 LLC
 MAILING ADDRESS: 10008 SOUTH BEND DRIVE
 SCOTTSDALE, AZ 85255
 TELEPHONE: LaMain 919 LLC: 602-757-4398

COVERAGE DATA:

LaMain919, MIXED USE:
 SETBACKS: FRONT 0'
 REAR 0', SIDES 0'
 LOT AREA: 2612 S.F.
 BUILDING AREA 2500 S.F.
 COVERAGE: (96%) 100% EFFECTIVE
 RESIDENTIAL UNITS:
 SETBACKS: FRONT 10'
 REAR 5', SIDES 0'
 LOT AREA: 5200 S.F.
 BUILDING AREA 4420 S.F.
 COVERAGE: (85%)

VICINITY MAP



UTILITY PROVIDERS:

- POWER: APS
- WATER, WASTE WATER: CITY OF COTTONWOOD
- NATURAL GAS: UNISOURCE

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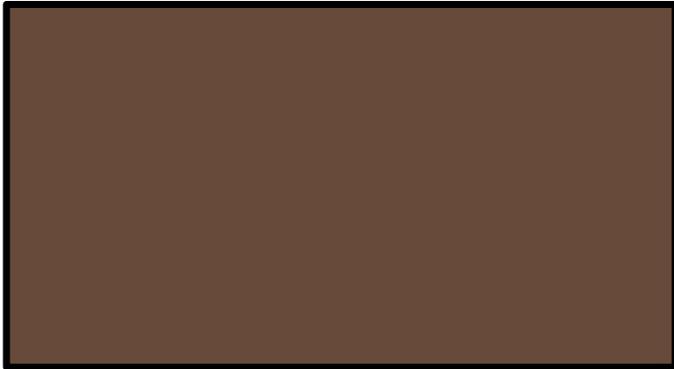
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MAIN & CACTUS STREETS
 SITE PLAN SCHEMATIC

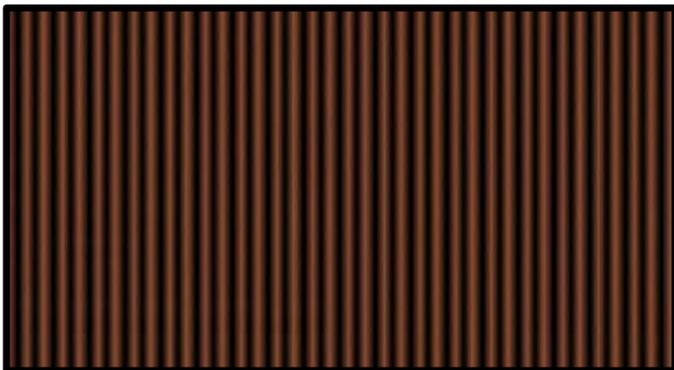
EXHIBIT 5



FIELD COLOR:
BENJAMIN MOORE
BAR HARBOR BIEGE
1032



TRIM COLOR:
BENJAMIN MOORE
JAVA
2106-10



RUSTED
CORRUGATED
CORTEN METAL

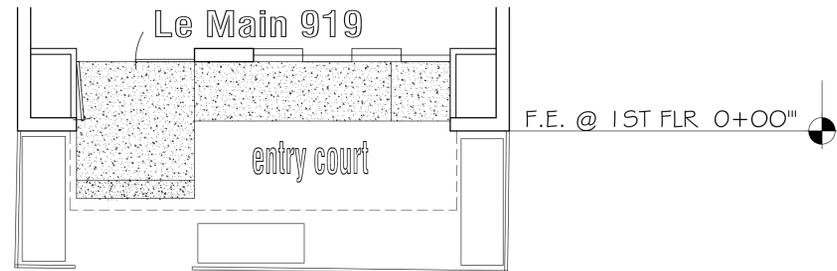


ACME BRICK
HIGHLAND GRAY
108812

LE MAIN DEVELOPMENT P.A.D.
MAIN STREET & CACTUS STREET
COTTONWOOD, ARIZONA 86326

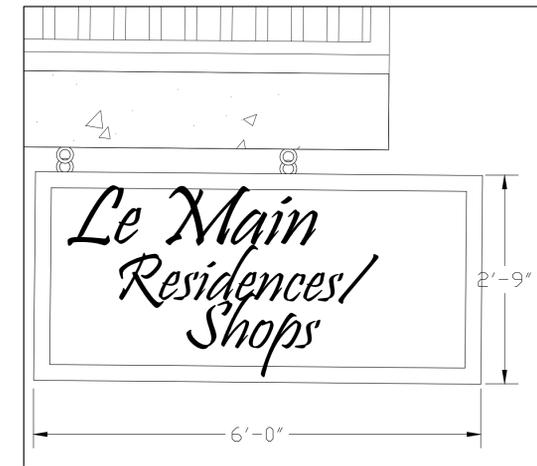
EXHIBIT 6

REVISIONS	BY



PLANT MATERIAL

FRAXINUS RAYBERI	RAYBER ASH	#15 CANS	2
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	3
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	10



Building identification sign, typ.
Sign will not be illuminated

F.E. @ TOW 0+39'-0"

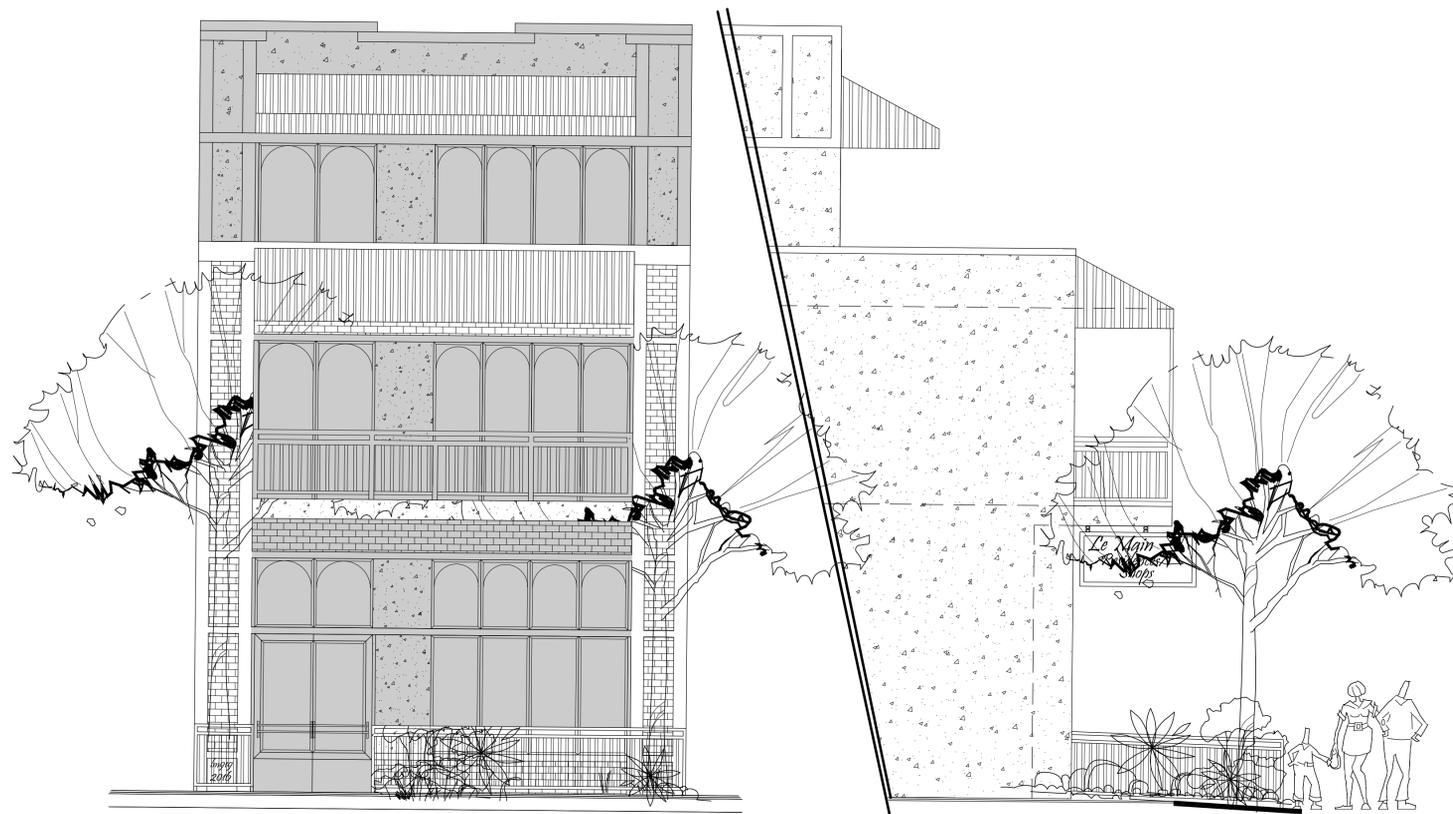
C.H. @ 3RD FLR 0+406

F.F. @ 3RD FLR 0+298

F.F. @ 2ND FLR 0+178

F.F. @ REAR 0+48

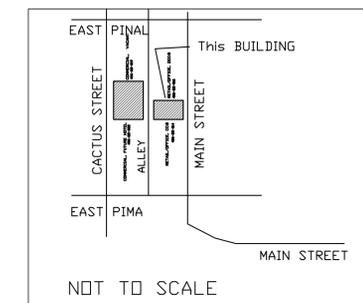
F.E. @ 1ST FLR 0+00"



LOOKING WEST

LOOKING NORTH

VICINITY MAP



Basim/Matthias
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMSBURG, AZ 85046
 602-702-2029

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

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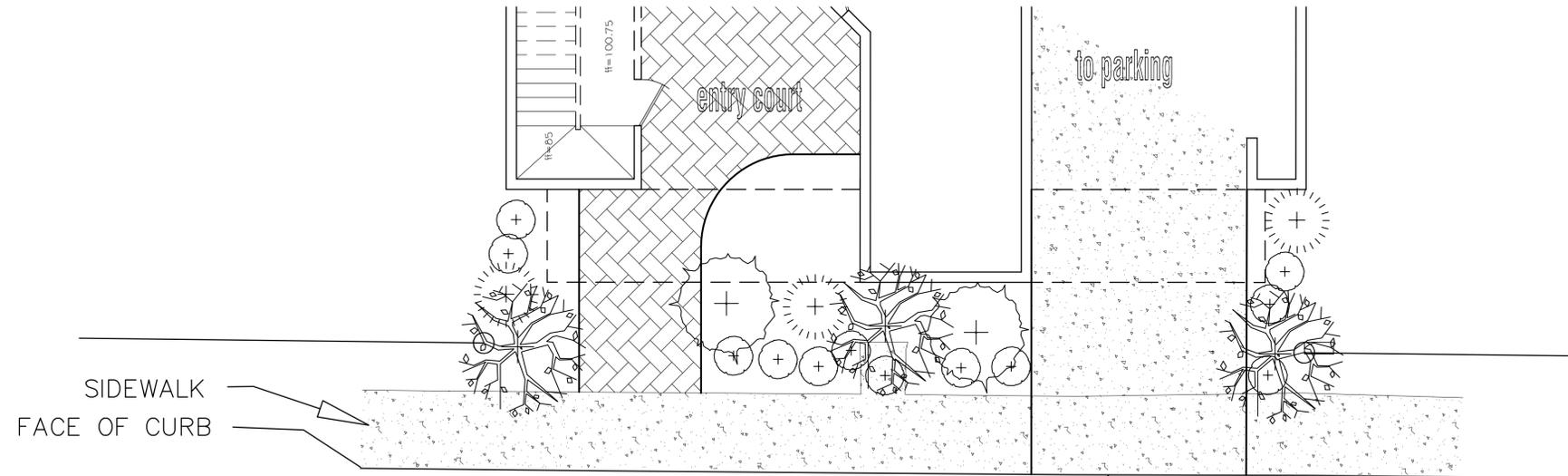
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MAIN STREET
LANDSCAPE SCHEMATIC

DATE 8/17/16
SCALE N.T.S.
DRAWN SJB
JOB MJ5415
SHEET NO.
LR
OF x

REVISIONS	BY

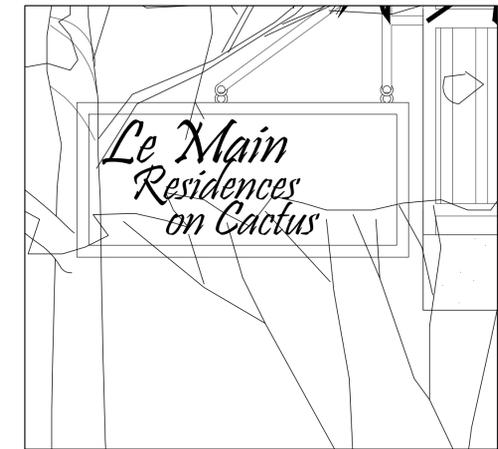
8 SPACES UNDER BUILDING



PLANT MATERIAL

FRAXINUS 'RAYBERI'	RAYBER ASH	#15 CAN	3
CHILIOPSIS LINEARIS	DESERT WILLOW	#15 CANS	2
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	3
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	12

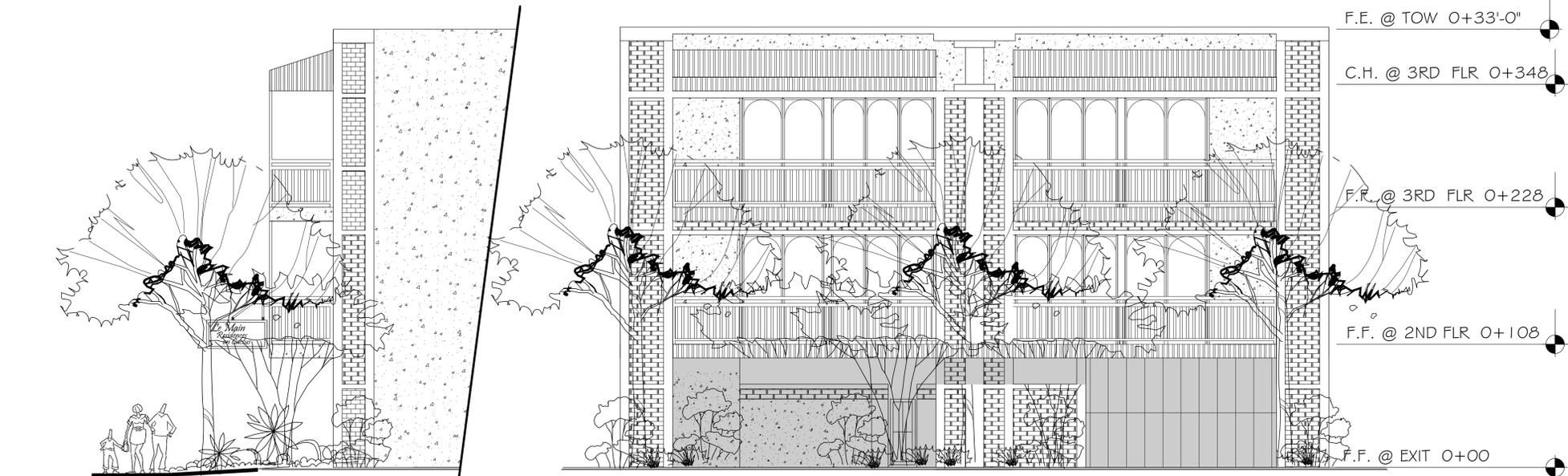
C/L CACTUS STREET
50' WIDE (R3)



Building identification sign, typ.
Sign will not be illuminated

Biastimi/Matthias
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-702-2029

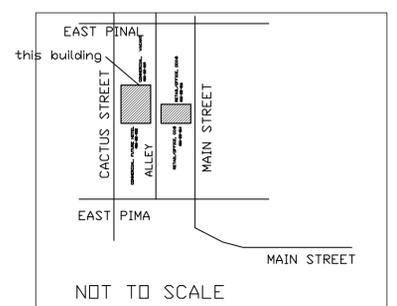
LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326



LOOKING NORTH

LOOKING EAST

VICINITY MAP



preliminary

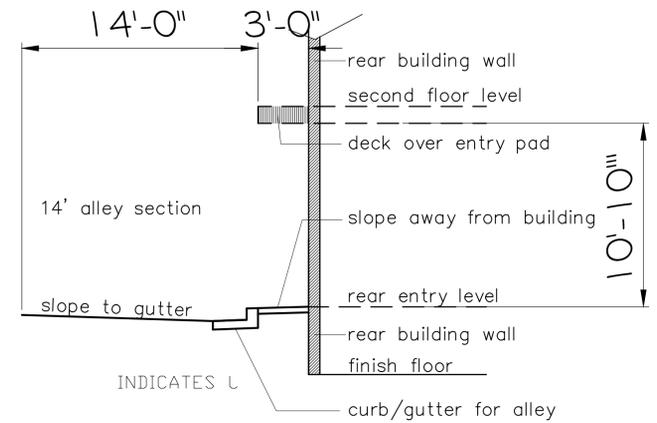
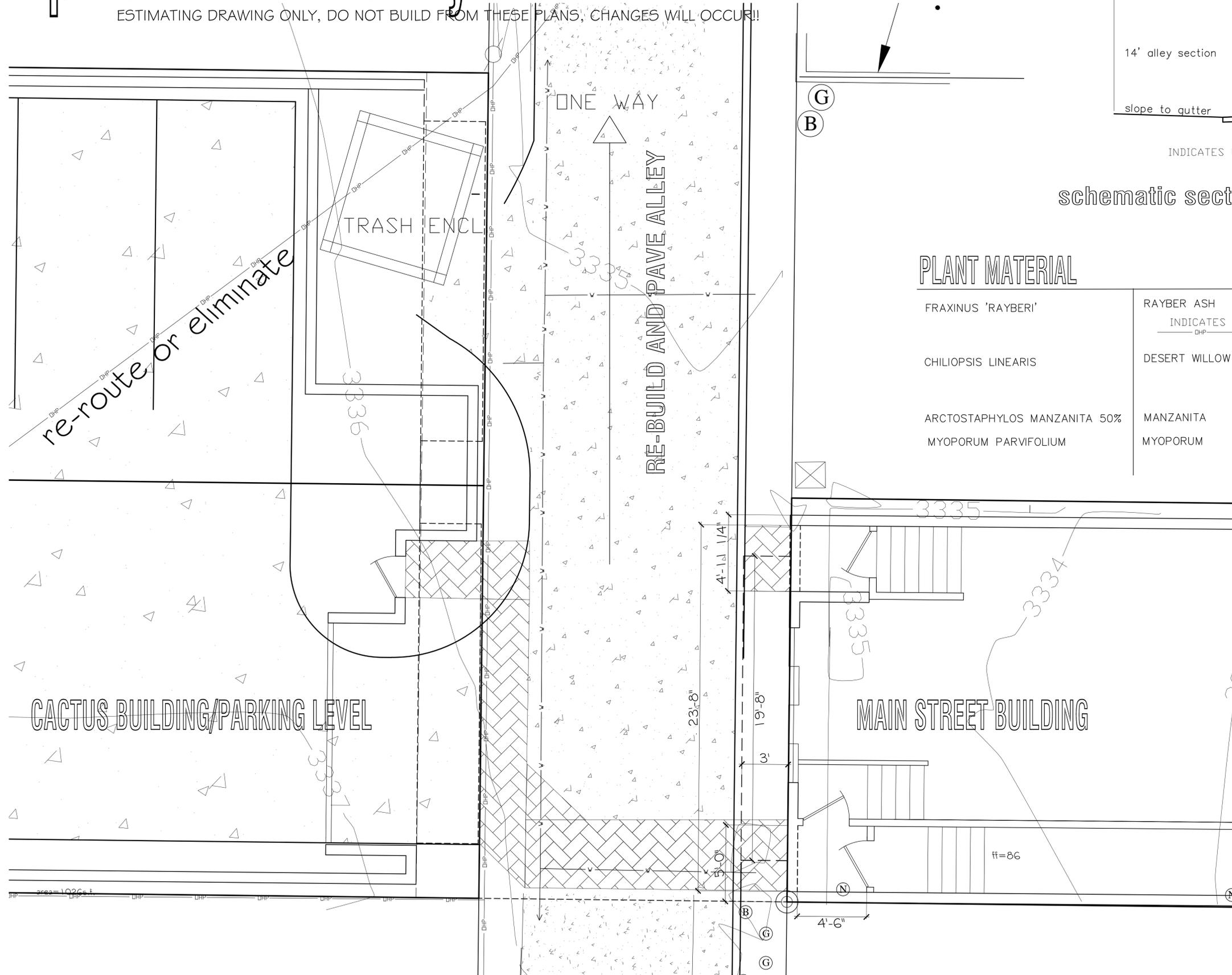
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CACTUS STREET
LANDSCAPE SCHEMATIC

DATE 8/16/16
SCALE N.T.S.
DRAWN SJB
JOB MJH415
SHEET NO.
LR
OF x

preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

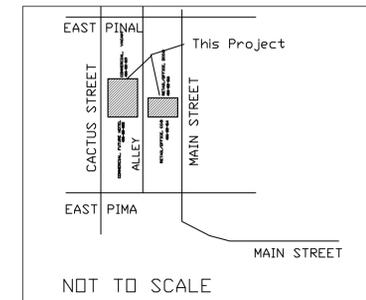


schematic section through alley, n.t.s.

