



**CITY OF COTTONWOOD
PLANNING & ZONING COMMISSION
COUNCIL CHAMBERS**

826 N. Main St.
Cottonwood, AZ 86326

REGULAR MEETING
Monday, February 22, 2016
6:00 pm.

I. CALL TO ORDER

A. Roll Call

B. Approval of Minutes: January 25, 2016, regular meeting

II. CALL TO THE PUBLIC

This is the time for the public to comment on any matter that does not appear on the agenda. Commission members may not discuss items not identified on the agenda. Pursuant to A.R.S. §38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for consideration at a later date. Comments are limited to five minutes for each person.

III. OLD BUSINESS:

- 1. PCU 16-001 TC EXCAVATING-** Consideration of a Conditional Use Permit to allow a construction storage yard for excavating equipment in a C-1 (Light Commercial) zoned property located at 121 S. 6th Street. APN 406-42-101D. Address: 232 S. 6th Street. Owner: B&B Revocable Trust. Agent: Krishan Ginige.
- 2. PCU 16-003 WESIE'S CUSTOMS-** Consideration of a Conditional Use Permit to allow screened outdoor storage as an accessory use in a C-2 (Heavy Commercial) zoned property located at 1491 E. Cherry Street. APN: 406-06-262. Address: 1491 E. Cherry Street. Owner: Rio Arizona Holdings, LLC. Agent: Robert Wesighan.

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

The Cottonwood Council Chambers is accessible to the handicapped in accordance with Federal "504" and "ADA" laws. Those with needs for special typeface print or hearing devices may request these from the Planning Technician at 634-5505 (TDD 634-5526). All requests must be made at least 24 hours before the meeting.

IV. NEW BUSINESS:

- 1. PCU 16-005 VETRAPLEX-** Consideration of a Conditional Use Permit to allow a residential use in a C-1 (Light Commercial) zoned property located at 125 S. 6th Street. APN: 406-42-223A. Address: 125 S. 6th Street. Owner: The Vetraplex, LLC. Agent: Gary Rideout.
- 2. PCU 16-006 MAVERIK-** Consideration of a Conditional Use Permit to allow a gas station in a C-1 (Light Commercial) zoned property located at 690 W. State Route 89A. APN: 406-33-014Z, 406-33-082A, 406-33-082, 406-33-051A. Address: 690 W. State Route 89A. Owner: Maverik, Inc. Agent: Todd Myers.
- 3. DR 16-003 MAVERIK-** Design Review approval for the construction of a new convenience store with redesigned fuel dispenser layout and a new fuel area canopy. This project was initially reviewed by the Code Review Board on November 17, 2015. APN: 406-33-014Z, 406-33-082A, 406-33-082, 406-33-051A. Address: 690 W. State Route 89A. Owner: Maverik, Inc. Agent: Todd Myers.
- 4. DR 16-005 MAIN STREET PLAZA-** Design Review approval for the construction of a new single story retail building along Main Street in Old Town. APN: 406-32-049. Address: 802 N. Main St. Owner: Copper State Land LLC. Agent: Thomas Valentine.
- 5. DR 16-006 COTTONWOOD VILLAGE-** Design Review approval for the construction of a deck addition to Cottonwood Village. APN: 406-42-175E, 406-42-175C. Address: 201 E. Mingus Ave. Owner: Ventas Realty. Agent: Christian Vernosky.
- 6. Z 16-001 AAA COOL STORAGE-** Consideration of a zone change of a parcel from C-1 (Light Commercial) zoning to PAD (Planned Area Development) zoning. The applicant is requesting this change to allow the development of an indoor, climate controlled self-storage facility located at 950 S. Camino Real. APN: 406-04-046H. Address: 950 S. Camino Real. Owner: V & D Enterprises. Agent: Tom Pender

V. DISCUSSION ITEM: NONE

VI. INFORMATIONAL REPORTS AND UPDATES:

A brief summary of current events by Chairperson, Commission members, and/or Community Development Director. (The public body does not propose, discuss, deliberate, or take legal action on any matter brought up during this summary unless the matter is properly noticed for legal action).

VII. ADJOURNMENT

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

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Official Minutes of the City of Cottonwood
Planning & Zoning Commission Regular Meeting
Held, January 26, 2016, at 6:00 P.M. at the City Council Chambers
826 N. Main St. – Cottonwood, Arizona

CALL TO ORDER & ROLL CALL

Chairman Kiyler called the meeting to order at 6:04 p. m. Roll call was taken as follows:

Planning & Zoning Commission Members Present

Chairman Ed Kiyler	Vice Chairman Robert Williams	Ray Cox
Judd Wasden	Suzanne Poslaiko	Jean Wilder

Staff Members Present

Berrin Nejad, Community Development Director
Scott Ellis, Community Development Planner
Charlie Scully, Community Development Planner
Christina Papa, Administrative Coordinator, Recorder

APPROVAL OF MINUTES OF OCTOBER 19, 2015-REGULAR MEETING

Motion: *To approve the minutes of 10/19/2015-regular meeting*

Made by: *Commissioner Wasden*

Second: *Commissioner Cox*

Vote: *Unanimous*

ELECTION OF CHAIR PERSON

Motion: *To appoint Commissioner Kiyler as Chairman*

Made by: *Commissioner Williams*

Second: *Commissioner Wasden*

Vote: *Unanimous*

ELECTION OF VICE CHAIR PERSON

Motion: *To appoint Commissioner Williams as Vice Chairman*

Made by: *Commissioner Wasden*

Second: *Commissioner Cox*

Vote: *Unanimous*

CALL TO THE PUBLIC (NONE)

NEW BUSINESS

1. **DR 16-001 KIDZAAM POLE SIGN-** Design Review approval for an existing unused pole sign. The project is located at 2180 State Route 89A. APN: 406-55-060. Owner: Albert Higgins Applicant: Jason Keller, Signs928 LLC. Below is Ellis's report

REQUEST:

The applicant is requesting Design Review approval to use an existing unused pole sign. The sign is for a new pediatric dental office that is located at 2180 State Route 89A.