PLANT MATERIAL

FRAXINUS 'RAYBER'	RAYBER ASH	#15 CAN	0
	INDICATES L		
	DHP		
CHILIOPSIS LINEARIS	DESERT WILLOW	#15 CANS	3
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	7
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	12

VICINITY MAP



ALLEY VIEWS
LANDSCAPE SCHEMATIC

REVISIONS	BY

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 520-702-2029

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/16/16
 SCALE N.T.S.
 DRAWN SJB
 JOB MJH415
 SHEET NO.
LR
 OF x

EXHIBIT 7

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LeMain 919 , VIEW LOOKING WEST

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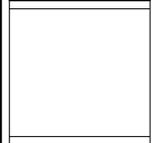
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JOB	MJH415
SHEET NO.	A1.5
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MAIN STREET
 STREET VIEW

EXHIBIT 8

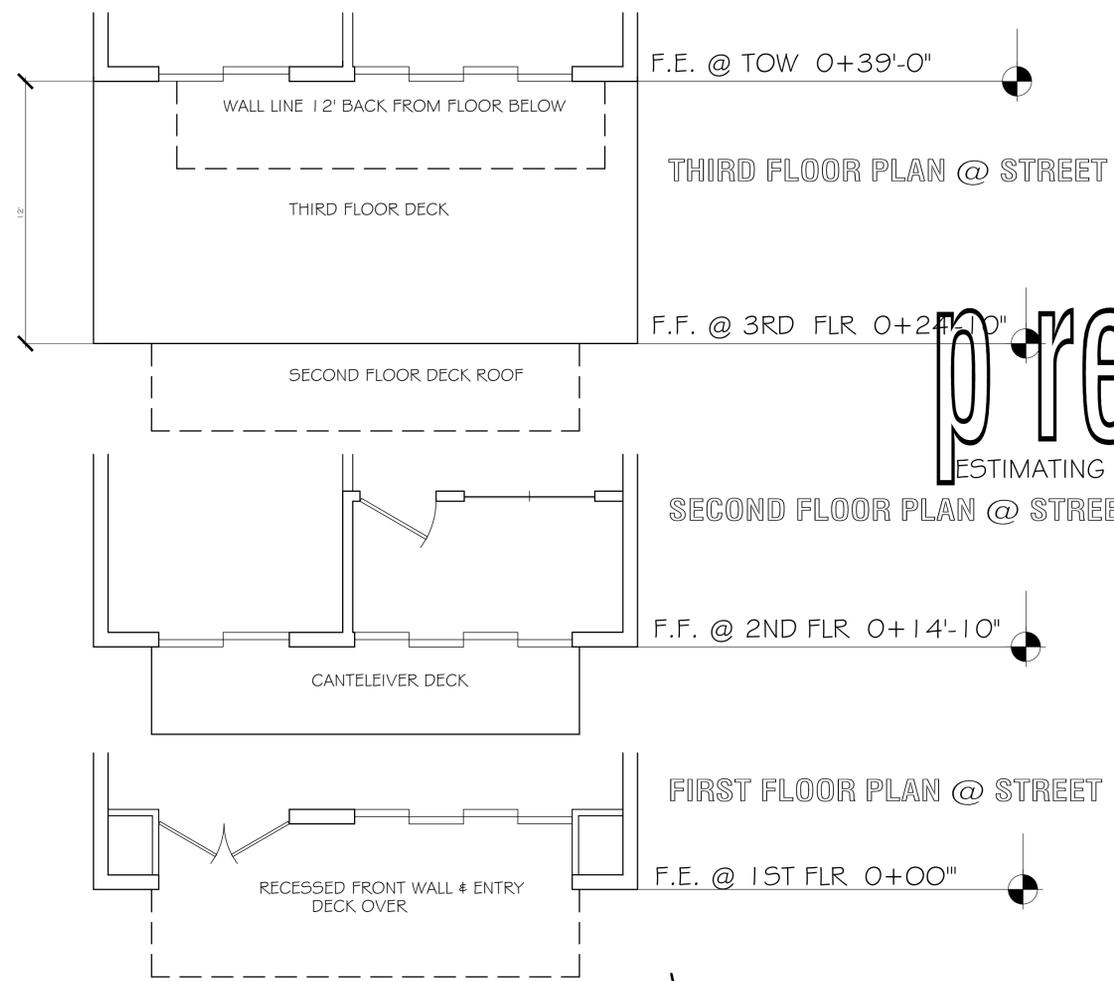
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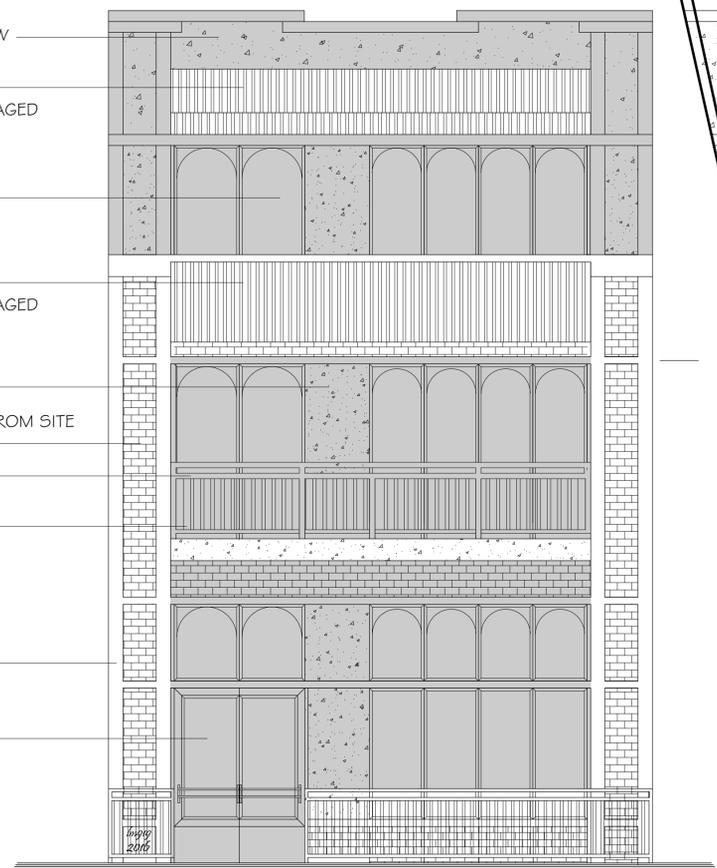
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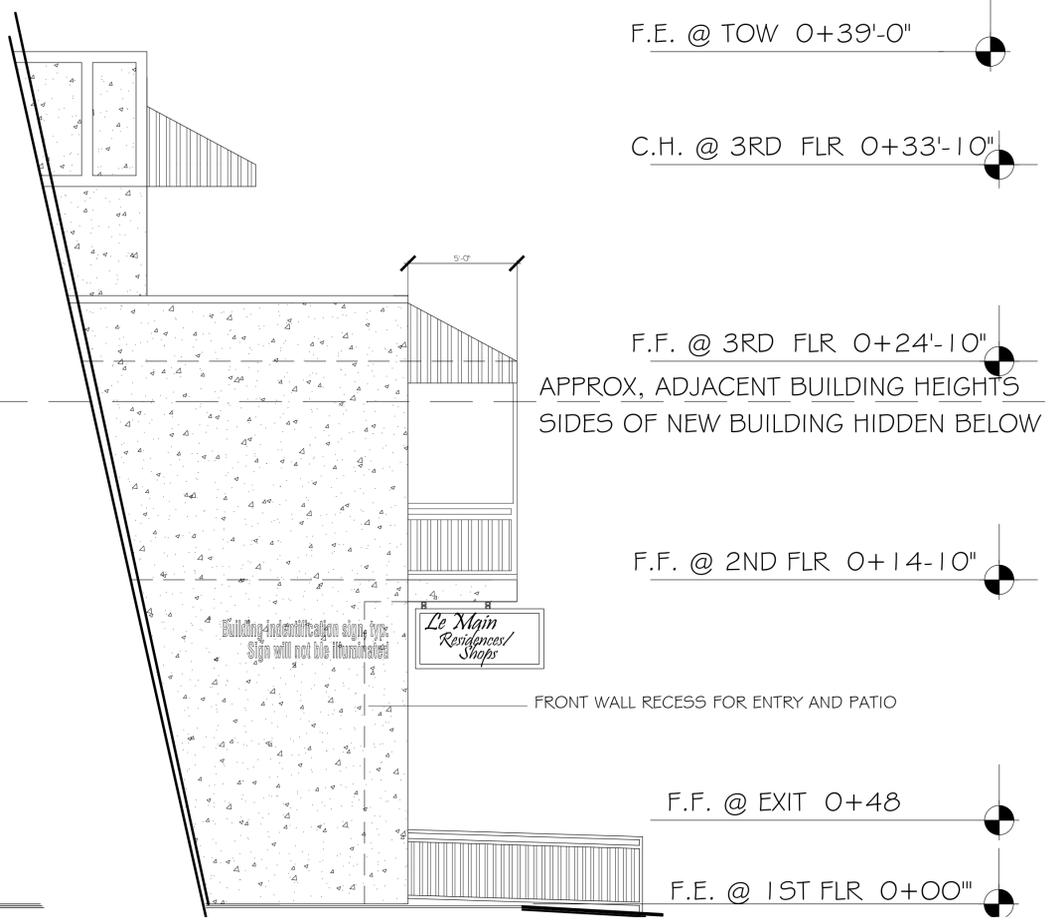
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- WALL LINE 8' BACK FROM FLOOR BELOW
SAND FINISH STUCCO
- THIRD FLOOR DECK ROOF
CORRUGATED METAL ROOF, PRE-AGED
- THIRD FLOOR DECK
- SECOND FLOOR DECK ROOF
CORRUGATED METAL ROOF, PRE-AGED
- SAND FINISH STUCCO
- BRICK SIMILAR TO BRICK RECLAIMED FROM SITE
ON SITE, TYPE "A"
- BLACK W.I. RAILING
- CANTELEIVER DECK
- SAND FINISH STUCCO
POP-OUT DETAIL, TYP.
- RECESSED FRONT WALL & ENTRY
DECK OVER



LOOKING WEST



MAIN STREET
ILLUSTRATIONS



preliminary

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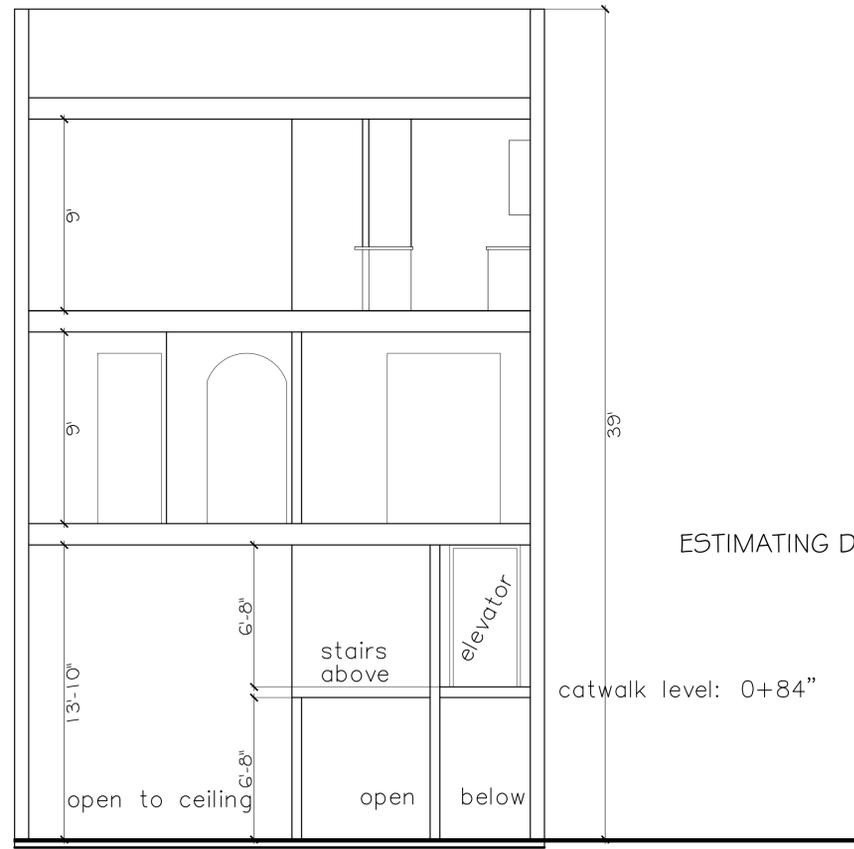
MAIN STREET
ELEVATIONS

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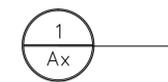
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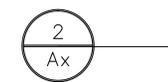
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SCHEMATIC SECTION looking east



SCHEMATIC SECTION, looking south



MAIN STREET
SCHEMATIC SECTIONS

REVISIONS	BY

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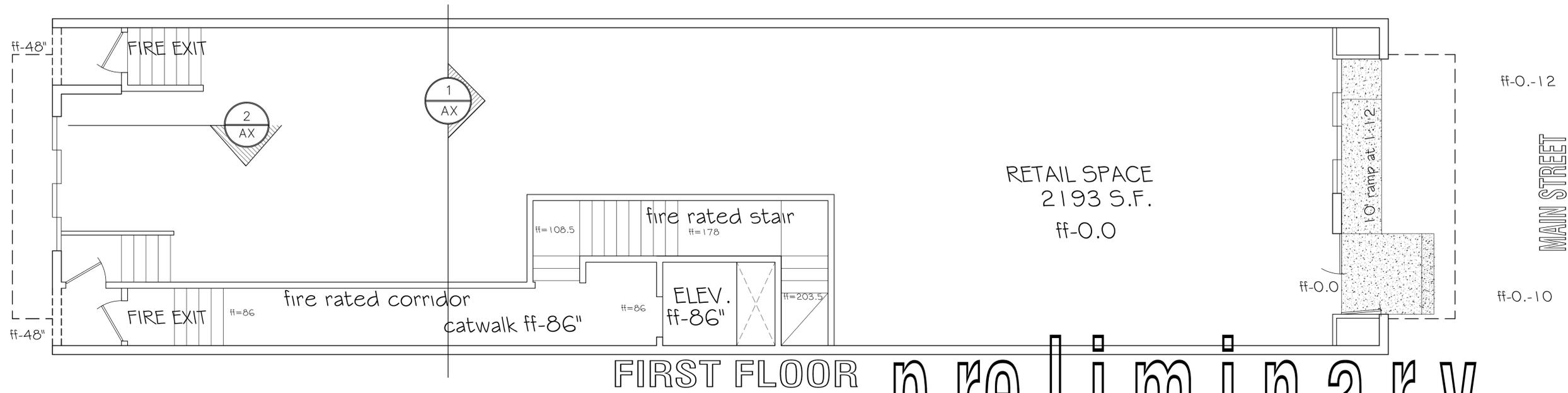
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REVISIONS	BY

Brian Miller / Main Street Architecture
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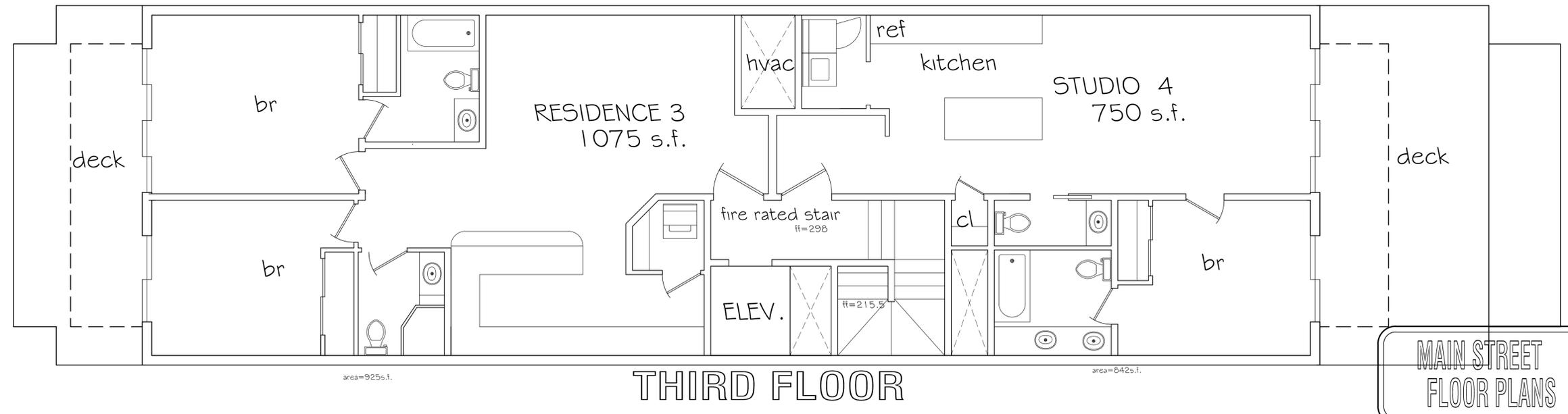
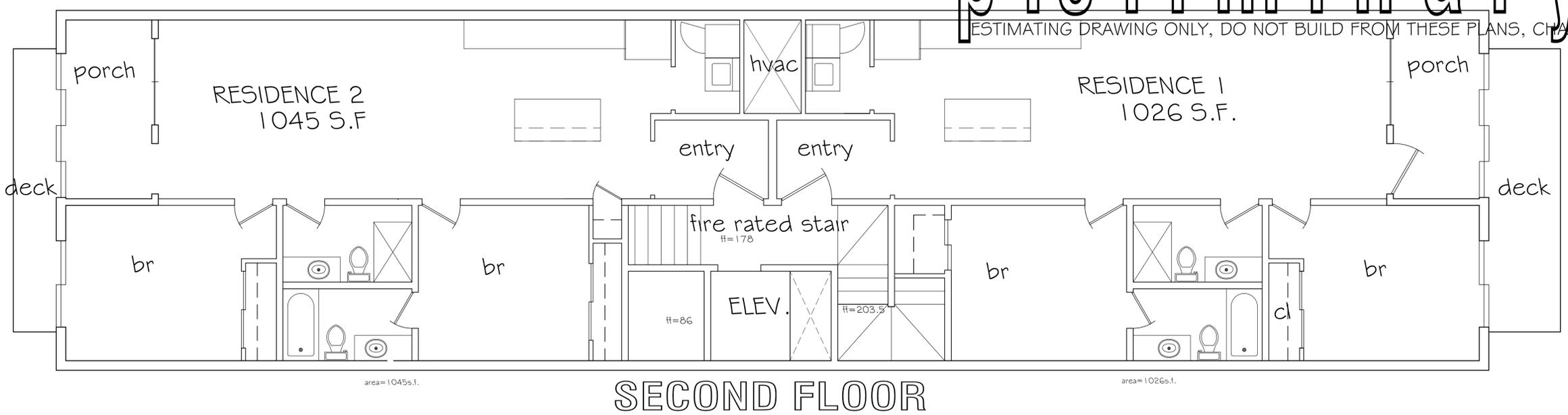
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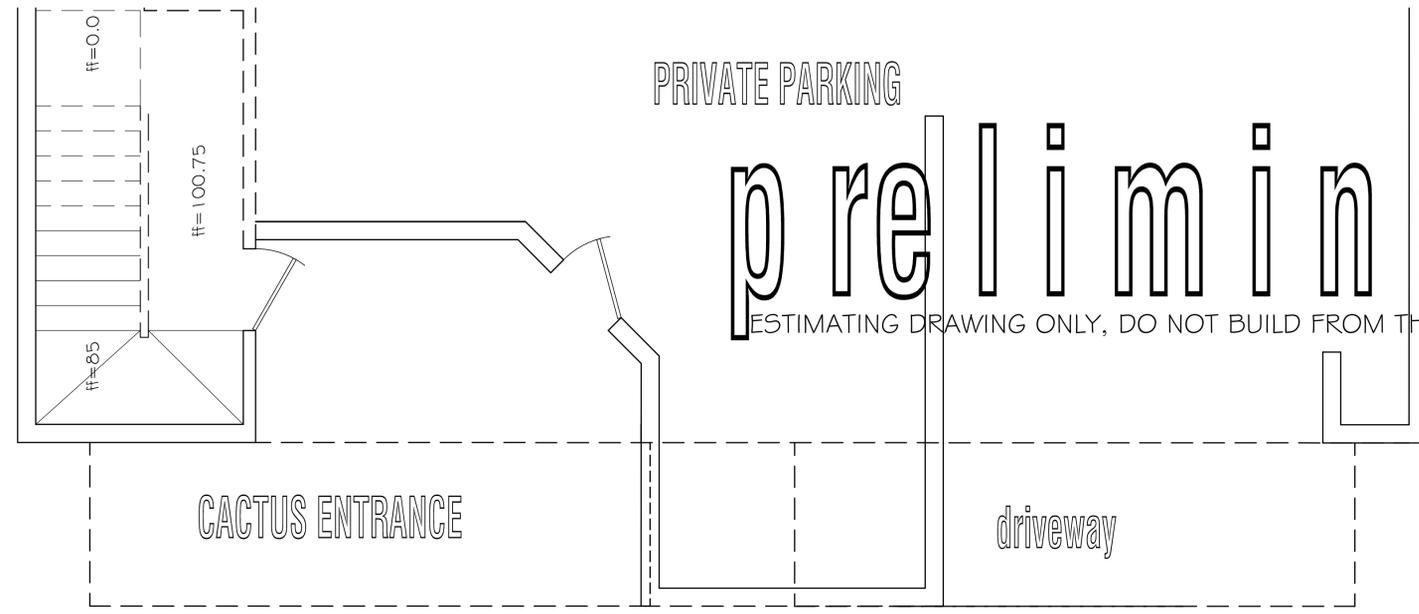
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MAIN STREET
 FLOOR PLANS

REVISIONS	BY

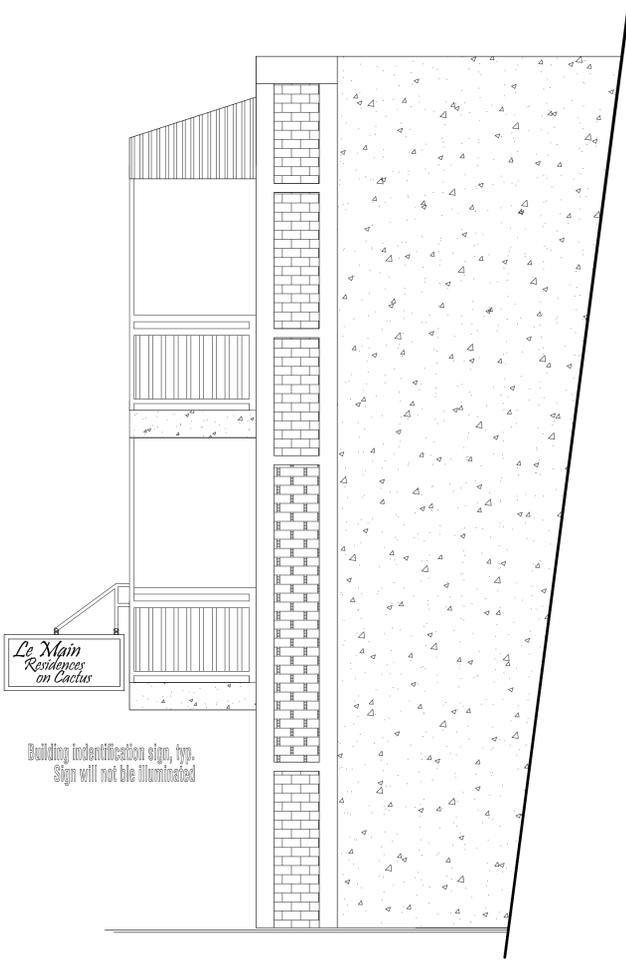
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 928-202-2028



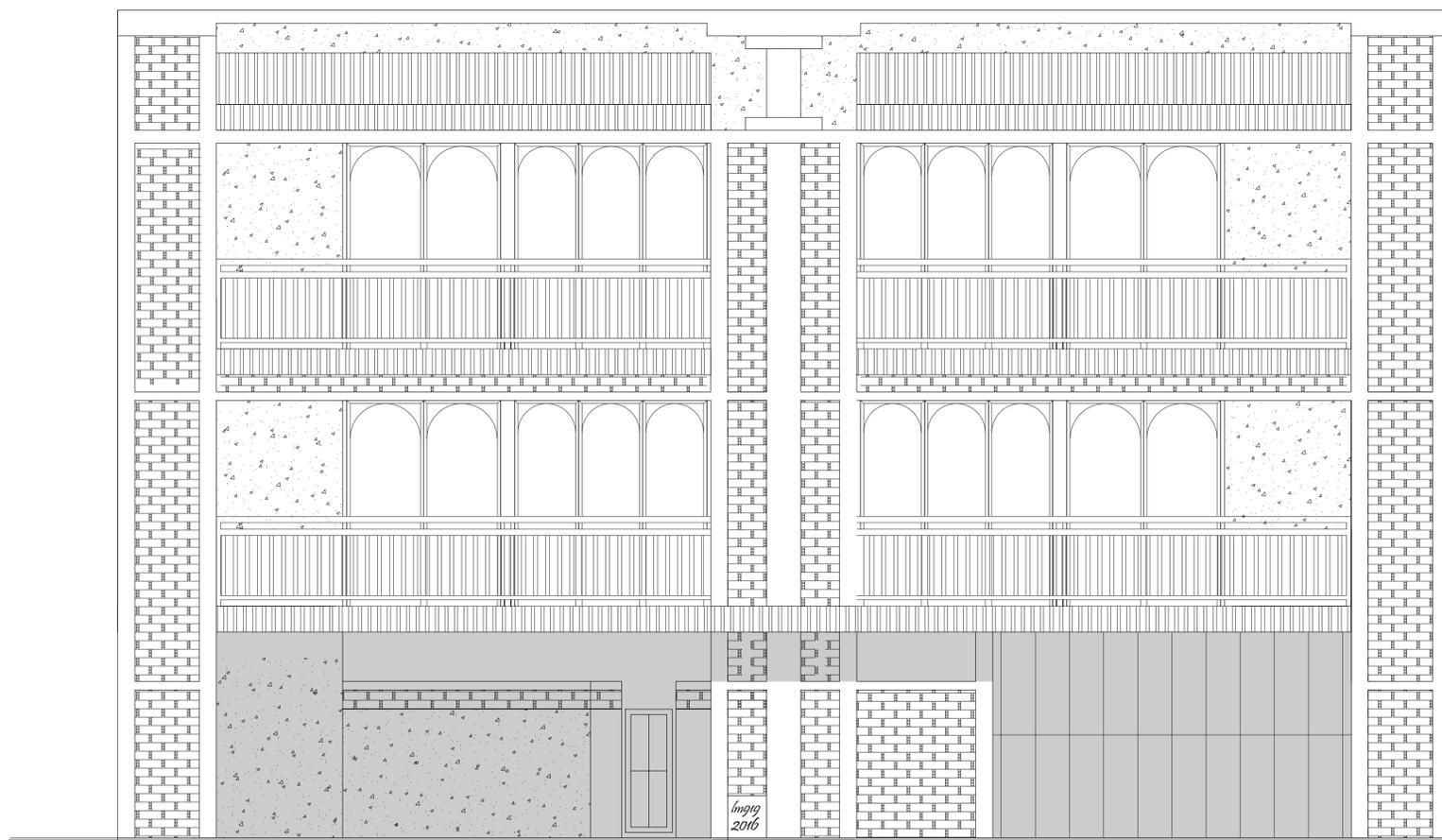
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current maximum building height in c-1 zone



LOOKING NORTH

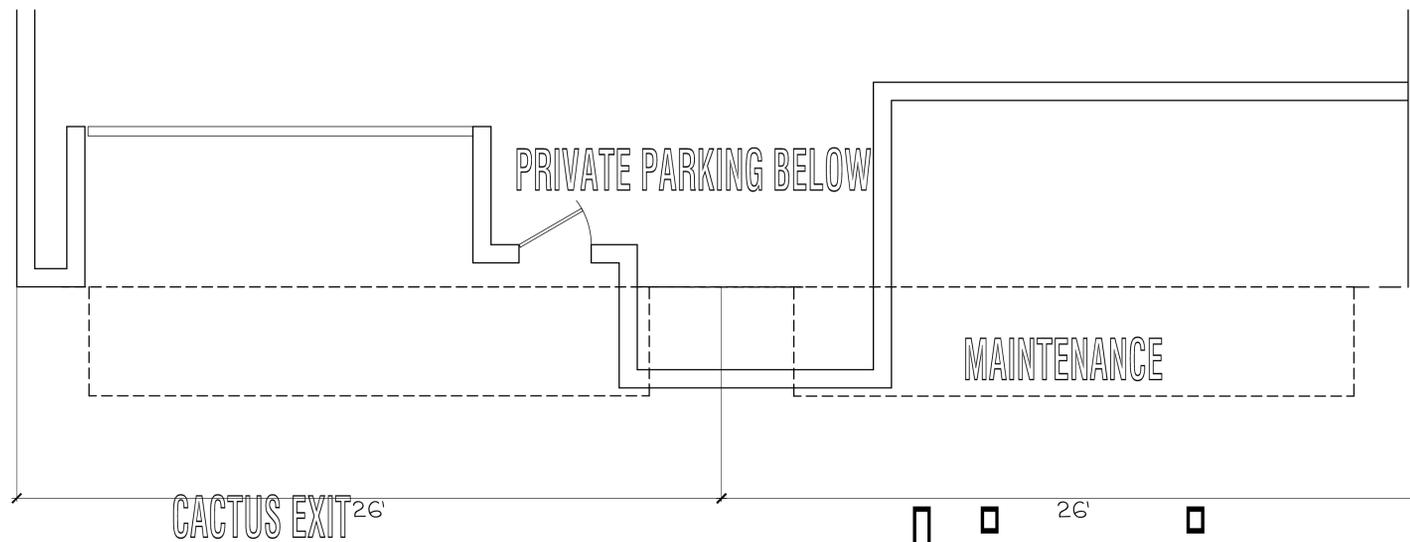


LOOKING EAST

CACTUS STREET
 ELEVATIONS

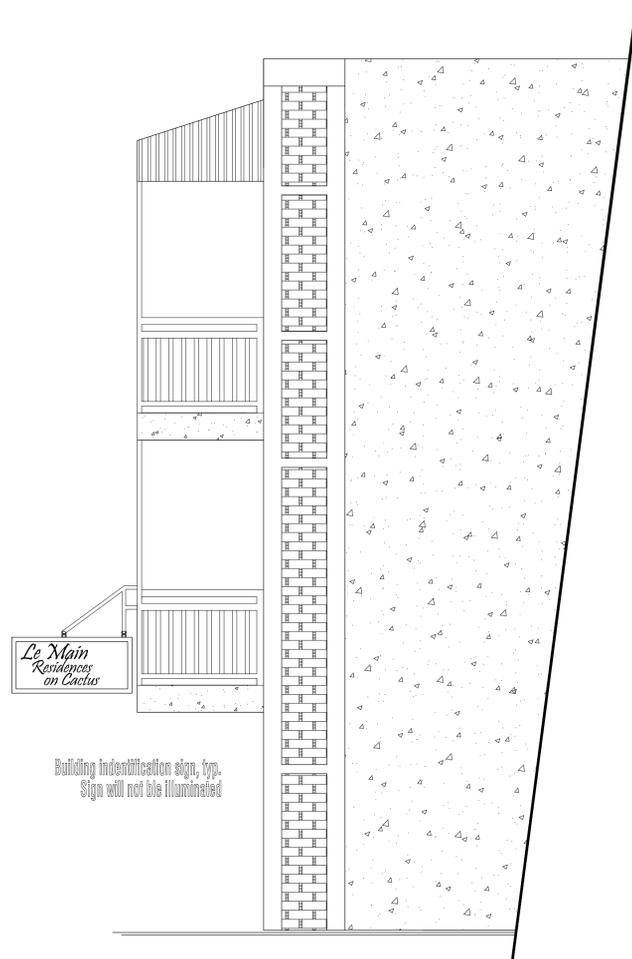
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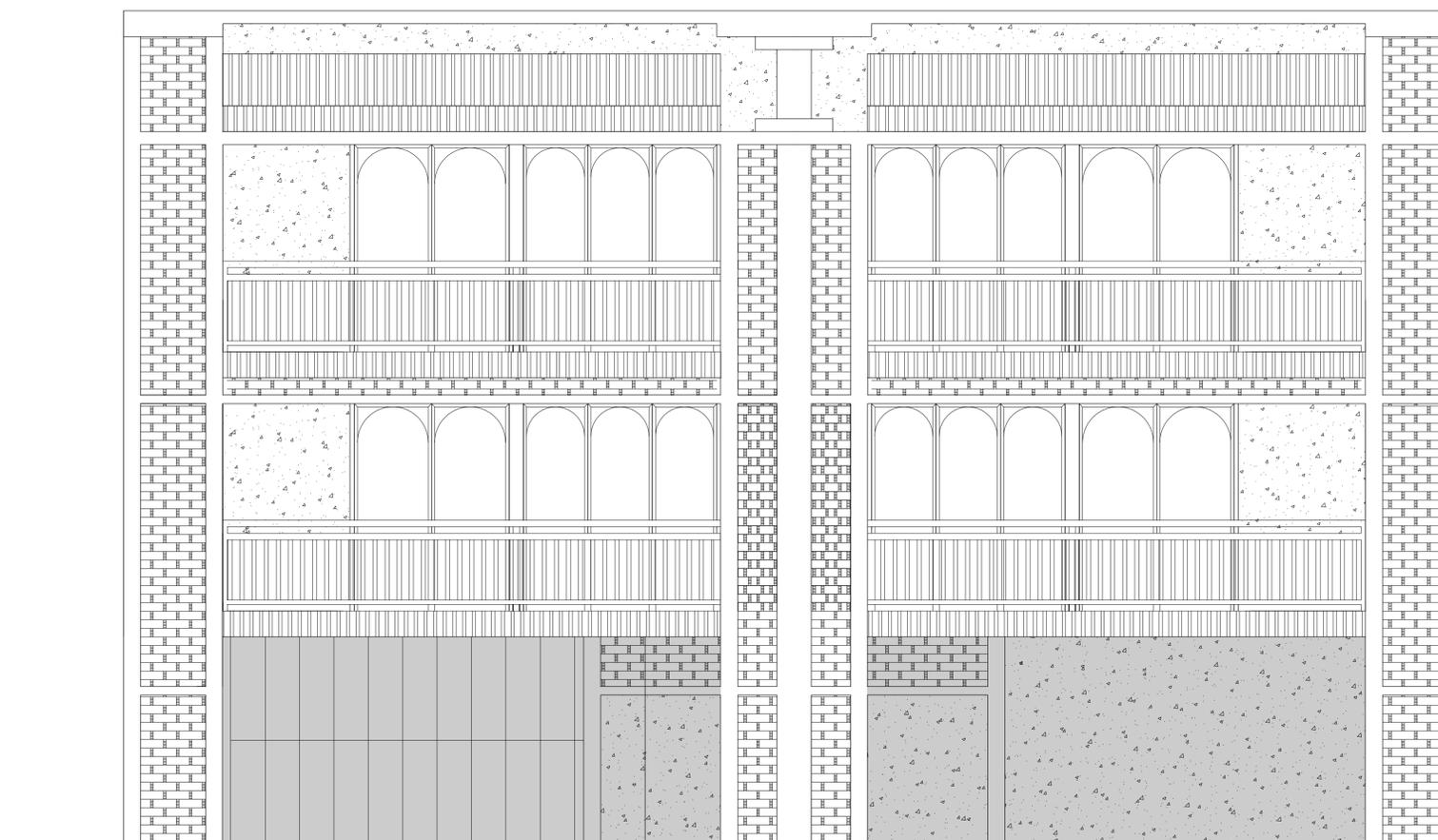


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LOOKING SOUTH



LOOKING WEST

F.E. @ TOW 0+33'-0"

C.H. @ 3RD FLR 0+348

F.F. @ 3RD FLR 0+228

F.F. @ 2ND FLR 0+108

F.F. @ EXIT 0+00

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CACTUS STREET
ELEVATIONS



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Ceiling fire rated area separation

PARKING LEVEL FLOOR PLAN

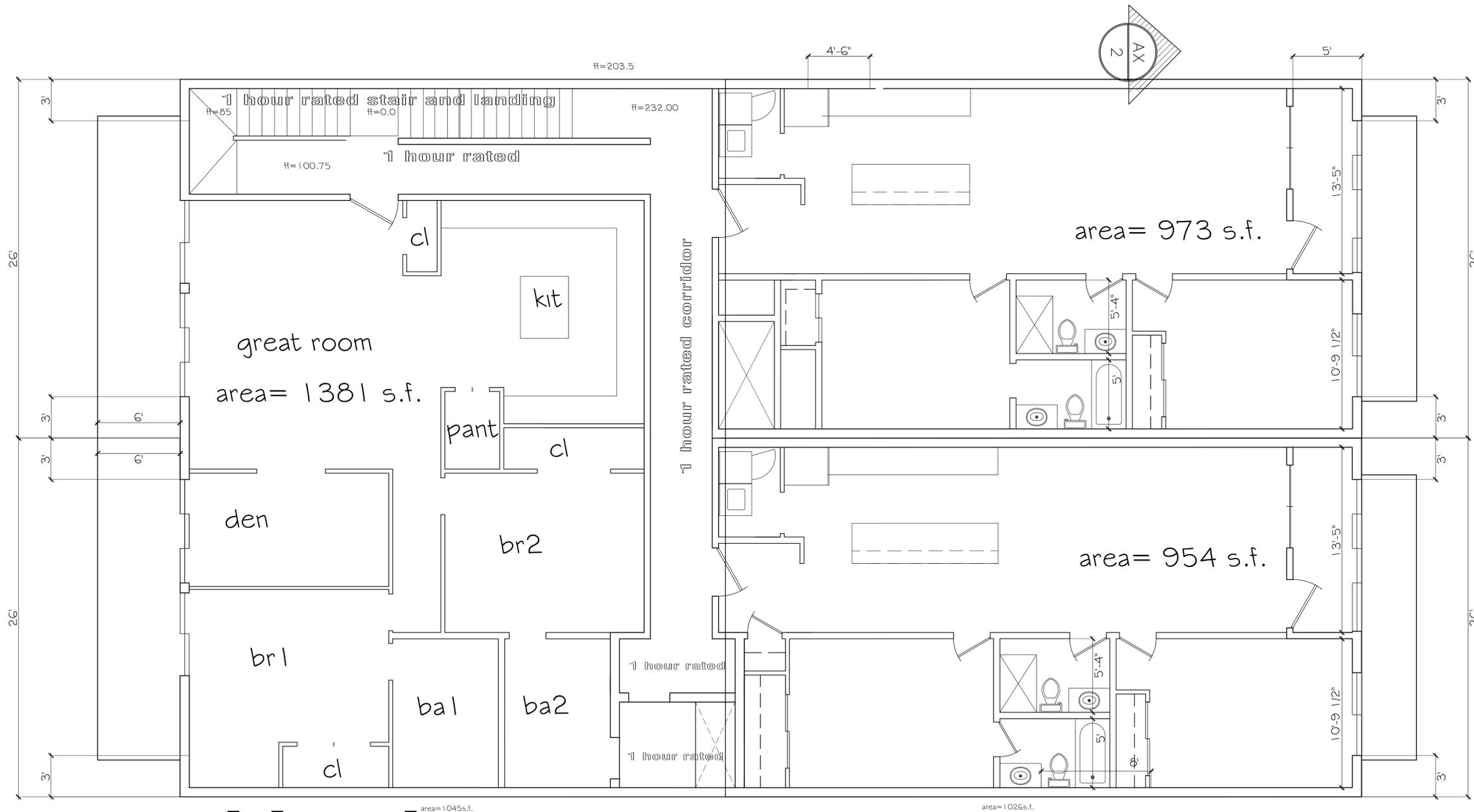
CACTUS STREET
 PARKING LEVEL

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FLOOR 2/3 RESIDENCE PLAN(S)

CACTUS STREET
SCHEMATIC FLOOR PLANS

REVISIONS	BY

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LE MAIN DEVELOPMENT PAD, MIXED USE, MAIN AND CACTUS

GENERAL CONTRACTORS NOTES & SPECIFICATIONS

GENERAL:

- ALL CONSTRUCTION SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, (CURRENT EDITION AT THE TIME IT WAS DRAFTED), AS LOCALLY AMENDED, AND ALL APPLICABLE CODES & ORDINANCES. IT IS THE RESPONSIBILITY OF THE PURCHASER AND/OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE AND FEDERAL).
- CONTRACTOR IS OBLIGATED TO OBTAIN A FULL AND CLEAR UNDERSTANDING OF THE PLANS, NOTES AND CONCEPTS CONTAINED HEREIN PRIOR TO THE START OF ANY WORK.
- AFTER THE SIGNING OF ANY WORK AGREEMENTS, THERE WILL BE NO CONSIDERATION GIVEN TO ANY CLAIM OF MISUNDERSTANDING OF THE DRAWINGS, DETAILS, CONCEPTS, ETC. AS THEY APPLY TO THE PLANS.
- CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS BEFORE STARTING ANY WORK.
- CONTRACTOR WILL INSURE THAT ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE REQUIREMENTS OF ALL PERTINENT GOVERNMENTAL CODES AND REQUIREMENTS.
- PRIOR TO STARTING ANY EXCAVATION, CONSTRUCTION AND/OR DEMOLITION WORK - THE CONTRACTOR SHALL WALK THE PROJECT SITE WITH THE OWNER TO VERIFY WHAT WORK WILL BE TAKING PLACE.
- CONTRACTOR IS OBLIGATED TO PERFORM ALL WORK IN A GOOD CRAFTSMANSHIP/WORKMANSHIP MANNER ACCORDING TO ALL MANUFACTURERS SPECIFICATIONS.
- THE DRAWINGS, INCLUDING ANY NOTES, SPECIFICATIONS, AND/OR REPORTS ARE TO BE INTERPRETED AS ONE DOCUMENT. HOWEVER, SHOULD ANY ITEM APPEAR IN ONLY ONE AND NOT THE OTHER, SUCH ITEMS ARE STILL TO BE CONSIDERED VALID COMPONENTS OF THE OVERALL DOCUMENT.
- THE CONTRACTOR SHALL NOT PROCEED WITH WORK IF THERE IS AN ERROR, OMISSION, OR DISCREPANCY THAT IS DISCOVERED IN THE DRAWINGS UNTIL CONTACT WITH THE OWNER HAS BEEN ESTABLISHED FOR SPECIFIC INSTRUCTIONS AS TO HOW TO CONTINUE.
- ANY WORK THAT IS NOT EXPLICITLY ILLUSTRATED OR NOTED IN THE DRAWINGS BUT CLEARLY REQUIRED AS NECESSARY TO COMPLETE THE PROJECT SHALL BE INCLUDED AND EXECUTED AS AN INTEGRAL PART OF THE ORIGINAL SCOPE OF WORK WITH NO ADDITIONAL COST TO THE OWNER.
- SHOULD THERE BE ANY ARCHITECTURAL DISCREPANCIES BETWEEN THE ARCHITECTURAL DRAWINGS VERSUS SUPPLEMENTAL DRAWINGS (I.E. ELECTRICAL, MECHANICAL, LANDSCAPE, CIVIL, ETC.) THE ARCHITECTURAL DRAWINGS SHALL ALWAYS BE USED AS THE PREDOMINANT SOURCE OF INFORMATION.
- WHEN QUESTIONS ARISE OVER A SCALED DIMENSION VERSUS A WRITTEN DIMENSION, THE WRITTEN DIMENSION SHALL ALWAYS SUPERSEDE THE SCALED DIMENSION.
- ALL AND ANY SUBSTITUTIONS (INCLUDING BUT NOT LIMITED TO: DESIGN, METHODS, COLORS, TEXTURES AND/OR MATERIALS) THAT DEVIATE FROM THE APPROVED PERMITTED SET OF CONSTRUCTION DRAWINGS MUST BE APPROVED BY THE OWNER. FAILURE TO NOTIFY THE OWNER AND WHEN NECESSARY, CITY INSPECTORS, OF ANY DEVIATIONS FROM DRAWINGS WILL BE CAUSE FOR "STOP OF WORK" UNTIL ALL DEVIATIONS ARE RECTIFIED PER THE APPROVAL OF THE OWNER. ALL AND ANY EXPENSE INCURRED TO RECTIFY SUCH DEVIATIONS WILL BE DONE SOLELY AT THE GENERAL CONTRACTORS EXPENSE.
- IN THE EVENT THAT HAZARDOUS MATERIALS AND/OR CONDITIONS ARE ENCOUNTERED THEY MUST BE ADDRESSED & COMPLY WITH ALL PERTINENT GOVERNMENTAL CODES AND REQUIREMENTS. IF ANY SUCH REMEDIES ARE REQUIRED, COSTS SHALL BE NEGOTIATED BETWEEN OWNER AND CONTRACTOR.

CONCRETE AND FOUNDATIONS:

- ALL FOOTINGS SHALL BE 3000 PSI (28 DAY COMPRESSIVE STRENGTH CONCRETE) WITH (2) HORIZ. #4 REBAR CONTINUOUS (OVERLAP REBAR 30 BAR DIAMETERS) & VERTICAL #4 DOWELS (6" x 16") AT 32" O.C. ALTERNATE BEND DIRECTION IN FOOTING. BOTTOM OF FOOTINGS SHALL BE A MINIMUM OF 12" BELOW FINISHED GRADE AND ALWAYS BELOW FROST LINE. FOOTING SIZE - 16" (WIDE) MIN. X 8" (HIGH), UNLESS NOTED OTHERWISE.
- ALL FOUNDATION WALLS SHALL BE 8" x 8" x 16" C.M.U. GROUTED SOLID, UNLESS NOTED OTHERWISE. PROVIDE REINFORCEMENT AS FOLLOWS: (1) #4 HORIZ. REBAR CONTINUOUS (OVERLAP REBAR 30 BAR DIAMETERS) AT TOP & BOTTOM - VERT. #4 BARS AT 32" O.C. - UNLESS NOTED OTHERWISE.
- ALL SLABS ON GRADE SHALL BE 3000 PSI (28 DAY COMPRESSIVE STRENGTH CONCRETE), UNLESS NOTED OTHERWISE.
- ALL SLABS ON GRADE SHALL BE 4" THICK (MIN.) AND REINFORCED WITH 6"x6"-W1.4xW1.4 WELDED WIRE MESH (W.W.M.), AND BEAR ON 4" (MIN.) COMPACTED AGGREGATE BASE COURSE (COMPACTED TO 95%) UNLESS NOTED OTHERWISE.
- INTERIOR SLABS SHALL HAVE 6 MIL. POLYETHYLENE VAPOR BARRIER UNDERNEATH (GARAGE SLAB NOT INCLUDED).
- PROVIDE PROPER EXPANSION AND CONTROL JOINTS (KEYED OR SAWCUT) NOT TO EXCEED 400 SQUARE FEET AREA OR AS PER LOCAL CODE.
- FOUNDATION WALLS ARE NOT TO BE BACKFILLED UNTIL FLOOR SYSTEM IS COMPLETELY IN PLACE.
- INSTALL 1/2" DIA. x 10" ANCHOR BOLTS TO 2x6 PRE-TREATED SILL PLATE OVER SILL SEALER AT 32" O.C. NOT MORE THAN 12" FROM ANY CORNER OR END OF PLATE.
- IN THE EVENT THAT STEPPED FOOTINGS ARE REQUIRED - HORIZONTAL DIMENSION - 32" (MIN.); VERTICAL DIMENSION - 24" (MAX.)
- APPLY WATERPROOF MEMBRANE / COATING TO EXTERIOR OF ALL FOUNDATION WALLS.

STEEL:

- ALL REINFORCING STEEL FOR CONCRETE SHALL COMPLY WITH ASTM SPECIFICATION A-615 GRADE 60.
- ALL STRUCTURAL STEEL FOR BEAMS AND PLATES SHALL COMPLY WITH ASTM SPECIFICATION A-36.
- ALL STRUCTURAL STEEL FOR STEEL COLUMNS SHALL COMPLY WITH ASTM SPECIFICATION A-53 GRADE B OR A-501.
- PROVIDE (1) #5 REBAR VERTICALLY AT BEAM POCKET LOCATIONS.
- STEEL COLUMNS ARE TO BE 3" I.D. (INSIDE DIAMETER) UNLESS NOTED OTHERWISE.

FRAMING MEMBERS:

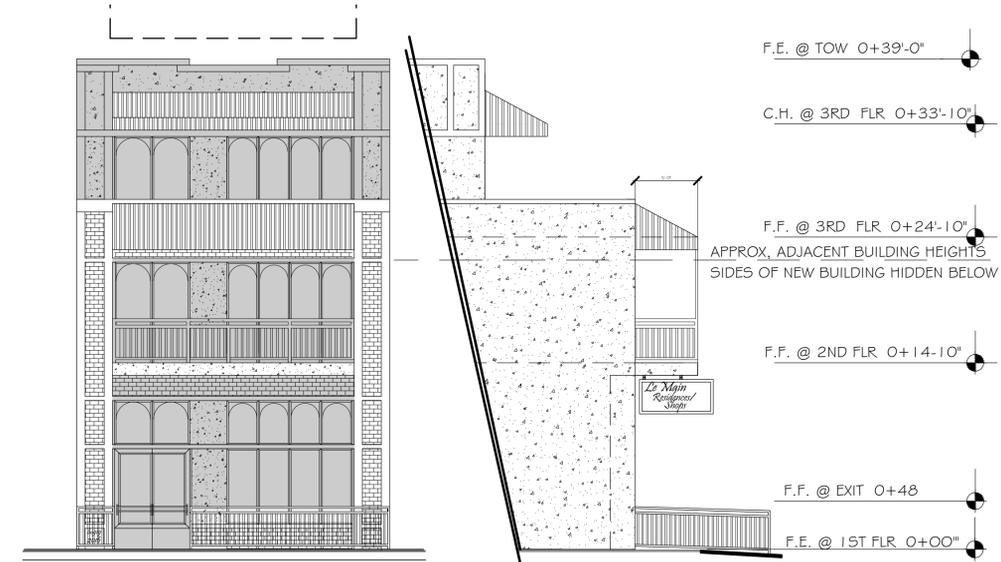
- ALL FRAMING LUMBER TO BE DOUGLAS FIR-LARCH #2 (DFL #2) OR BETTER, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO CONFIRM THE SIZE, SPACING AND SPECIES OF ALL FRAMING AND STRUCTURAL MEMBERS TO MEET LOCAL CODE REQUIREMENTS PER LOCAL STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
- ANY STRUCTURAL OR FRAMING MEMBERS NOT INDICATED ON THE PLAN ARE TO BE SIZED BY THE CONTRACTOR PER LOCAL STRUCTURAL ENGINEER.
- ALL EXTERIOR WALLS ARE 2x6 STUDS AT 16" O.C. & ARE DIMENSIONED FROM OUTSIDE EDGE OF EXTERIOR SHEATHING TO INSIDE EDGE OF STUD (6" DIMENSION).
- ALL INTERIOR WALLS ARE DIMENSIONED FROM EDGE OF STUD TO EDGE OF STUD.
- ALL EXTERIOR WALLS ARE TO BE CONTINUOUSLY SHEATHED WITH 5/8" EXTERIOR WALL SHEATHING 5/8" CDX PLYWOOD OR O.S.B.). WALL SHEATHING SHALL BE INSTALLED W/ 8d NAILS AT 4" O.C. AT ALL PANEL EDGES & 12" O.C. ON ALL FRAMING MEMBERS NOT AT PANEL EDGES.
- CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- ALL FRAMED WALLS HAVE A FINISHED HEIGHT AS NOTED ON PLANS
- ALL ANGLED WALLS ON FLOOR PLANS ARE AT A 45 DEGREE ANGLE, UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE, ABOVE ALL OPENINGS THAT ARE:
 - INTERIOR NON-LOAD BEARING LESS THAN OR EQUAL TO 6'-0" USE: (2) 2 x10 DF #1 OR EQUIVALENT.
 - INTERIOR NON-LOAD BEARING GREATER THAN 6'-0" USE: (2) 1-3/4" x 9-1/4" 1.9E LVL HEADER OR EQUIVALENT.
 - INTERIOR LOAD BEARING OR EXTERIOR LESS THAN OR EQUAL TO 3'-0" USE: (2) 2 x10 DF #1 OR EQUIVALENT.
 - INTERIOR LOAD BEARING OR EXTERIOR 3'-0" - 5'-0" USE: (2) 1-3/4" x 9-1/4" 1.9E LVL OR EQUIVALENT.
 - INTERIOR LOAD BEARING OR EXTERIOR 5'-0" - 8'-0" USE: (2) 1-3/4" x 11-7/8" 1.9E LVL OR EQUIVALENT.
 - ALL OVERHEAD GARAGE DOORS USE: (2) 1-3/4" x 14" 1.9E LVL HEADER OR EQUIVALENT.
- POSTS UNDER HEADERS, BEAMS, GIRDERS SHALL BE (2) 2 x STUDS OR GREATER x MATCHING WALL THICKNESS - U.O.
- ALL FLOOR & ROOF TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER ACCORDING TO THE LOADING INDICATED ON THE PLAN.
- UNLESS NOTED OTHERWISE ALL ROOF FRAMING SHALL BE PRE-MANUFACTURED ROOF TRUSSES PER THE ROOF TRUSS MANUFACTURER.
- ALL FRAMING CONNECTORS ARE TO BE SIMPSON COMPANY OR EQUIVALENT.

MISCELLANEOUS:

- N/A
- ALL MATERIALS, SUPPLIES AND EQUIPMENT TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AND AS PER LOCAL CODES AND REQUIREMENTS.
- N/A
- 5/8" GYPSUM BOARD ON ALL INTERIOR WALLS AND 5/8" GYPSUM BOARD ON ALL CEILINGS. ALL WALLS AND CEILINGS FIRE RATED GWB.
- N/A
- N/A
- N/A
- PROVIDE ATTIC ACCESS.
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND BE RESOLVED BEFORE PROCEEDING WITH THE WORK.
- REMOVE ALL MATERIALS RESULTING FROM DEMOLITION WORK FROM THE SITE IN SUCH A MANNER AS TO AVOID CREATING A NUISANCE.
- THE CONTRACTOR OR SUBCONTRACTOR SHALL INSPECT THE PREMISES PRIOR TO COMMENCING WORK TO CHECK EXISTING WORKING CONDITIONS. SHOULD CONTRACTOR OR SUBCONTRACTOR FIND CONDITIONS WHICH THEY BELIEVE WOULD IMPEDE THEIR WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO SO ADVISE WILL CONSTITUTE NOTICE THAT THE CONTRACTOR IS FULLY SATISFIED AND THAT THEY INTEND TO PERFORM THEIR OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. IF DIMENSIONAL ERRORS OCCUR OR CONDITIONS NOT COVERED ON THE DRAWINGS IS ENCOUNTERED CONTRACTOR SHALL NOTIFY THE OWNER BEFORE COMMENCING THAT PORTION OF THE WORK.
- DETAILS, NOTES, AND FINISHES SHALL BE APPLICABLE TO ALL TYPICAL CONDITIONS, WHETHER OR NOT REFERENCED AT ALL PLACES. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND BE OF THE BEST MATERIALS AND WORKMANSHIP.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGES THROUGHOUT CONSTRUCTION THEY SHALL MEET THE LATEST REQUIREMENTS OF THE UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH STANDARDS AND COMPLY WITH THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, ALL APPLICABLE SAFETY AND SANITARY LAWS, REGULATIONS AND ORDINANCES, AND ANY SAFETY RULES OR PROCEDURES ESTABLISHED BY THE OWNER FOR ANY IMPEDIMENTS TO WORK.
- THE CONTRACTOR IS EXCLUSIVELY RESPONSIBLE FOR LOSS OR EXPENSE RESULTING FROM INJURY ON THE PROJECT SITE. THEY ASSUME ALL RISKS IN THE PERFORMANCE OF THE WORK AND IS RESPONSIBLE FOR SUPERVISION, MATERIALS, EQUIPMENT AND LABOR REQUIRED TO IMPLEMENT THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION AND ALL PHASES OF ITS CONTRACT. THEY ARE ALSO RESPONSIBLE FOR SCHEDULING, COORDINATING, MANAGEMENT AND ADMINISTRATION OF SUBCONSULTANTS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES AND PROTECT THE SAME.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
- ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER, ACCEPTABLE TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS IN WRITING FOR A PERIOD OF 2 YEAR(S) FROM THE DATE OF CERTIFICATE OF OCCUPANCY.
- UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.

ABBREVIATIONS

A.B.	ANCHOR BOLT	JAN	JANITOR
A.B.C.	AGGREGATE	JT.	JOINT
A/C	BASE COURSE	KIT.	KITCHEN
ACOUS.	AIR CONDITIONING	LAM.	LAMINATE
ADJ.	ADJUSTABLE	LAV.	LAVATORY
A.F.F.	ABOVE FINISHED FLOOR	L.F.	LINEAR FOOT
AGG.	AGGREGATE	LT.	LIGHT
ALUM.	ALUMINUM	MAX.	MAXIMUM
ALT.	ALTERNATE	MECH.	MECHANICAL
APPROX.	APPROXIMATE	MED.CAB.	MEDICINE CABINET
ARCH.	ARCHITECTURAL	MEMB.	MEMBRANE
ASPH.	ASPHALT	MTL.	METAL
		MFR.	MANUFACTURER
BD.	BOARD	MIR.	MIRROR
B.D.G.	BUILDING	MISC.	MISCELLANEOUS
BLK.	BLOCK	M.O.	MASONRY OPENING
BLK.G.	BLOCKING	M.R.	MOISTURE
BM.	BEAM		RESISTANT
B.O.	BOTTOM OF	MTD.	MOUNTED
BOT.	BOTTOM	MUL.	MULLION
B.U.	BUILT-UP		
		N	NORTH
CAB.	CABINET	N.C.	NOT IN CONTRACT
C.B.	CORNER BEAD	NO. OR #	NUMBER
C.T.	CERAMIC TILE	N.T.S.	NOT TO SCALE
CHAN.	CHANNEL		
CI.	CAST IRON	O.A.	OVERALL
C.I.P.	CAST IN PLACE	O.C.	ON CENTER
C.J.	CONSTRUCTION / CONTROL JOINT	O.D.	OUTSIDE DIAMETER
CLG.	CEILING	O.F.C.I.	OWNER FURNISHED/ CONTRACTOR INSTALLED
CLO.	CLOSET	OFF.	OFFICE
CLC.	CLERK	OPNG.	OPENING
C.M.U.	CONCRETE	OPP.	OPPOSITE
	MASONRY UNIT		
CNTRS.NK.	COUNTERSINK	PNLG.	PANELING
CNTR. TOP	COUNTER TOP	PAR.	PARAPET
C.O.	CLEAN OUT	PARTN	PARTITION
COL.	COLUMN	PL.	PLATE OR PROPERTY LINE
CONC.	CONCRETE	P.I.A.M.	PLASTIC LAMINATE
CONN.	CONNECTION	PLAS.	PLASTER
CONSTR.	CONSTRUCTION	PL.	PLASTER
CONT.	CONTINUOUS	P.V.C.	POLYVINYL CHLORIDE
CONTR.	CONTRACTOR	PLYWD.	PLYWOOD
CORR.	CORRIDOR		
CTR.	CENTER	Q.T.	QUARRY TILE
C.W.	COLD WATER		
		R.	RISER
DRL.	DOUBLE	RAD.	RADIUS
DEPT.	DEPARTMENT	R.A.	RETURN AIR
D.F.	DRAINAGE FLOW	R.D.	ROOF DRAIN
DIA.	DIAMETER	REDWD.	REDWOOD
DM.	DIMENSION	REF.	REFERENCE
DSP.	DISPENSER	REFRIG.	REFRIGERATOR
DN.	DOWN	RENF.	REINFORCED
DNSPT.	DOWNSPOUT	REQD.	REQUIRED
D.O.	DOOR OPENING	RESIL.	RESILIENT
DR.	DOOR	RM.	ROOM
DTL.	DETAIL	R.O.	ROUGH OPENING
DWG.	DRAWING	ROOFG.	ROOFING
DWR.	DRAWER		
		S.	SOUTH
E.	EAST	S.A.	SUPPLY AIR
E.A.	EACH	S.C.	SOLID CORE
E.J.	EXPANSION JOINT	SCHED.	SCHEDULE
ELEC.	ELECTRICAL	SECT.	SECTION
ELEC. PAN.	ELECTRICAL PANELBOARD	SQ. FT.	SQUARE FEET
ELEV.	ELEVATION	SH.	SHelf
EMER.	EMERGENCY	SHR.	SHOWER
ENCL.	ENCLOSURE	SHT.	SHEET
EQ.	EQUAL	SHB.	SHIBLAR
EQUIP.	EQUIPMENT	SPEC.	SPECIFICATION
EXST.	EXISTING	SQ.	SQUARE
EXT.	EXPANSION	S.S.	STAINLESS STEEL
	EXTERIOR	STD.	STANDARD
F.D.	FLOOR DRAIN	STL.	STEEL
F.F.	FIBERGLASS FIBRE	STOR.	STORAGE
F.E.	EXTINGUISHER	STRUC.	STRUCTURAL
F.E.C.	FIRE EXT-GUISHER CAB.	SUSP.	SUSPENDED
		SYM.	SYMMETRICAL
FFE.	FRESH FLOOR	T.	TREAD
F.G.	FINISH GRADE	TEL.	TELEPHONE
FN.	FINISH	T & G	TONGUE AND GROOVE
FXT.	FIXTURE	THK.	THICK
FLASHG	FLASHING	T.O.	TOP OF
FLR.	FLOOR	T.O.C.	TOP OF CURB
FLUOR.	FLOURESCENT	T.O.W.	TOP OF WALL
FRF.	FIREPROOF	T.S.	TUBE STEEL
FRMG.	FRAMING	T.T.B.	TELEPHONE TERMINAL BOARD
FT.	FOOT OR FEET	TYP.	TYPICAL
FIG.	FOOTING	U.N.O.	UNLESS NOTED OTHERWISE
FURN.	FURNITURE	URNAL.	URNAL
FURR.	FURNING		
		V.C.T.	VINYL COMPOSITION TILE
GA.	GALVE	VERT.	VERTICAL
GL.	GLASS	VTR.	VENT-THRU ROOF
G.L.B.M.	GLU-LAM BEAM		
GR.	GRADE	W.	WEST
GRND.	GROUND	W & W/O	WITH AND WITHOUT
G.W.B.	GYPSUM BOARD.	W.C.	WATER CLOSET
		WD.	WOOD
H.B.	HOSE BIBB	WDW	WINDOW
H.C.	HOLLOW CORE	WP.	WEATHERPROOF
HCP.	HANDCAP	WR.	WATER RESISTANT
CWDW.	HARDWOOD	W.S.	WEEP SCREEN
HDWR.	HARDWARE	WT.	WEIGHT
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		
HT.	HEIGHT		
HW.	HOT WATER		
LD.	INSIDE		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		



PROJECT DATA:

DESIGN CRITERIA

ROOF LIVE LOAD:	20 PSF (SNOW)
FLOOR LIVE LOAD:	40 PSF
DECK LIVE LOAD:	60 PSF
WIND LOAD:	90 MPH / 20 PSF
SEISMIC ZONE:	C
SOIL BEARING:	1500 PSF MAX. UNLESS A HIGHER VALUE IS SUBSTANTIATED BY SOILS TESTING

2009 INTERNATIONAL BUILDING CODE	A 1.6
2009 INTERNATIONAL ENERGY CONSERVATION CODE	A 1.7
2009 INTERNATIONAL PLUMBING CODE	A 1.8
2009 INTERNATIONAL MECHANICAL CODE	A 1.9
2009 INTERNATIONAL ELECTRICAL CODE	A 1.10
2009 INTERNATIONAL FIRE CODE	A 1.11

PHYSICAL LOCATION : VACANT LOT, WEST SIDE OF MAIN, DOWNTOWN
NO ADDRESS ASSIGNED, VACANT LOT CACTUS, NOT ADDRESSED

PARCEL #: 406-22-015, 406-22-020A
DEVELOPER : LaMain 919 LLC
MAILING ADDRESS: jchaupt@gmail.com
10008 SOUTH BEND DRIVE
SCOTTSDALE, AZ 85255

TELEPHONE: LaMain 919 LLC: 602-757-4398
CURRENT ZONING: C1

OCCUPANCY: MIXED USE B/R2
CONSTRUCTION: TYPE V - 1 HOUR

BUILDING DATA:
RETAIL: 2193 SQ. FT.
APARTMENTS (9): 10712 SQ. FT.

TOTAL: 12905 SQ. FT.

SETBACKS:

MAIN STREET COMMERCIAL LOT:
FRONT, 0 SIDES, 0, BACK 0

CACTUS STREET COMMERCIAL LOT:
FRONT, 0 SIDES, 0, BACK 5

SHEET INDEX

CS COVER SHEET
C1

A 1.0
A 1.1
A 1.2
A 1.3
A 1.4
A 1.5
A 1.6
A 1.7
A 1.8
A 1.9
A 1.10
A 1.11
A 1.12

A 2.1
A 2.2
A 2.3
A 2.4
A 2.5
A 2.6

A 3.1
A 4.1

A 4.1

A 5.1

E 1.1
E 1.2

P 1.1
P 1.2

DESIGN TEAM:

STEVE BIASINI, LANDSCAPE ARCHITECT
PROJECT MANAGER
REG. # :
735 SOUTH 3RD DTREET
WILLIAMS, AZ 86046
928-202-2029

BRENT MAUPIN, ARCHITECT
STRUCTURAL ENGINEERING
REG. # :
REG. # :

76 EAST TONTO DRIVE
SEDONA, AZ 86351
928-300-4822

DARDAN ENGINEERING, HVAC,
PLUMBING, ELECTRICAL
REG. # :
2432 W. PEORIA AVE.
PHOENIX, AZ 85029
602-331-0501

SEC, SURVEYING, HYDROLOGY
CIVIL ENGINEERING
REG. # :
825 COVE PARKWAY
COTTONWOOD, AZ 86326
928-282=7787

REVISIONS	BY

Biasini/Maupin
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-202-2029

LaMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/17/16
SCALE NTS
DRAWN SJB
JOB MJH415
SHEET NO.

CS
OF x

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!

preliminary

MAIN & CACTUS STREETS
COVER SHEET



LE MAIN DEVELOPMENT P.A.D.
MAIN STREET
COTTONWOOD, ARIZONA 86326



LE MAIN DEVELOPMENT P.A.D.
CACTUS STREET
COTTONWOOD, ARIZONA 86326



THE TAVERN GRILLE



ADOBE REALTY / ALLEY CAT



PROPOSED LE MAIN DEVELOPMENT P.A.D.



CATS MEOW



MADAMES MERCANTILE



COTTONWOOD HOTEL



ADJACENT PARKING LOT TO THE NORTH



CORNER OF PINAL & CACTUS



PROPOSED LE MAIN DEVELOPMENT P.A.D.



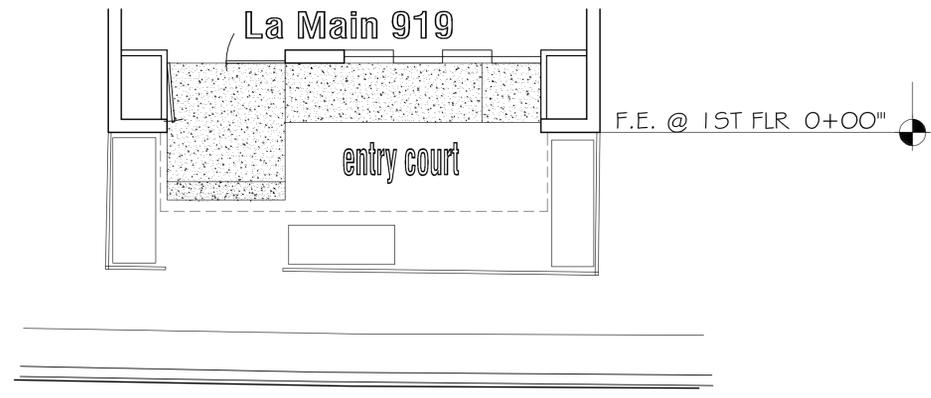
SOUTH OF PROPOSED LE MAIN DEVELOPMENT P.A.D.



CORNER OF CACTUS & PIMA

REVISIONS	BY

Biasini/Murphy
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 738 SOUTH 3RD STREET, WILLIAMS, AZ 85046
 928-202-2029

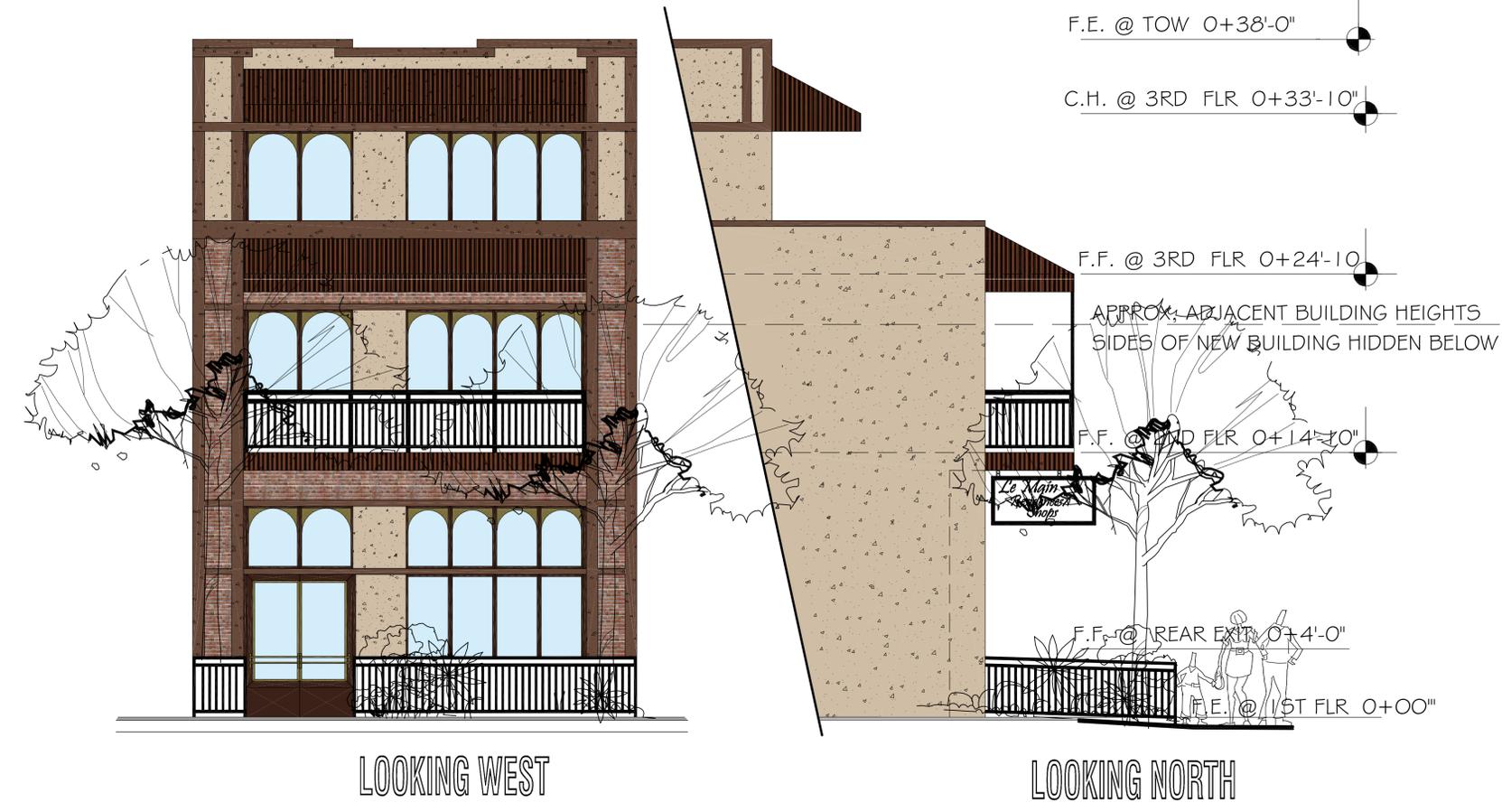


PLANT MATERIAL

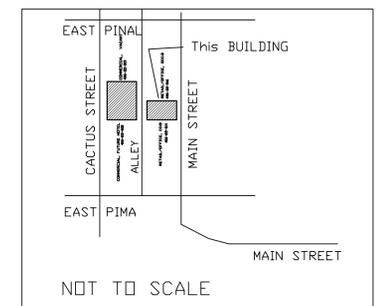
FRAXINUS RAYBERI	RAYBER ASH	#15 CANS	2
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	3
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	10



Building identification sign, typ.
Sign will not be illuminated



VICINITY MAP

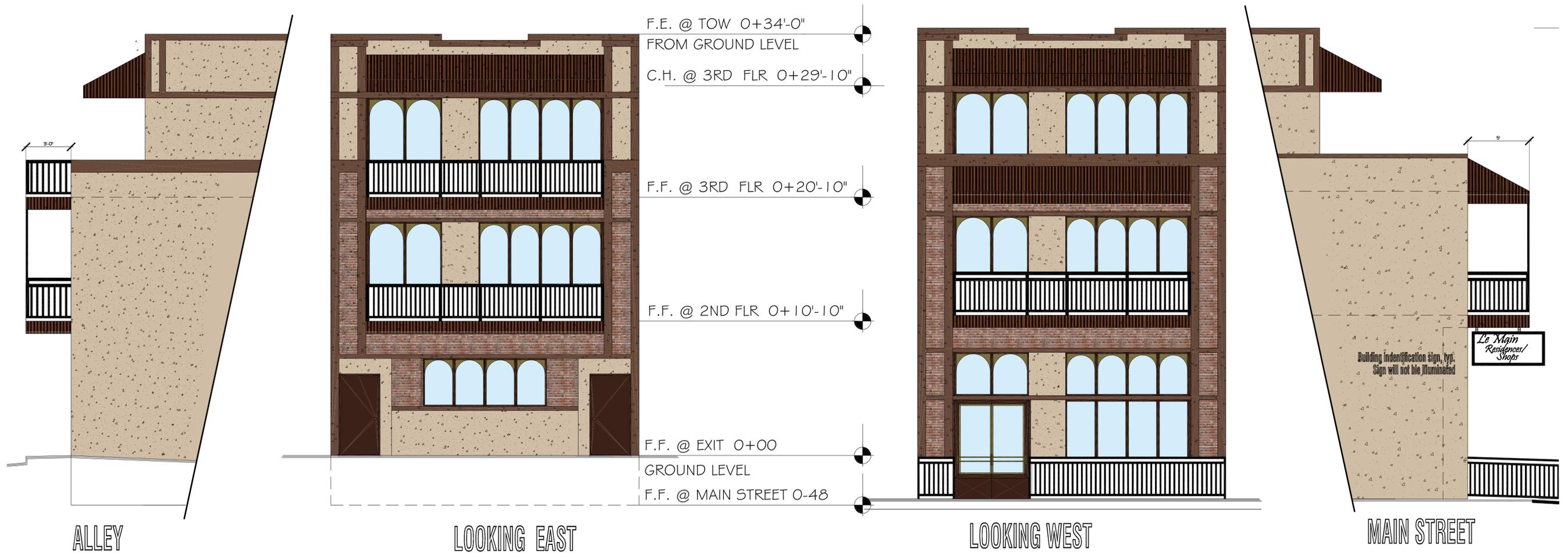


LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

preliminary
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MAIN STREET
LANDSCAPE SCHEMATIC

DATE 7/5/16
SCALE N.T.S.
DRAWN SJB
JOB MJS415
SHEET NO.
LR
OF X



preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

MAIN STREET
ELEVATIONS

REVISIONS	BY

Blasim/McWhittin
ARCHITECTURE, LANDSCAPE ARCHITECTURE
756 SOUTH 3RD STREET, WILLIAMS, AZ 85046
928-202-2029

LeMain Development P.A.D.
MAIN STREET and CACTUS
COTTONWOOD, ARIZONA 86326

DATE 7/5/16
SCALE 1/4" = 1'-0"
DRAWN SJB
JOB MJH415
SHEET NO.
A1.1
OF x

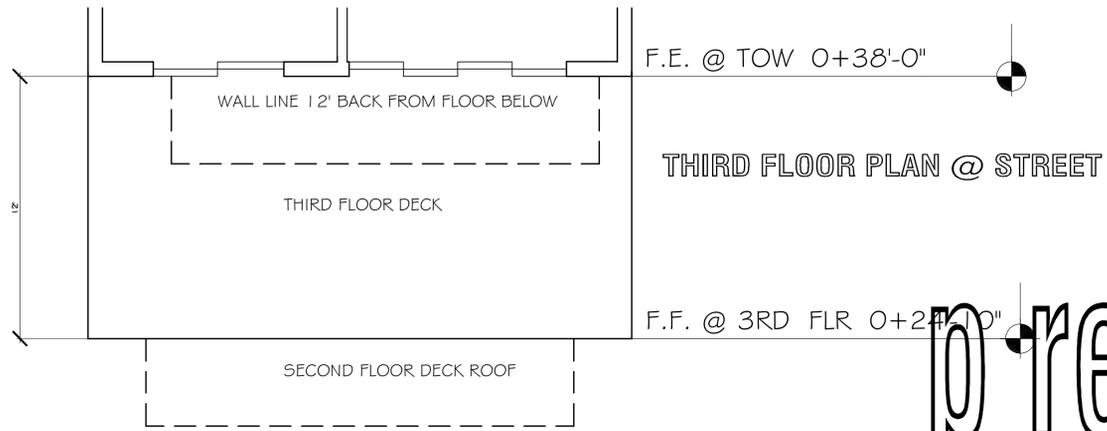
REVISIONS	BY

Basim/Mahmud
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 758 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-205-2029

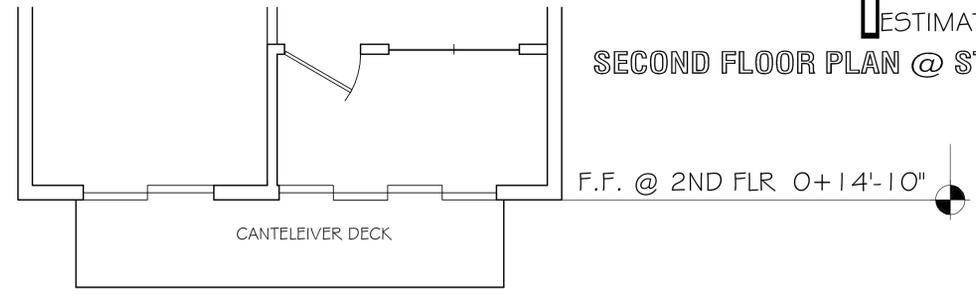
LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 7/5/16
 SCALE 1/4" = 1'-0"
 DRAWN SJB
 JOB MJH415
 SHEET NO.

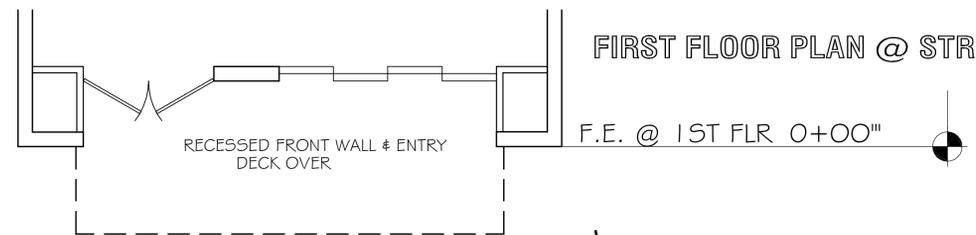
A1.3
 OF X



THIRD FLOOR PLAN @ STREET



SECOND FLOOR PLAN @ STREET

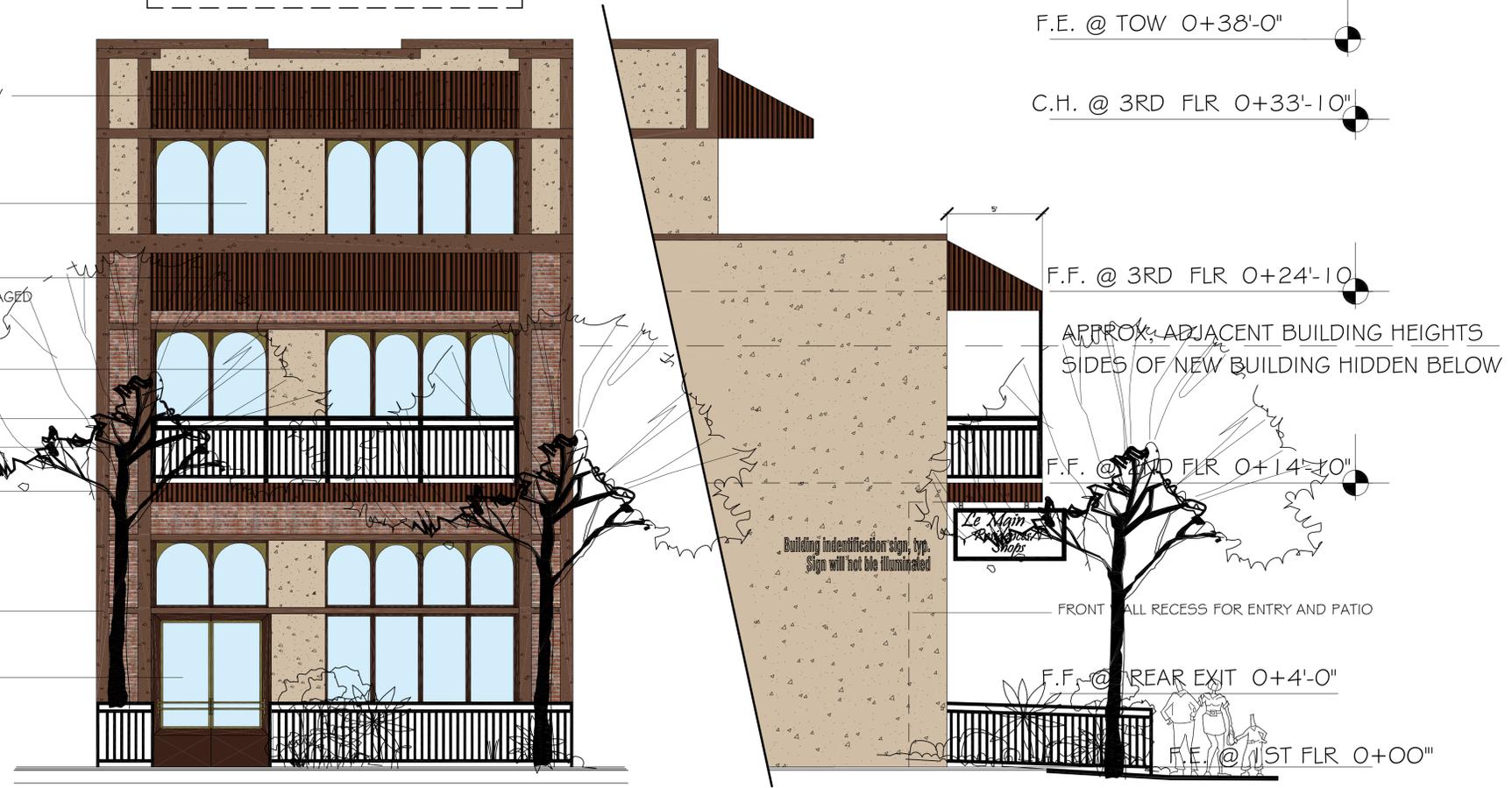


FIRST FLOOR PLAN @ STREET

preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

- WALL LINE 8' BACK FROM FLOOR BELOW
SAND FINISH STUCCO
- THIRD FLOOR DECK
- SECOND FLOOR DECK ROOF
CORRUGATED METAL ROOF, PRE-AGED
- SAND FINISH STUCCO
- RECYCLED BRICK FROM OLD BUILDING
ON SITE, TYPE "A"
- BLACK W.I. RAILING
- CANTELEIVER DECK
- SAND FINISH STUCCO
POP-OUT DETAIL, TYP.
- RECESSED FRONT WALL & ENTRY
DECK OVER

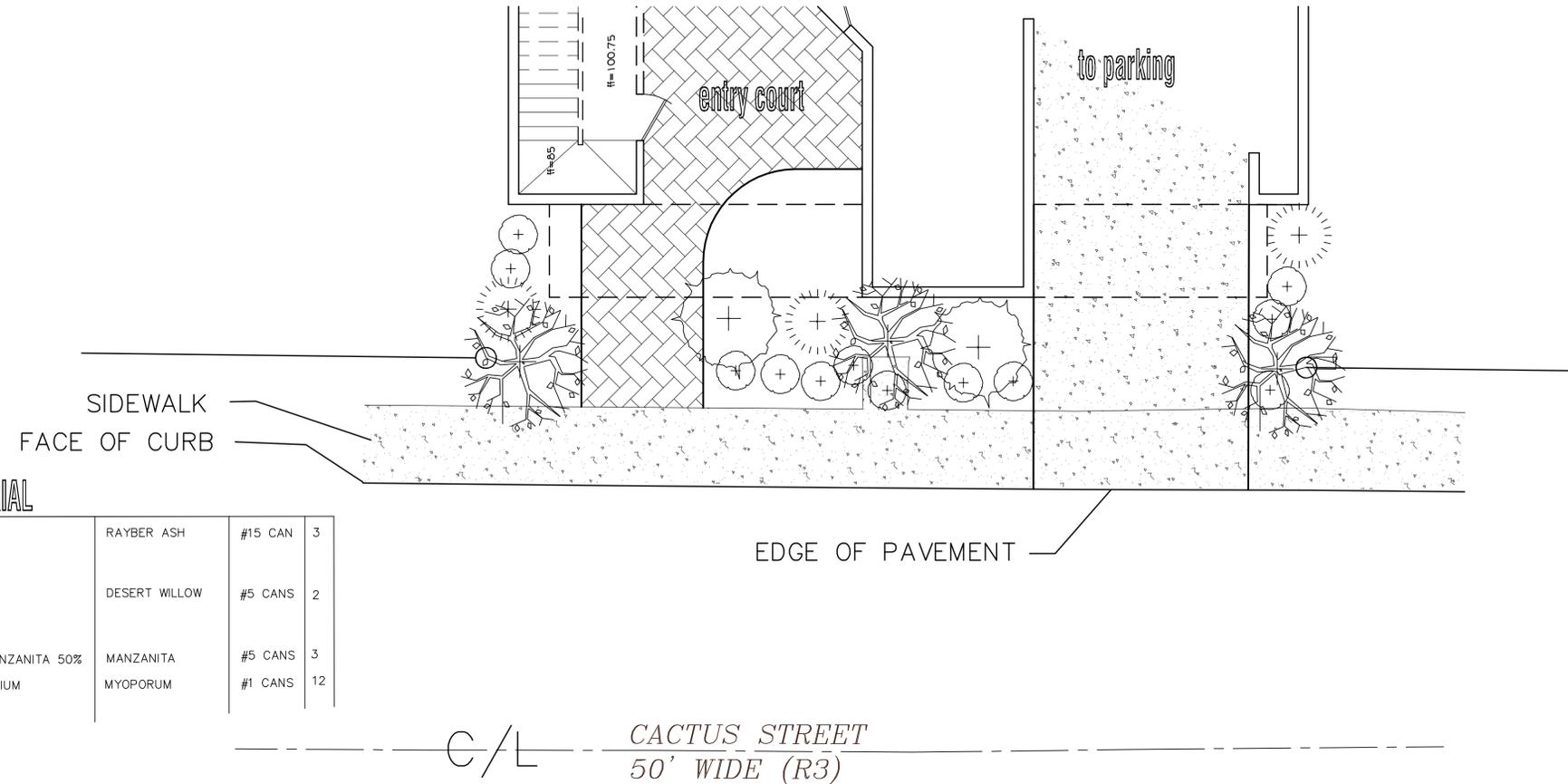


LOOKING WEST

MAIN STREET
 ILLUSTRATIONS

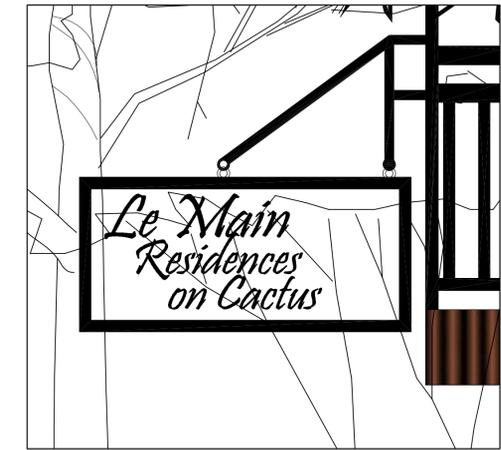
REVISIONS	BY

8 SPACES UNDER BUILDING



PLANT MATERIAL

FRAXINUS 'RAYBERI'	RAYBER ASH	#15 CAN	3
CHILIOPSIS LINEARIS	DESERT WILLOW	#5 CANS	2
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	3
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	12

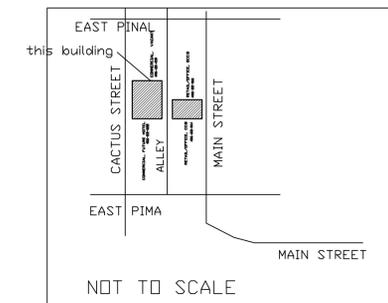


Building identification sign, typ.
Sign will not be illuminated

Basim/Murphy
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 738 SOUTH 3RD STREET, WILLIAMS, AZ 86048
 928-202-2029



VICINITY MAP



LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

preliminary

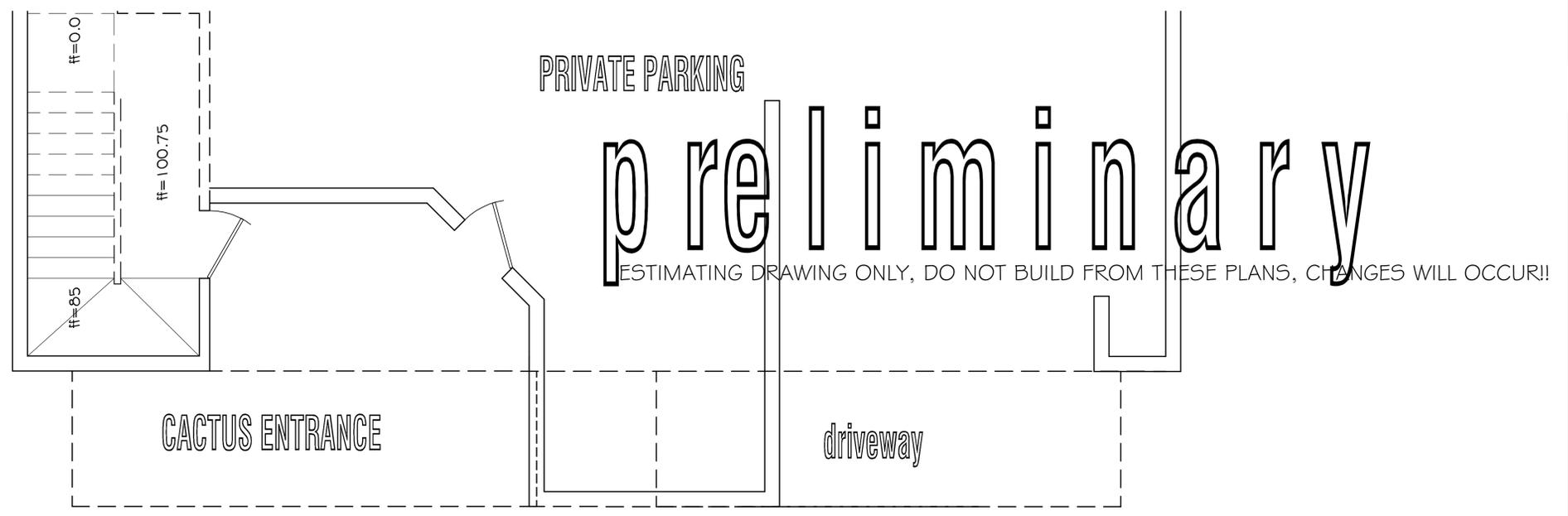
ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

CACTUS STREET
LANDSCAPE SCHEMATIC

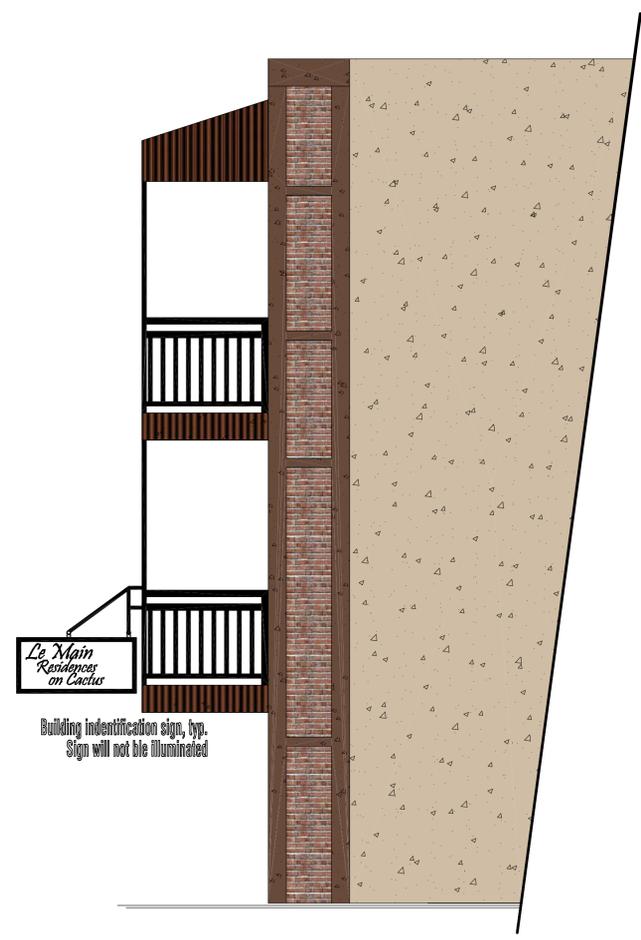
DATE 7/5/16
 SCALE N.T.S.
 DRAWN SJB
 JOB MJH415
 SHEET NO.
LR
 OF X

REVISIONS	BY

Basim/Manoppa
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 86048
 928-202-2028



current maximum building height in c-1 zone



F.E. @ TOW 0+32'-0"

C.H. @ 3RD FLR 0+336

F.F. @ 3RD FLR 0+216

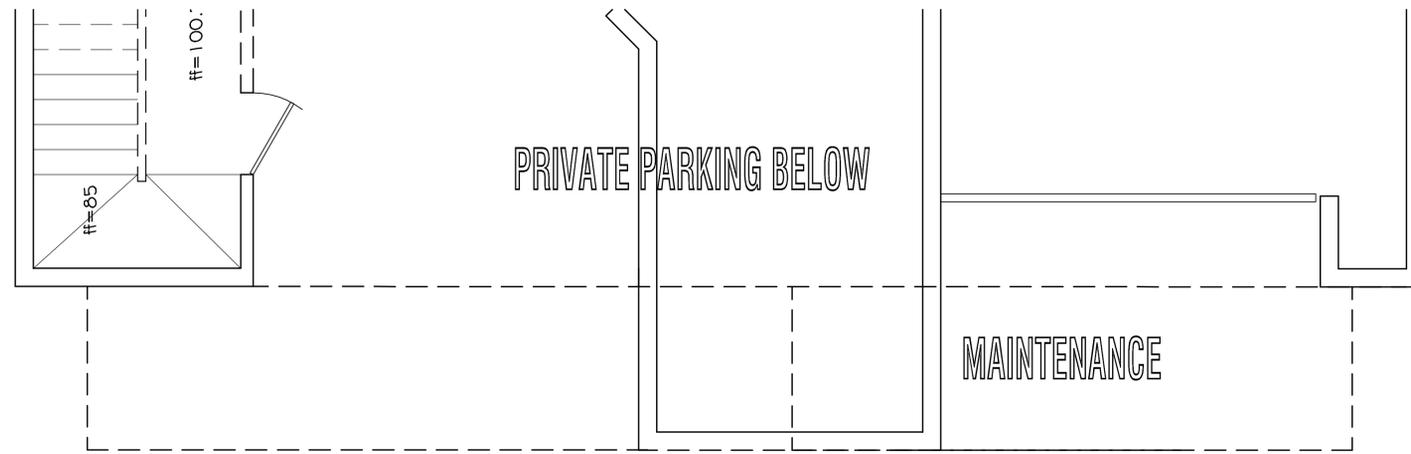
F.F. @ 2ND FLR 0+96

F.F. @ EXIT 0+00

CACTUS STREET
ELEVATIONS

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 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

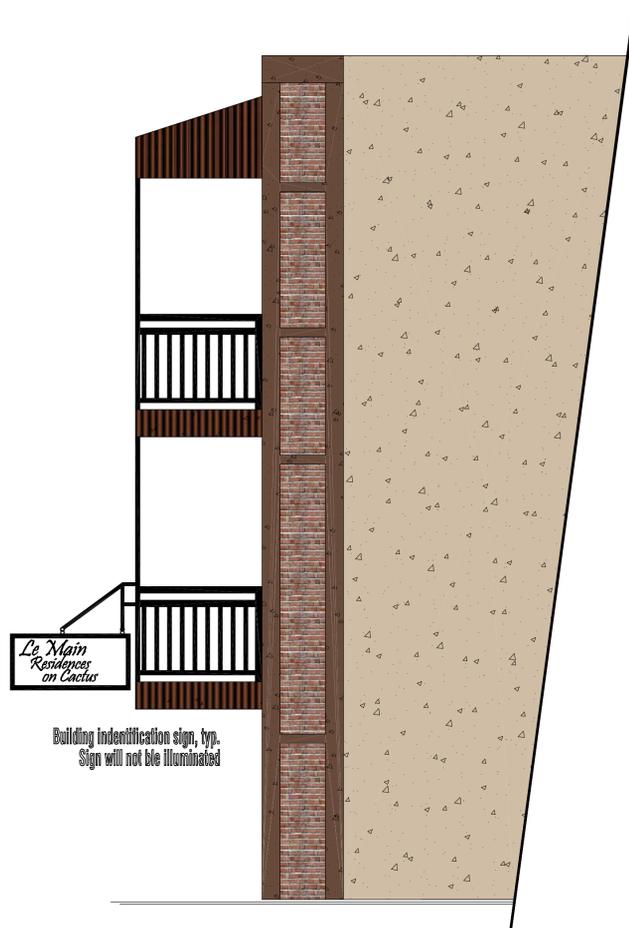
DATE 7/5/16
 SCALE 1/4" = 1'-0"
 DRAWN SJB
 JOB MJH415
 SHEET NO.
A1.0
 OF X



CACTUS EXIT

preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!



LOOKING SOUTH



LOOKING WEST

F.E. @ TOW 0+32'-0"

C.H. @ 3RD FLR 0+336

F.F. @ 3RD FLR 0+216

F.F. @ 2ND FLR 0+96

F.F. @ EXIT 0+00

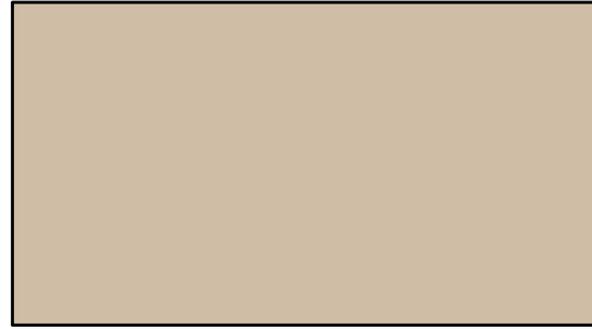
CACTUS STREET
ELEVATIONS

REVISIONS	BY

Blasim/Manuphin
ARCHITECTURE, LANDSCAPE ARCHITECTURE
735 SOUTH 3RD STREET, WILLIAMS, AZ 86046
928-202-2028

Lemain Development P.A.D.
MAIN STREET and CACTUS
COTTONWOOD, ARIZONA 86326

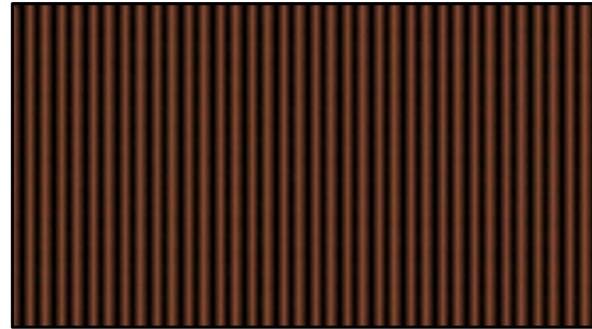
DATE 7/5/16
SCALE 1/4" = 1'-0"
DRAWN SJB
JOB MJH415
SHEET NO.
A1.2
OF x



FIELD COLOR:
 BENJAMIN MOORE
 BAR HARBOR BIEGE
 1032



TRIM COLOR:
 BENJAMIN MOORE
 JAVA
 2106-10



RUSTED
 CORRUGATED
 CORTEN METAL



ACME BRICK
 HIGHLAND GRAY
 108812

COLOR PALETTE

REVISIONS	BY

Basim/Mawpin
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 736 SOUTH 3RD STREET, WILLIAMS, AZ 86048
 928-202-2029



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 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE:	8 / 16 / 16
SCALE:	
DRAWN:	
JOB:	MJH415
SHEET NO.:	

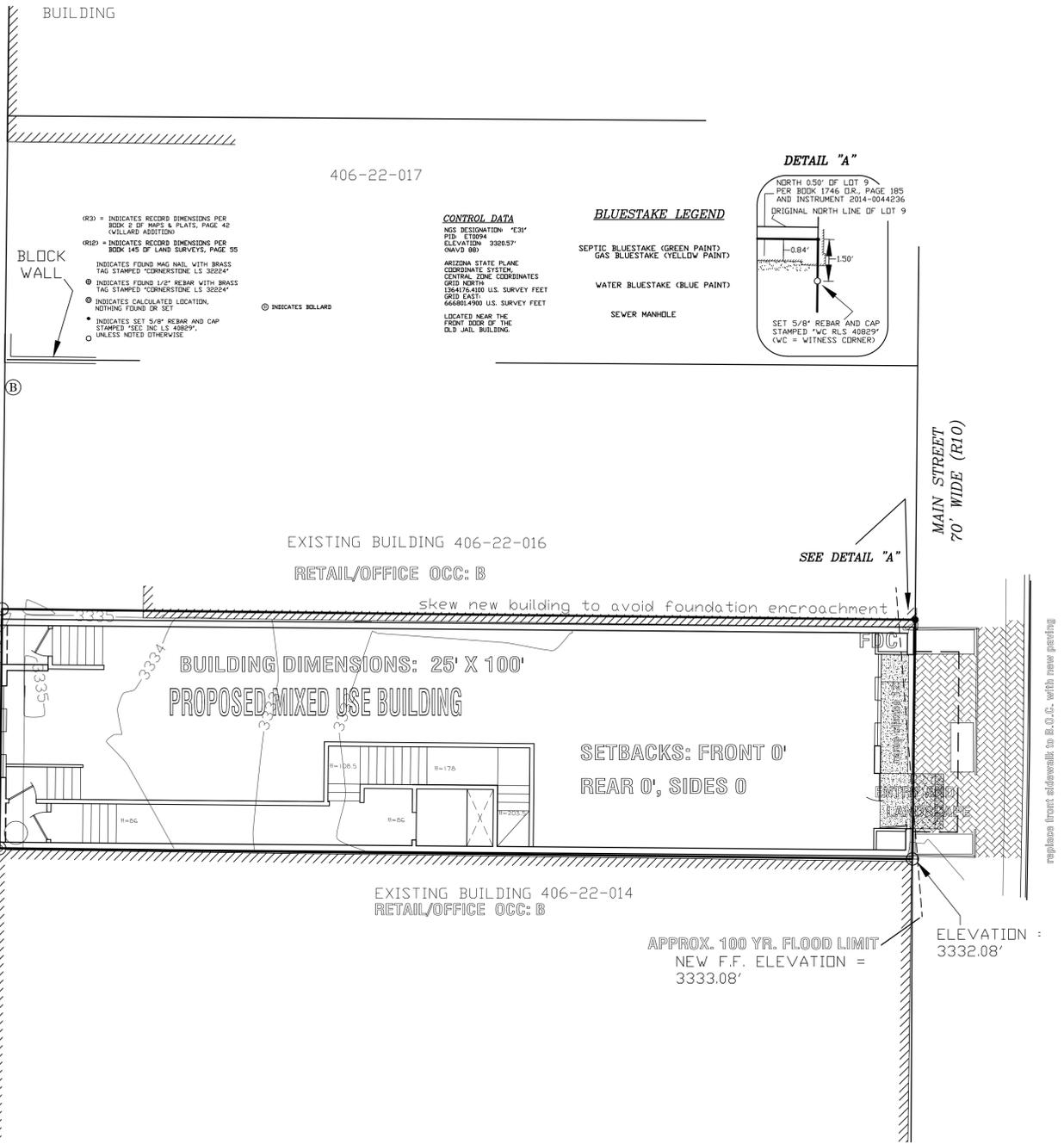
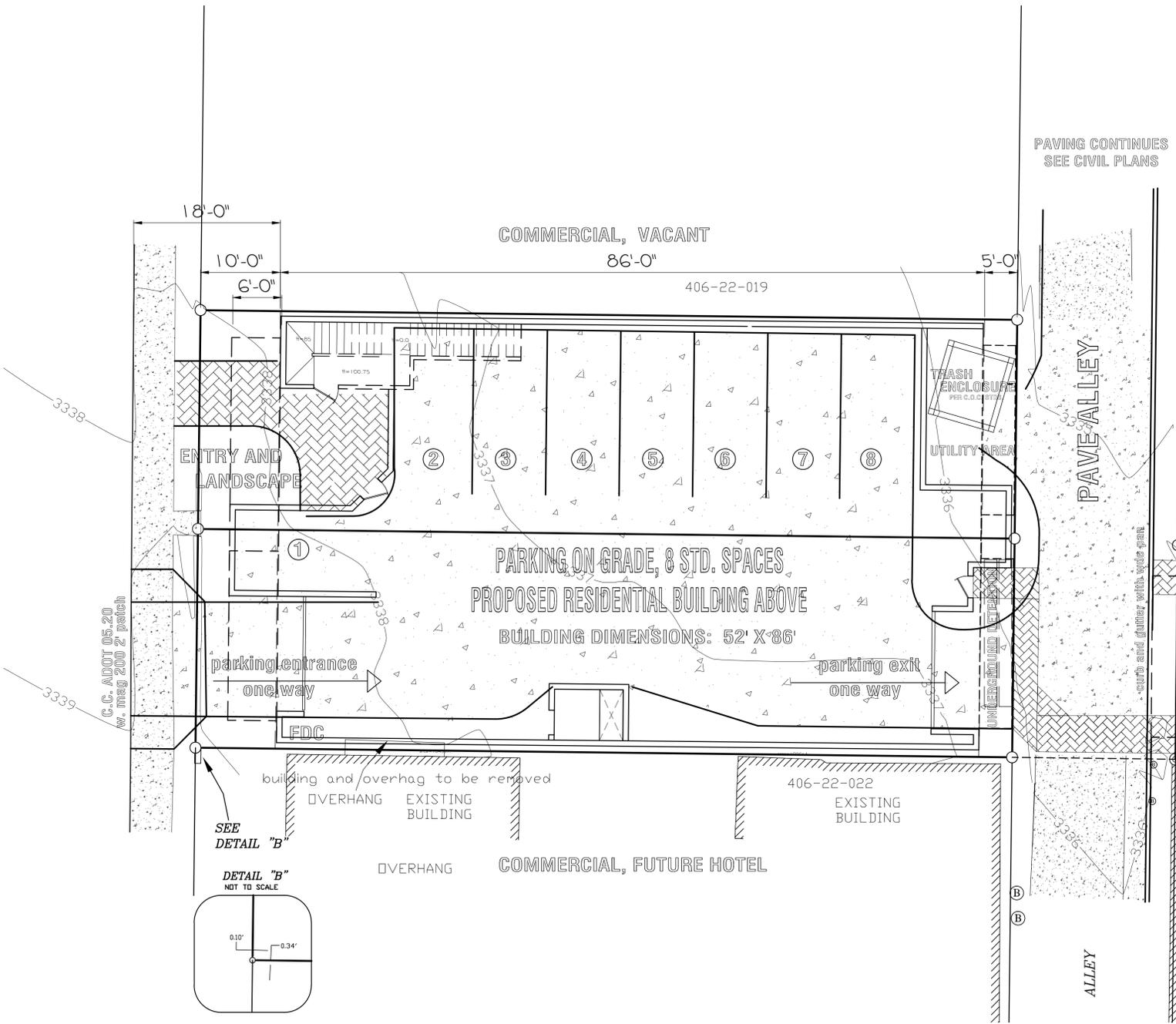
REVISIONS	BY

Biastini/Matthiessen
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-702-2929

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/16/16
SCALE 1/8" = 1'-0"
DRAWN SJB
JOB MJS415
SHEET NO.
C1
OF x



CODE EXCEPTIONS:

SEE DEVELOPMENT STANDARDS FOR PROPOSED:
 SETBACKS, LANDSCAPE AREA, OPEN SPACE, PARKING

GENERAL NOTES:

- MECHANICAL EQUIPMENT ON ROOF, PARAPET SCREENING
- ALL EXTERIOR LIGHTING FULLY SHIELDED
- SIGNS ARE WALL HUNG AND SHOW ON ELEVATIONS
- LANDSCAPING ON SEPARATE SHEETS
- FDCs ARE SHOWN, ALL UTILITY LOCATIONS T.B.D.
- ANY WORK IN THE R.O.W. WILL BE PERFORMED TO CITY OF COTTONWOOD STANDARDS

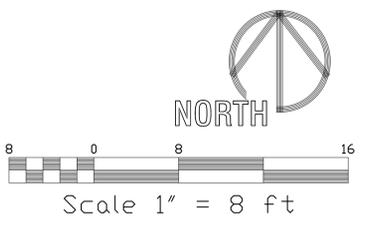
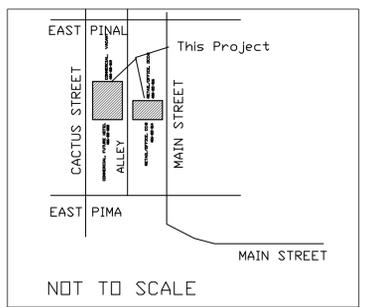
OWNERSHIP INFORMATION:

PARCELS #: 406-22-015 & 020a
 PHYSICAL LOCATION : VACANT LOT, WEST SIDE OF MAIN,
 AND EAST SIDE OF CACTUS, VACANT
 DOWNTOWN, NO ADDRESSES ASSIGNED
 OWNER : LaMain 919 LLC
 MAILING ADDRESS: 10008 SOUTH BEND DRIVE
 SCOTTSDALE, AZ 85255
 TELEPHONE: LaMain 919 LLC: 602-757-4398

COVERAGE DATA:

LaMain919, MIXED USE:
 SETBACKS: FRONT 0'
 REAR 0', SIDES 0'
 LOT AREA: 2612 S.F.
 BUILDING AREA 2500 S.F.
 COVERAGE: (96%) 100% EFFECTIVE
 RESIDENTIAL UNITS:
 SETBACKS: FRONT 10'
 REAR 5', SIDES 0'
 LOT AREA: 5200 S.F.
 BUILDING AREA 4420 S.F.
 COVERAGE: (85%)

VICINITY MAP



UTILITY PROVIDERS:

- POWER: APS
- WATER, WASTE WATER: CITY OF COTTONWOOD
- NATURAL GAS: UNISOURCE

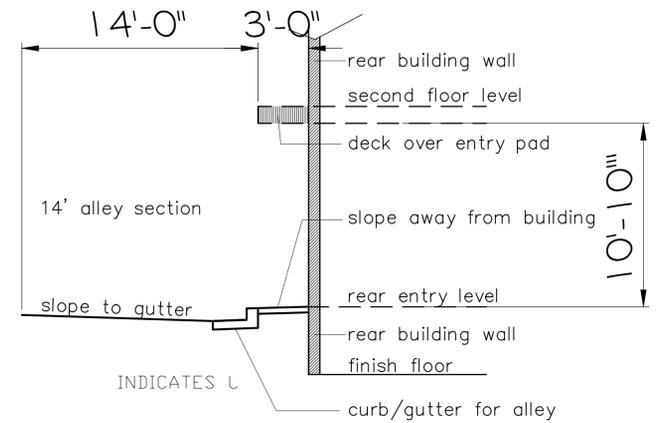
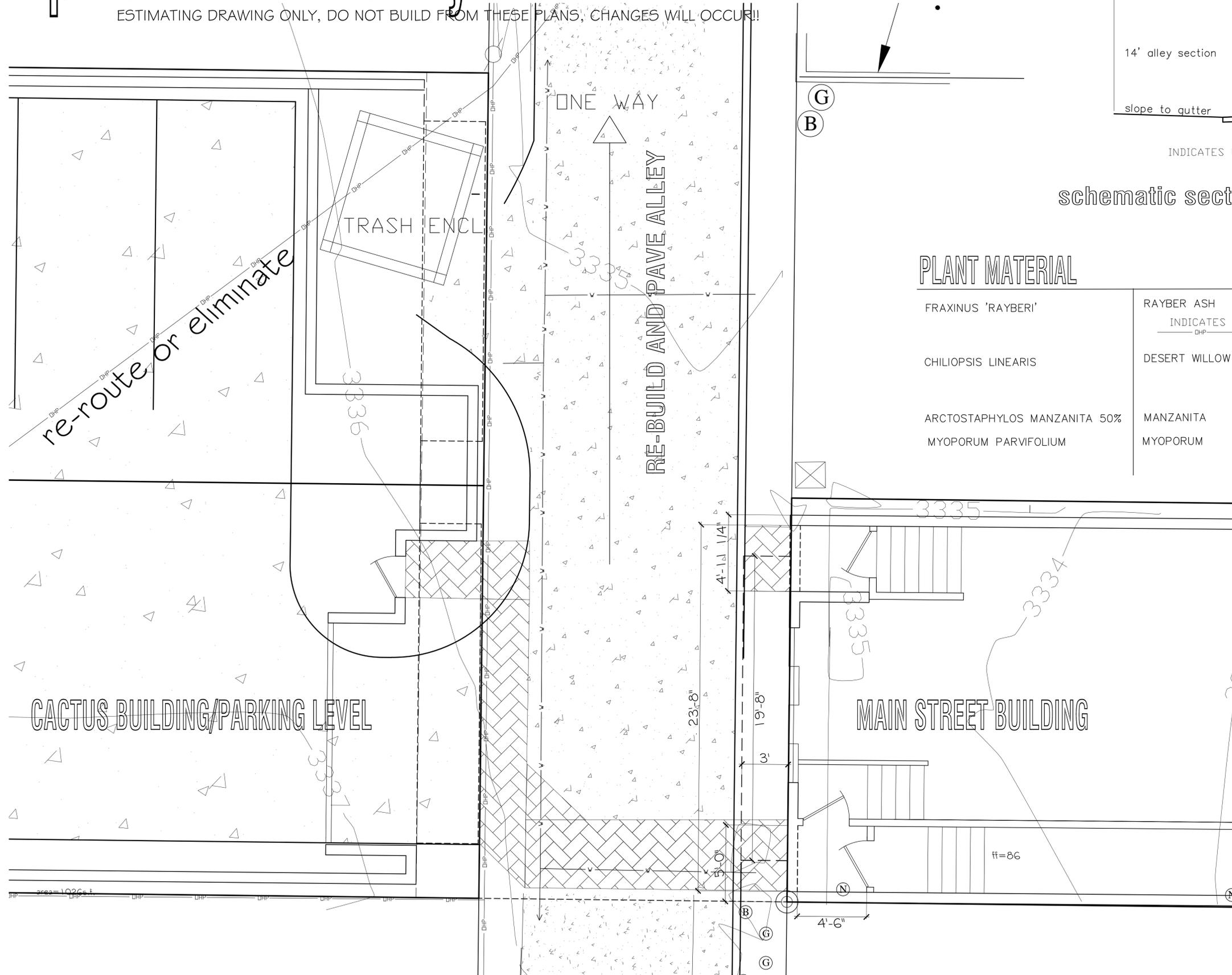
preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

MAIN & CACTUS STREETS
 SITE PLAN SCHEMATIC

preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

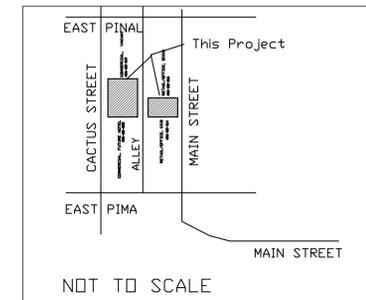


schematic section through alley, n.t.s.

PLANT MATERIAL

FRAXINUS 'RAYBER'	RAYBER ASH	#15 CAN	0
	INDICATES L		
	DHP		
CHILIOPSIS LINEARIS	DESERT WILLOW	#15 CANS	3
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	7
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	12

VICINITY MAP



ALLEY VIEWS
LANDSCAPE SCHEMATIC

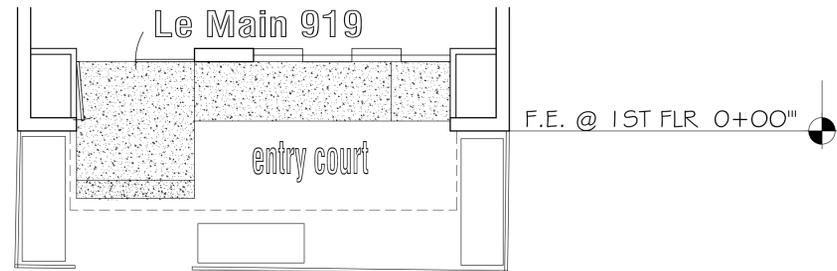
REVISIONS	BY

Biastini/Matthias
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 85046
 602-702-2029

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

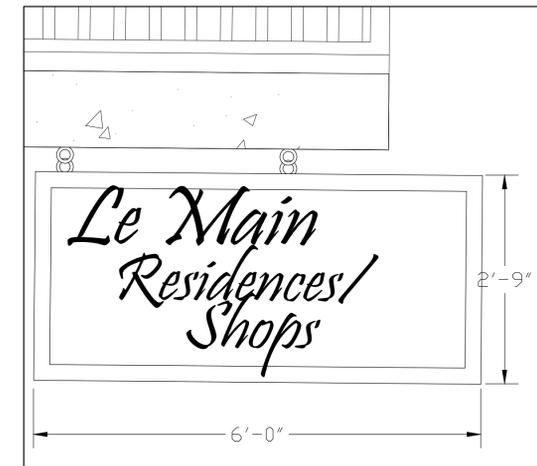
DATE 8/16/16
 SCALE N.T.S.
 DRAWN SJB
 JOB MJH415
 SHEET NO.
LR
 OF x

REVISIONS	BY



PLANT MATERIAL

FRAXINUS RAYBERI	RAYBER ASH	#15 CANS	2
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	3
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	10



Building identification sign, typ.
Sign will not be illuminated

F.E. @ TOW 0+39'-0"

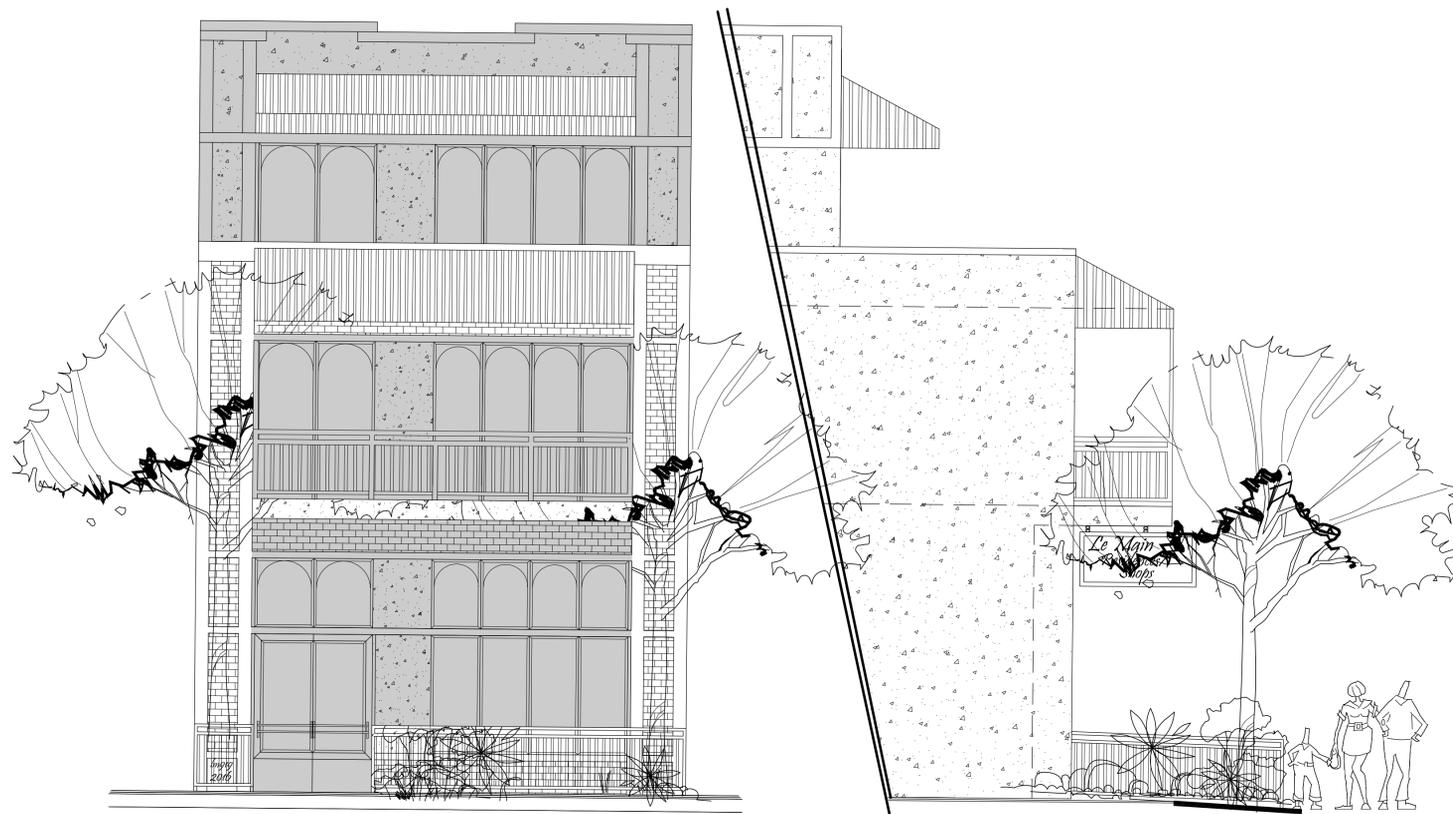
C.H. @ 3RD FLR 0+406

F.F. @ 3RD FLR 0+298

F.F. @ 2ND FLR 0+178

F.F. @ REAR 0+48

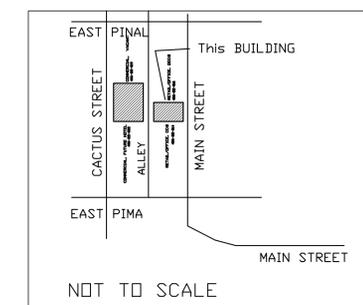
F.E. @ 1ST FLR 0+00"



LOOKING WEST

LOOKING NORTH

VICINITY MAP



Basim/Matthias
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMSBURG, AZ 85046
 602-702-2029

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

MAIN STREET
LANDSCAPE SCHEMATIC

DATE 8/17/16
SCALE N.T.S.
DRAWN SJB
JOB MJ5415
SHEET NO.

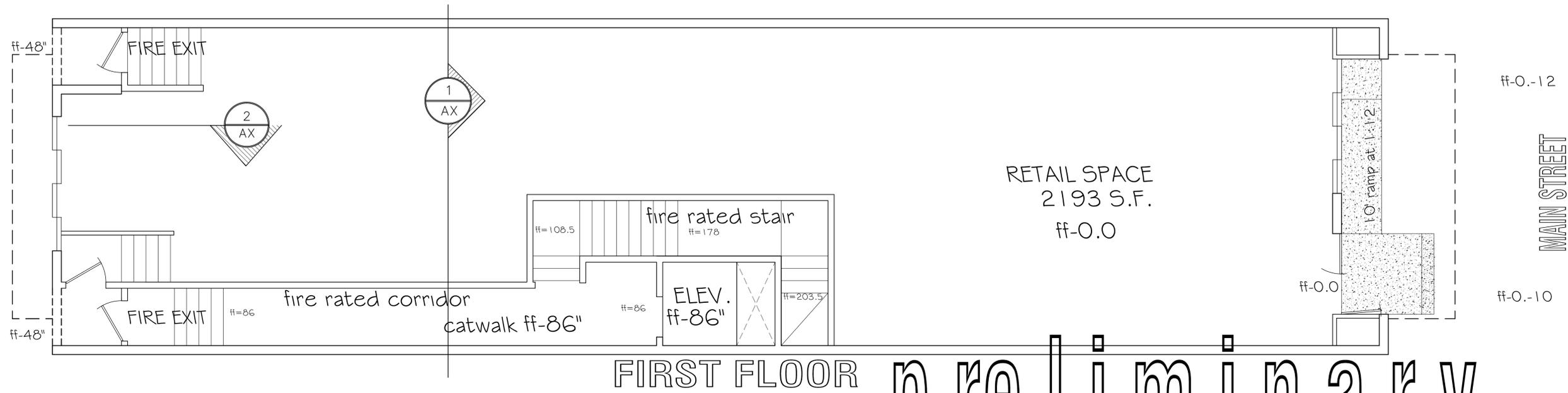
LR
OF x

REVISIONS	BY

Brian Miller / Main Street Architecture
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 755 SOUTH 3RD STREET, WILLIAMS, AZ 85066
 828-202-2029

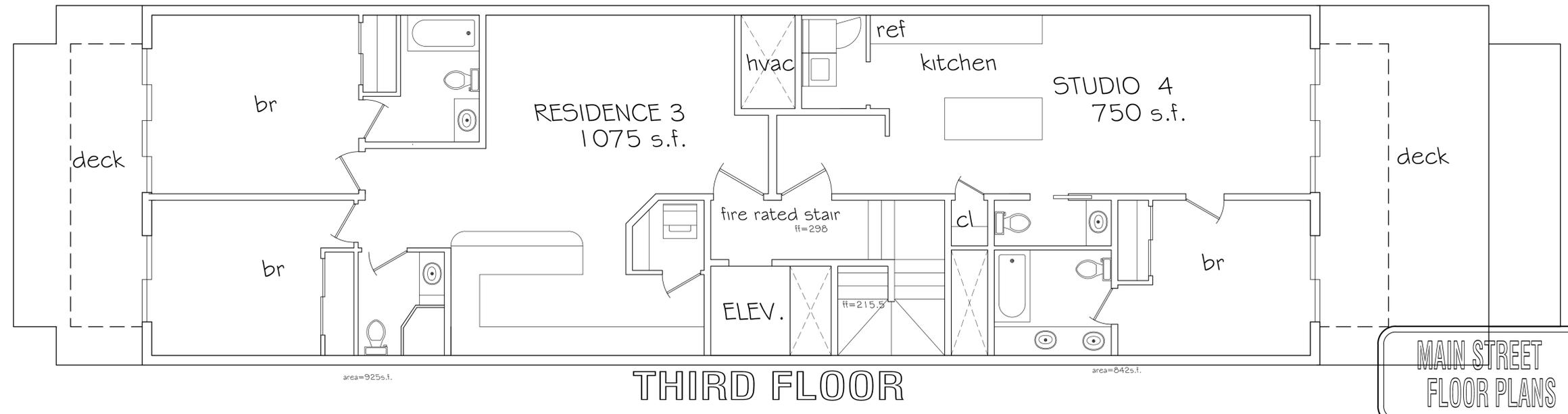
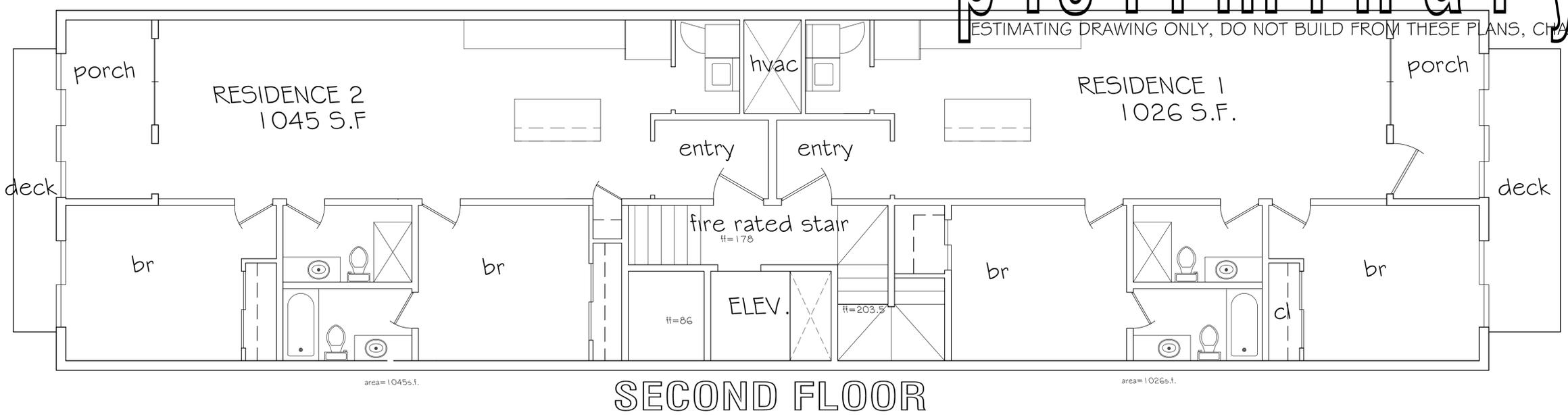
LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/16/16
 SCALE 1/4" = 1'-0"
 DRAWN SJB
 JOB MJH415
 SHEET NO.
A1.0
 OF X

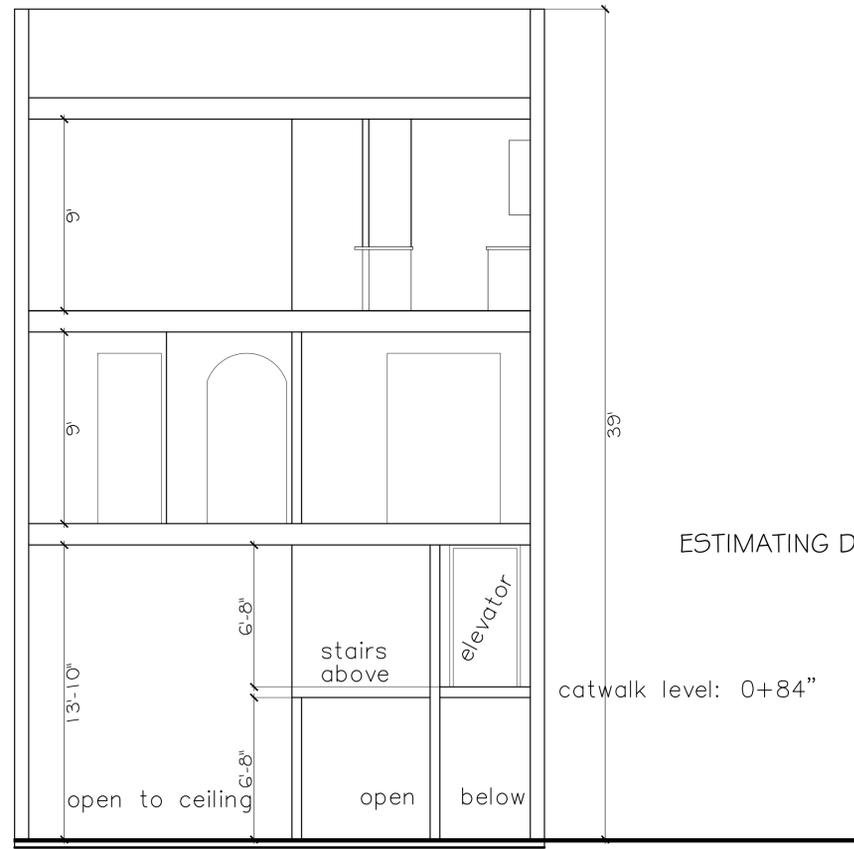


preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!



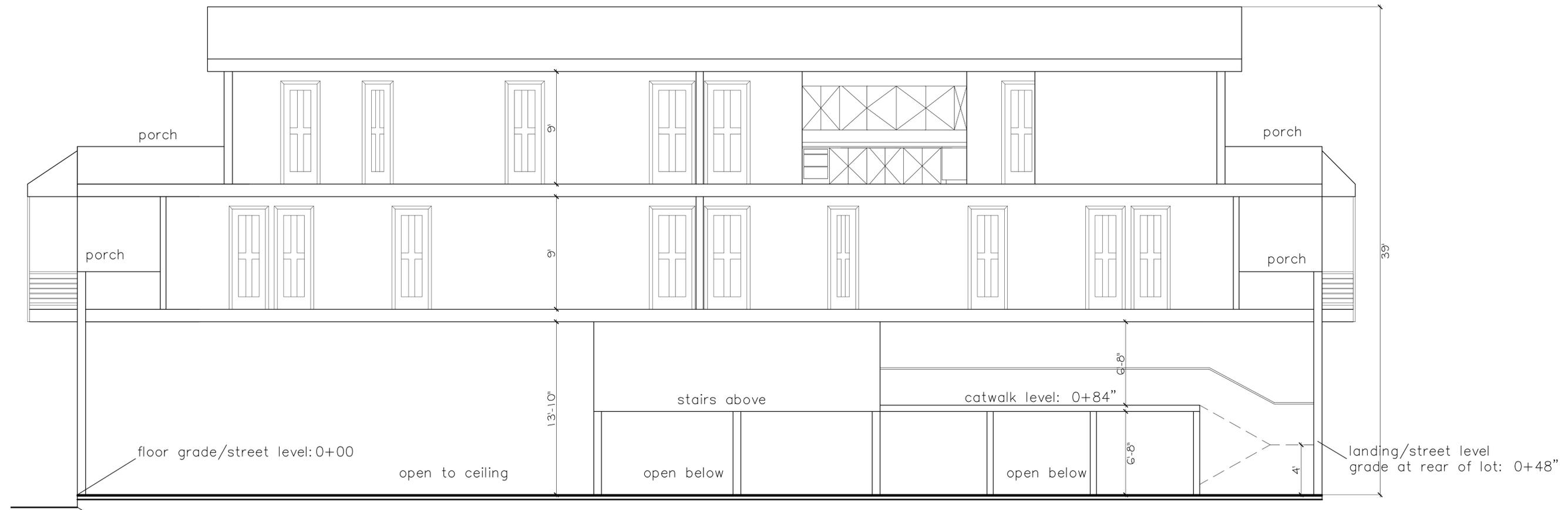
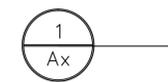
MAIN STREET
 FLOOR PLANS



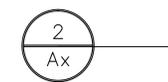
preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

SCHEMATIC SECTION looking east



SCHEMATIC SECTION, looking south



MAIN STREET
SCHEMATIC SECTIONS

REVISIONS	BY

Blaisini/Mattipati
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 736 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-202-2029

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/16/16
 SCALE 1/4" = 1'-0"
 DRAWN SJB
 JOB MJH415
 SHEET NO.
A1.4
 OF X



preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

MAIN STREET
ELEVATIONS

REVISIONS	BY

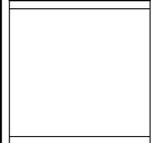
Biasini/Martin
ARCHITECTURE, LANDSCAPE ARCHITECTURE
735 SOUTH BRD. STREET, WILLIAM, AZ 86046
928-202-2023

LeMain Development P.A.D.
MAIN STREET and CACTUS
COTTONWOOD, ARIZONA 86326

DATE 8/16/16
SCALE 1/4" = 1'-0"
DRAWN SJB
JOB MJH415
SHEET NO.
A1.1
OF X

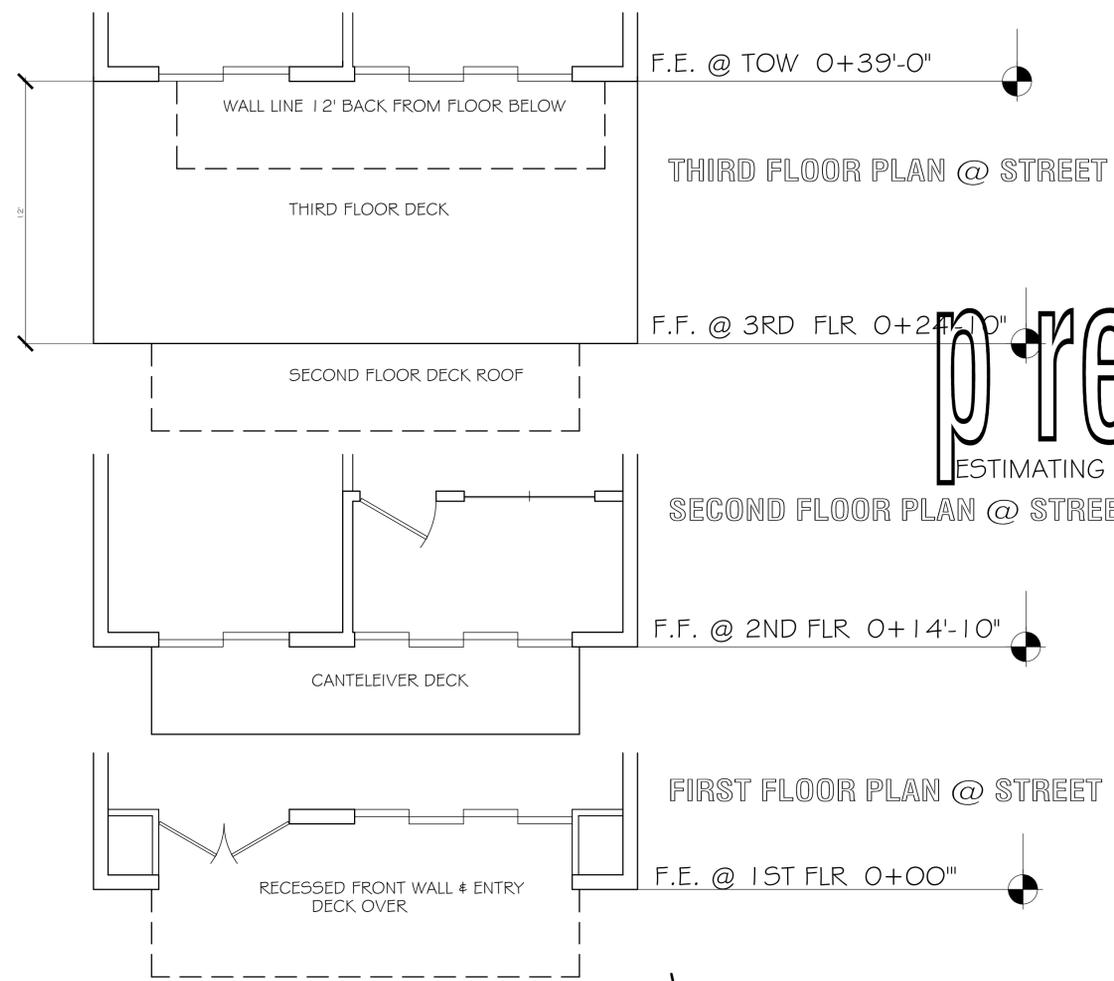
REVISIONS	BY

Bassini/Mantipani
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMSON, AZ 85046
 520-702-2028



LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

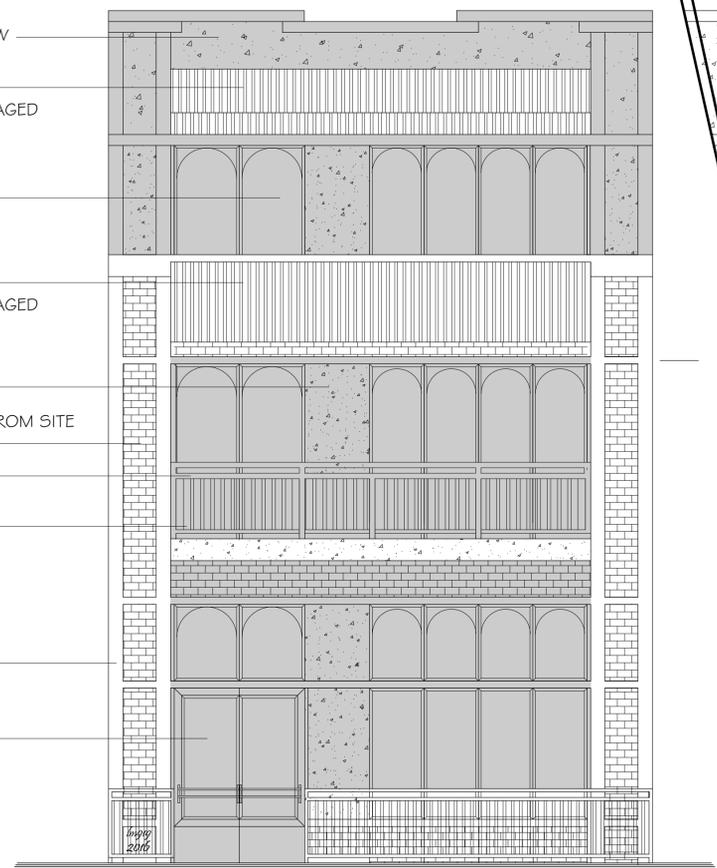
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DRAWN	SJB
JOB	MJH415
SHEET NO.	A1.3
	OF X



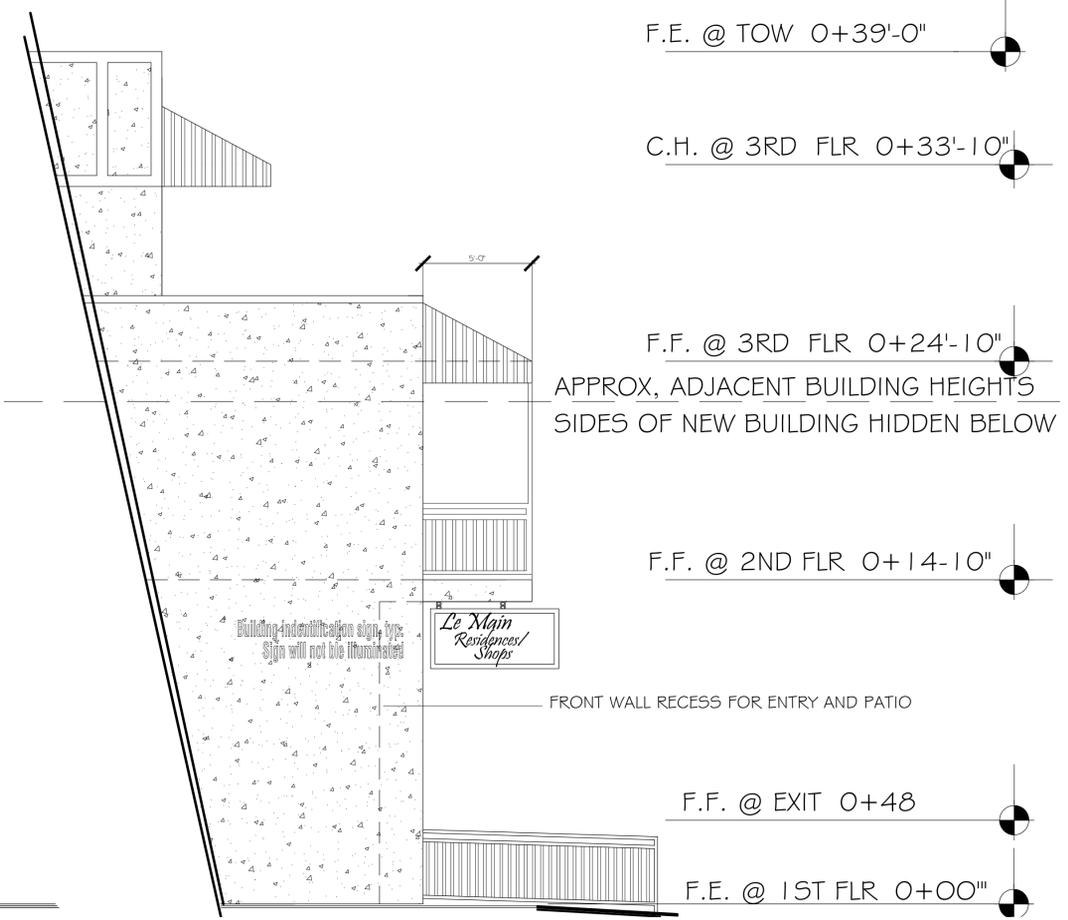
preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

- WALL LINE 8' BACK FROM FLOOR BELOW
SAND FINISH STUCCO
- THIRD FLOOR DECK ROOF
CORRUGATED METAL ROOF, PRE-AGED
- THIRD FLOOR DECK
- SECOND FLOOR DECK ROOF
CORRUGATED METAL ROOF, PRE-AGED
- SAND FINISH STUCCO
- BRICK SIMILAR TO BRICK RECLAIMED FROM SITE
ON SITE, TYPE "A"
- BLACK W.I. RAILING
- CANTELEIVER DECK
- SAND FINISH STUCCO
POP-OUT DETAIL, TYP.
- RECESSED FRONT WALL & ENTRY
DECK OVER



LOOKING WEST



MAIN STREET
ILLUSTRATIONS

preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!



LeMain 919 , VIEW LOOKING WEST

REVISIONS	BY

Biastini/Matthias
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 755 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 927-22-2228

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

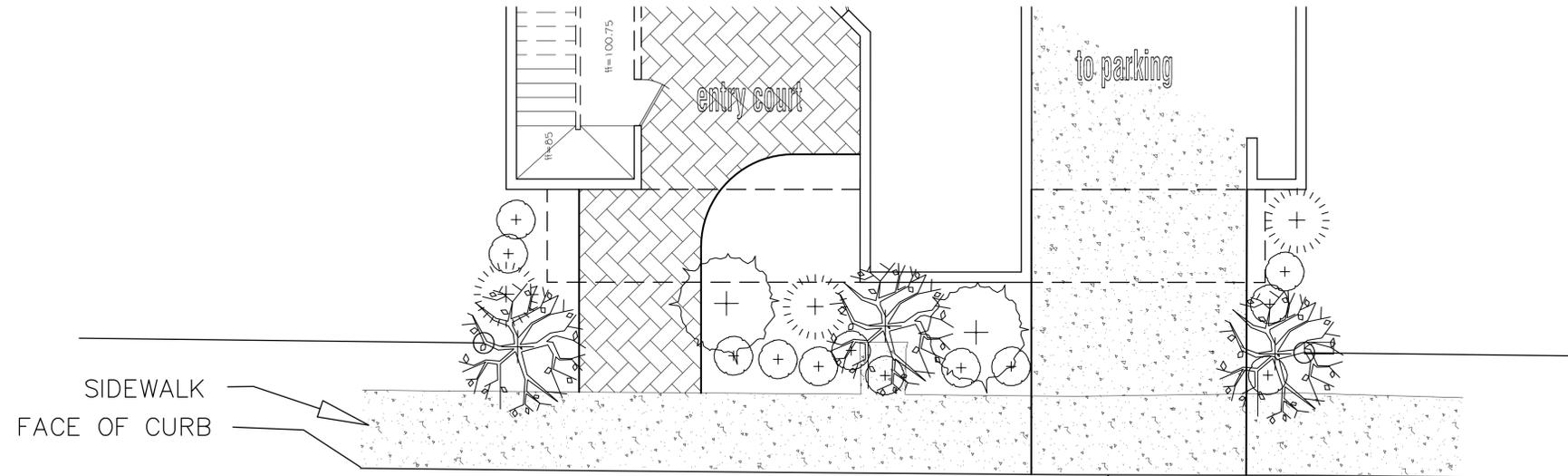
LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE	8/16/16
SCALE	NTS
DRAWN	SJB
JOB	MJH415
SHEET NO.	A1.5
	OF x

MAIN STREET
 STREET VIEW

REVISIONS	BY

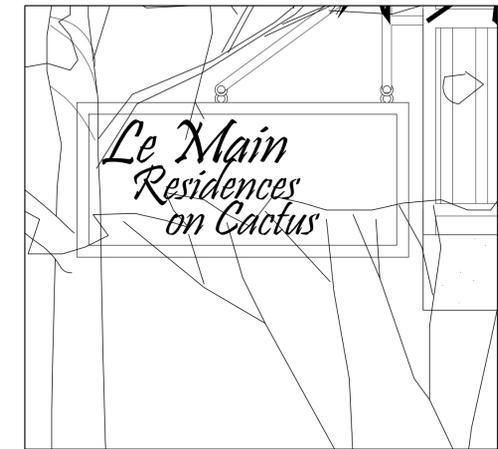
8 SPACES UNDER BUILDING



PLANT MATERIAL

FRAXINUS 'RAYBERI'	RAYBER ASH	#15 CAN	3
CHILIOPSIS LINEARIS	DESERT WILLOW	#15 CANS	2
ARCTOSTAPHYLOS MANZANITA 50%	MANZANITA	#5 CANS	3
MYOPORUM PARVIFOLIUM	MYOPORUM	#1 CANS	12

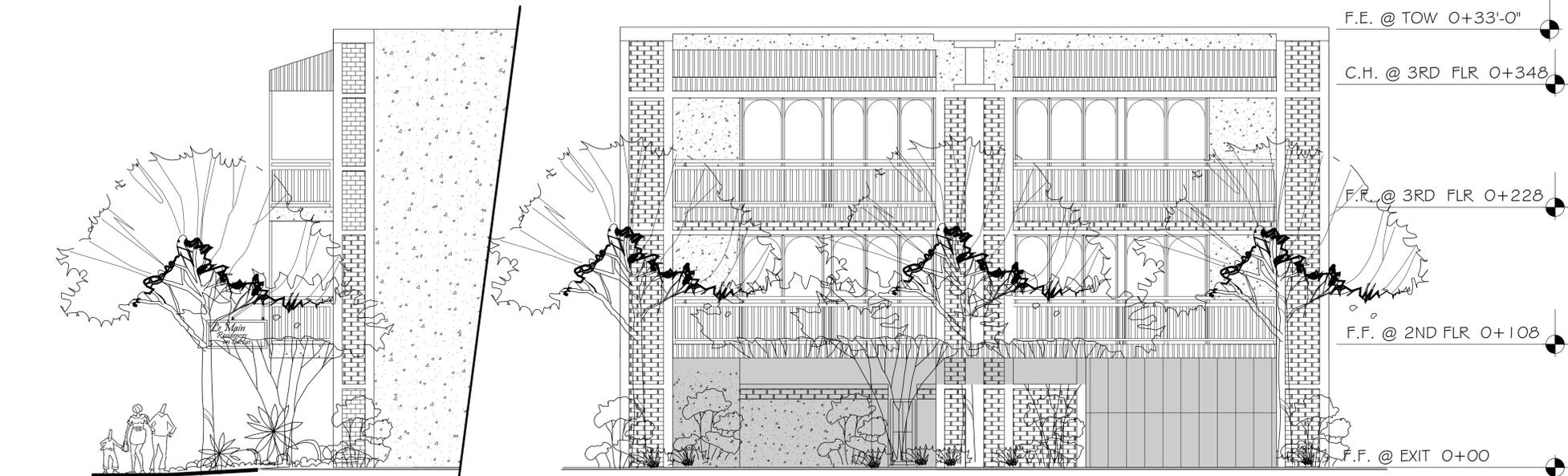
C/L CACTUS STREET
50' WIDE (R3)



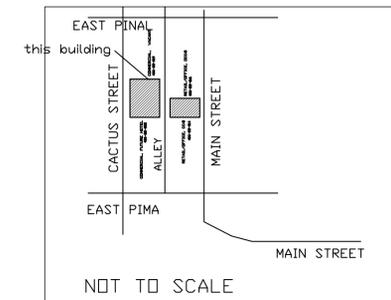
Building identification sign, typ.
Sign will not be illuminated

Brian M. M...
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 735 SOUTH 3RD STREET, WILLIAMS, AZ 85046
 602-702-2029

LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326



VICINITY MAP



preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

CACTUS STREET
LANDSCAPE SCHEMATIC

DATE 8/16/16
SCALE N.T.S.
DRAWN SJB
JOB MJH415
SHEET NO.
LR
OF x



preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

Ceiling fire rated area separation

PARKING LEVEL FLOOR PLAN

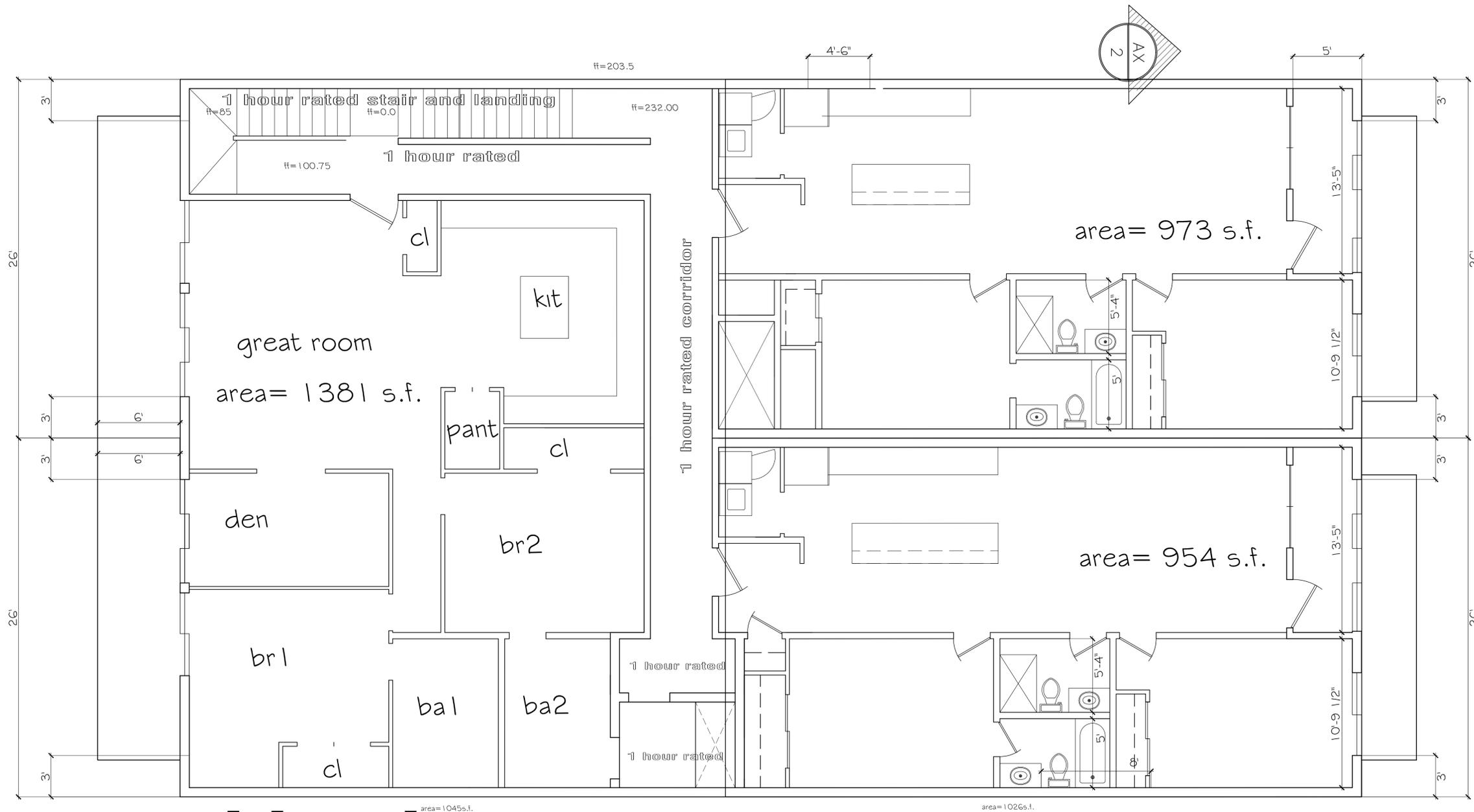
CACTUS STREET
PARKING LEVEL

REVISIONS	BY

BRASIMIL/MANUPHIM
ARCHITECTURE, LANDSCAPE ARCHITECTURE
734 SOUTH 3RD STREET, WILLIAMS, AZ 86046
822-202-2028

LeMain Development P.A.D.
MAIN STREET and CACTUS
COTTONWOOD, ARIZONA 86326

DATE 8/16/16
SCALE 1/4" = 1'-0"
DRAWN 5JB
JOB MJH415
SHEET NO.
A1.1
OF X



preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

FLOOR 2/3 RESIDENCE PLAN(S)

CACTUS STREET
SCHEMATIC FLOOR PLANS

REVISIONS	BY

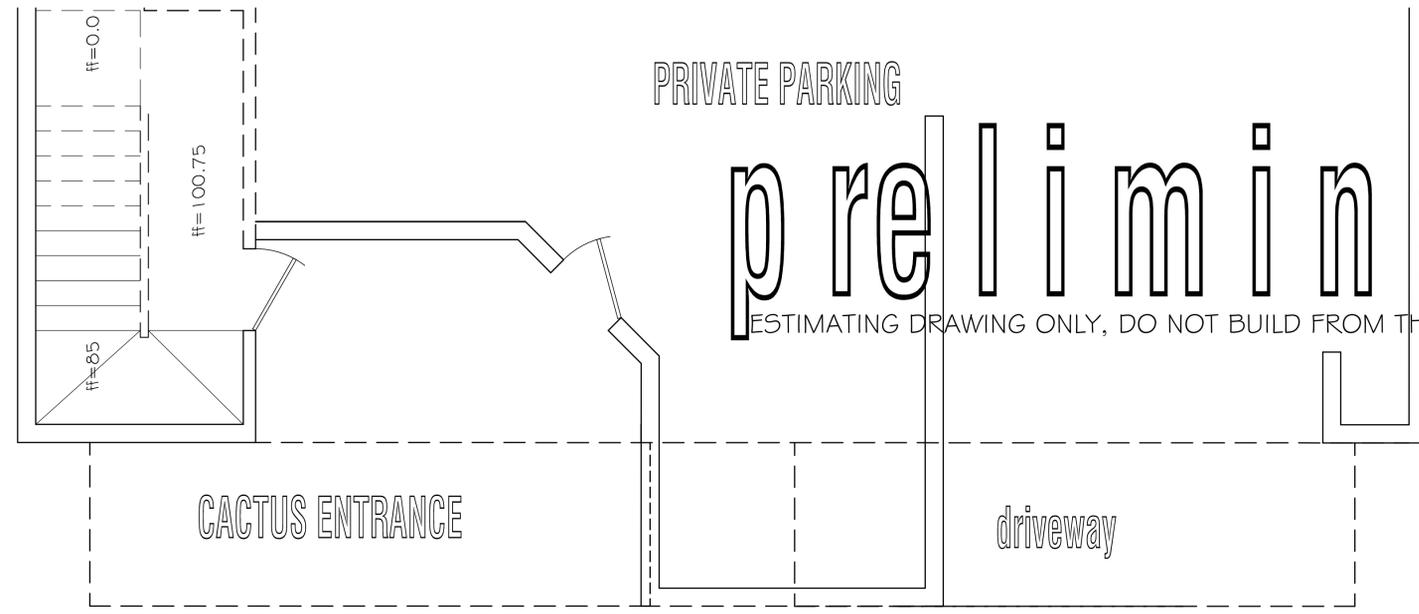
BRASIM/MASTROM
ARCHITECTURE, LANDSCAPE ARCHITECTURE
734 SOUTH 3RD STREET, WILLIAMS, AZ 86046
822-202-2028

Lemain Development P.A.D.
MAIN STREET and CACTUS
COTTONWOOD, ARIZONA 86326

DATE	8/16/16
SCALE	1/4" = 1'-0"
DRAWN	5JB
JOB	MJH415
SHEET NO.	A1.2
	OF X

REVISIONS	BY

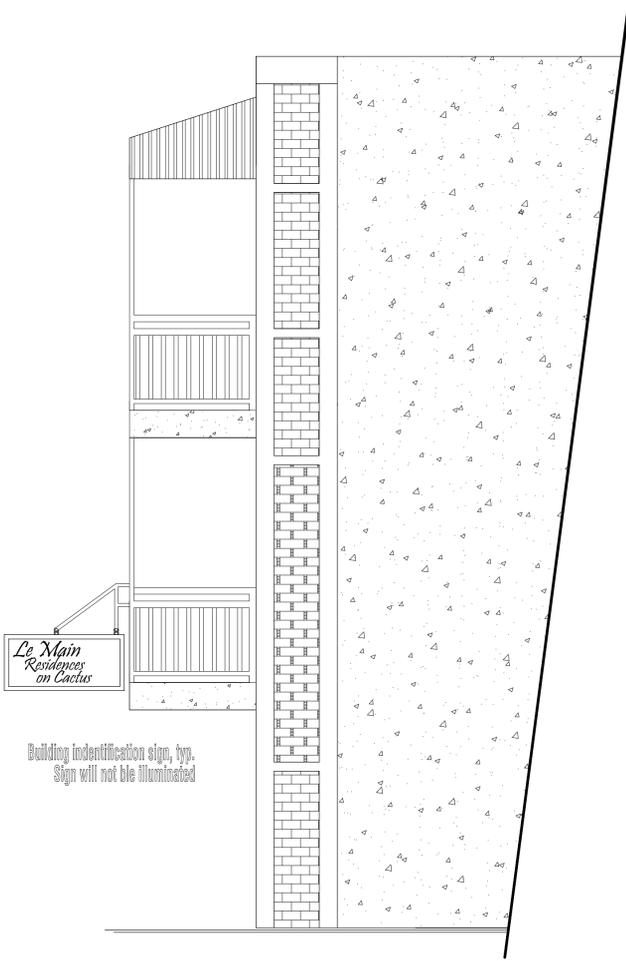
Brasim/Murphy
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 734 SOUTH 3RD STREET, WILLIAMS, AZ 86046
 928-202-2028



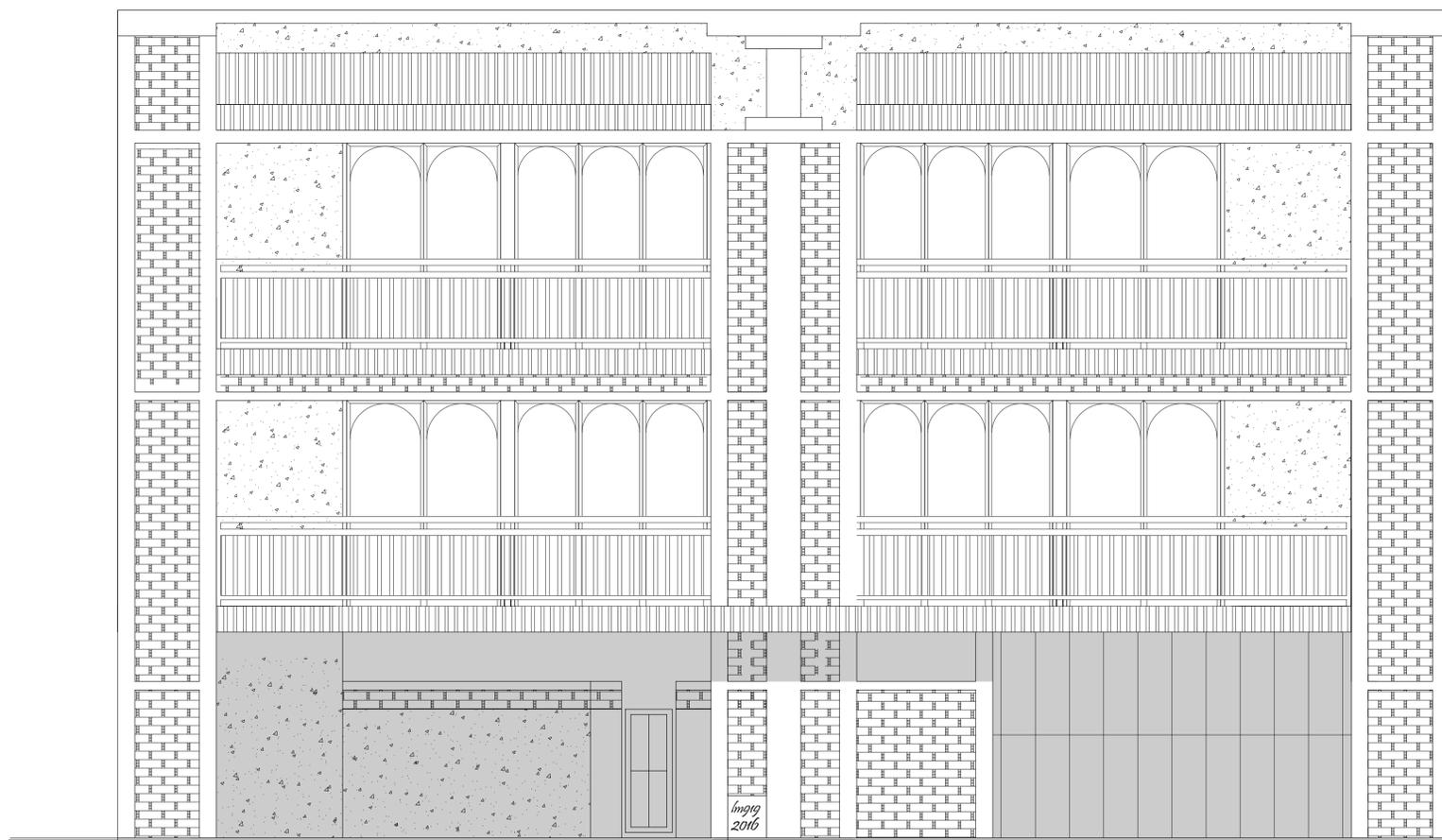
preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!

current maximum building height in c-1 zone



LOOKING NORTH

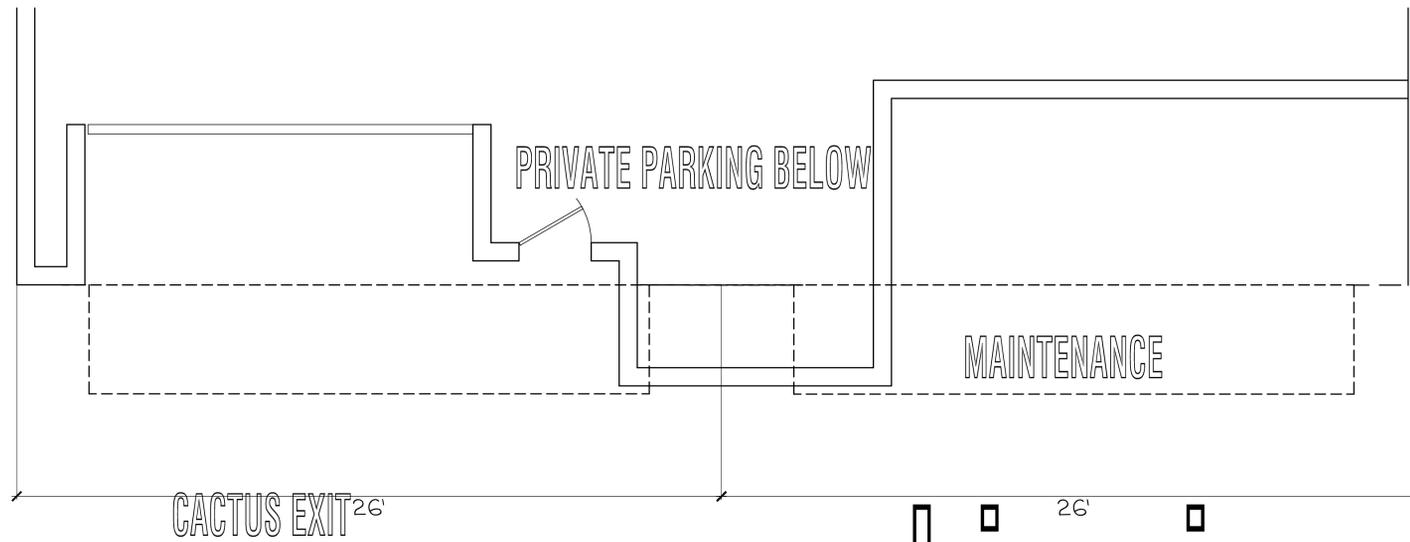


LOOKING EAST

CACTUS STREET
ELEVATIONS

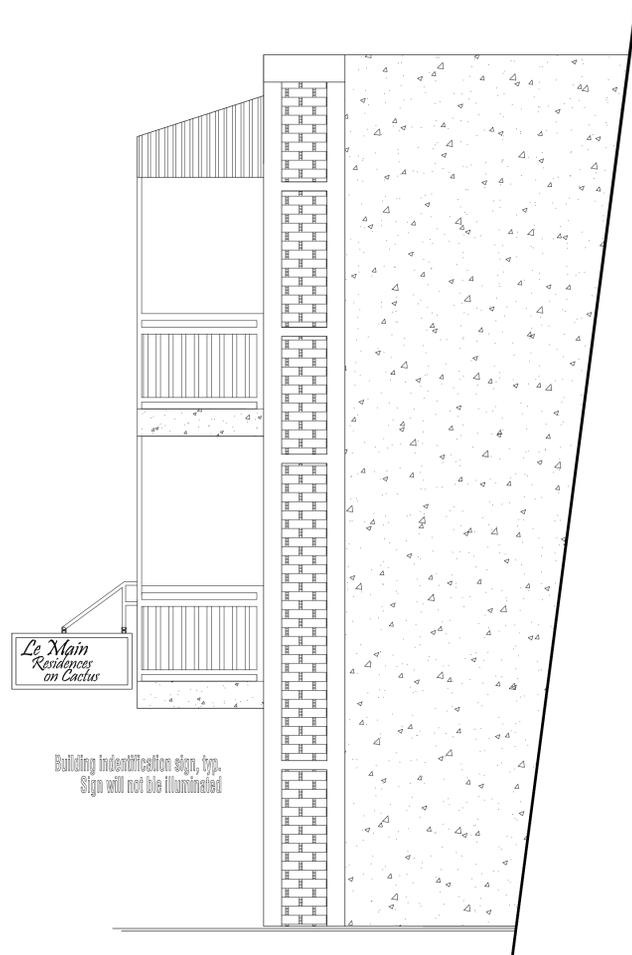
LeMain Development P.A.D.
 MAIN STREET and CACTUS
 COTTONWOOD, ARIZONA 86326

DATE 8/16/16
 SCALE 1/4" = 1'-0"
 DRAWN 5JB
 JOB MJH415
 SHEET NO.
A1.0
 OF X



preliminary

ESTIMATING DRAWING ONLY, DO NOT BUILD FROM THESE PLANS, CHANGES WILL OCCUR!!



LOOKING SOUTH



LOOKING WEST

F.E. @ TOW 0+33'-0"

C.H. @ 3RD FLR 0+348

F.F. @ 3RD FLR 0+228

F.F. @ 2ND FLR 0+108

F.F. @ EXIT 0+00

CACTUS STREET
ELEVATIONS

REVISIONS	BY

Brasim/Matwijn
ARCHITECTURE, LANDSCAPE ARCHITECTURE
734 SOUTH 3RD STREET, WILLIAMS, AZ 86046
822-202-2028

LeMain Development P.A.D.
MAIN STREET and CACTUS
COTTONWOOD, ARIZONA 86326

DATE 8/16/16
SCALE 1/4" = 1'-0"
DRAWN 5JB
JOB MJH415
SHEET NO.
A1.2
OF X

City of Cottonwood
ZONING NOTICE

Request: C-1 (Light Commercial) to
PAD (Planned Area Development) Zoning Change Request
Case No.: Z-16-003
Assessor's Parcel No(s): 406-22-015 and 406-22-020A
Site Location: 920 N. Main Street and 925 N. Cactus Street
Acreage: 0.18 acres
Applicant: LaMain 919 LLC

Date & Time:
P & Z Commission: September 19, 2016 at 6:00 P.M.
Tentative City Council First Reading:
October 18, 2016 at 6:00P
Tentative City Council Second Reading:
November 1, 2016 at 6:00P

P & Z and City Council Meetings are held in the City Council
Chambers, 826 N. Main Street, Cottonwood, AZ. More
information: Community Development Department,
111 N. Main Street (928)834-5505.

09/06/2016 09:47



DEC
19 23

918

City of Cottonwood
ZONING NOTICE
The City of Cottonwood is currently reviewing a proposed zoning change for the area located at the intersection of [illegible] and [illegible]. The proposed zoning change is from [illegible] to [illegible]. The City is holding a public hearing on this matter on [illegible] at [illegible]. All interested parties are invited to attend the hearing and provide input on the proposed zoning change. For more information, please contact the City Clerk at [illegible].

09/06/2016 09:48



09/06/2016 09:48



09/06/2016 09:48



09/06/2016 09:49



09/06/2016 09:50



09/06/2016 09:50



09/06/2016 09:50



09/06/2016 09:51



09/06/2016 09:51



09/06/2016 09:51



09/06/2016 09:52



09/06/2016 09:52

City of Cottonwood ZONING NOTICE

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PAD (Planned Area Development) Zoning Change Request
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Chambers, 826 N. Main Street, Cottonwood, AZ. More
information: Community Development Department,
111 N. Main Street. (928)634-5505.

09/06/2016 09:53



09/06/2016 09:53



09/06/2016 09:53



09/06/2016 09:54



09/06/2016 09:54



09/06/2016 09:54