Applicant:

Jason Keller Signs928 LLC.
425 S. 6th St.
Cottonwood, AZ 86326

Property Owner:

Albert Higgins
3100 W. Renegade Rd.
Prescott, AZ 86305

BACKGROUND:

On the June 15, 2015 the commission gave Design Review approval to Kidzaam Dental, a new pediatric dental office. One of the commission's stipulations was that future use of the freestanding pole sign be brought back for review and approval. The applicant has submitted a sign design that meets all zoning requirements.

Vice Chairman Williams asked staff if the pole sign was going to be the same as the existing sign on the building. Staff responded that it would be. Commission Cox asked the applicant if the sign will be internally lit by what type of lighting. Applicant responded that it will be internally lit by LED lighting.

Motion: Approve DR 16-001 Kidzaam Pole Sign as presented.

Made by: Commissioner Williams

Second: Commissioner Poslaiko

Vote: Unanimous

2. **DR 16-002 VERDE VALLEY EXTENDED STAY-** Design Review approval for the construction of a new building with eight (8) new guest rooms. The project is located at 925 Cove Parkway. APN: 406-55-057. Owner: Rudy & Michelle Stadelman Applicant: Bob Woods Architect. Below is Ellis's Report:

The applicant is requesting approval of a Design Review application for the construction of a new two story building with eight new guest rooms.

PROJECT DATA AND FACTS:

Applicant/Agent	Bob Woods
Owner	Rudy & Michelle Stadelman
Location of Property	925 Cove Parkway
Present Zoning and Land Use	C-2 (Heavy Commercial)
Description of Applicant's Request	Verde Valley Extended Stay, 8 new guest rooms.

LAND USE:

Description and Character of Surrounding Area
The site is located on Cove Parkway, north of State Route 89A and is surrounded by a variety of commercial uses in the area. The east side of the property borders the Cottonwood City Limits and Yavapai County.
North: C-2 - Heavy Commercial – Office Building.
East: Yavapai County Zoning C2-12 – Vacant land.
South: C-2 – Heavy Commercial – Retail Auto repair/tire store.
West (Across Cove Parkway): C-2 – Heavy Commercial – Office Building.

PROJECT PROPOSAL:

Background:

The site is vacant and undeveloped. The property owner currently owns the existing Extended Stay facility at 960 Cove Parkway, just across the street from the proposed new one. There has been enough demand for the owners to consider expanding and open another extended stay facility. This property will allow them to build a new two-story structure and provide an additional 8 hotel rooms for accommodation.

The proposed development fits within the General Plan designation for this area and the Land Use Map showing a General Commercial development.

STRUCTURE DESIGN:

Number and Proposed Use of Building (Complete Project)	1 Building for a total of 8 hotel units.
Number of Stories	2
Square Footage	4342 sq.ft. Guest rooms 180 sq.ft. Utility room 360 sq.ft. Covered sidewalk 4882 sq. ft. Total Building Area

Parking:

Each guest unit will have one (1) space, and one (1) space for employees, nine (9) required parking spaces one (1) of which must be ADA, ten (10) total spaces provided.

Lighting:

Exterior lighting as per the lighting plan dated 1-6-16 meets the lighting ordinance requirements.

Signage:

No signage has been proposed at this time.

Access:

Access will be from a shared-use driveway on Cove Parkway. The driveway will serve the proposed use and use to the north. The driveway will be shared-use driveways and are the preferred approach to access on this street.

Landscape Plan:

The landscape plan meets zoning ordinance requirements.

Utilities:

All necessary utilities are located in proximity to the site.

Architecture, Materials, Colors:

Architecture of the new building will duplicate the existing Verde Valley Extended Stay structures. The exterior finishes will be stucco walls, asphalt shingle roofing, and concrete walkways and balconies to match the existing complex. Landscaping will consist of xeriscape and will blend with existing plant materials and stone-top dressing. Color samples have been provided.

CRB Review:

This project was reviewed by the Code Review Board on December 15, 2015 for the initial approval and applicant has already met most of the requirements from staff.

STIPULATION:

Staff has reviewed this project and finds it fits within the General Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted 01/06/2016 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated December 16, 2015.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.

Chairman Kiyler asked if the building would be the same as what exists currently. Applicant responded that the colors are a little bit different, and that they will be using a corrugated metal as opposed to the solid stucco fencing. Other than those items they are pretty much the same. Commissioner Cox asked the applicant if there was any plan to put solar on. Applicant responded no not at this time. Commissioner Wasden liked the projected landscaping along Cove Parkway. Vice Chairman Williams asked the applicant what the projected timeframe of the project is. Applicant responded that they are projecting an eight month time frame from start to completion. Commissioner Poslaiko mentioned that in the packets the time frame that they gave staff was March 2016 to September 2016. Overall the Commission felt that it was a good project.

Motion: *Approve DR 16-002 Verde Valley Extended Stay with the following stipulations:*

- 1. That the project is developed in conformance with the site plans submitted 01/06/2016.*
- 2. That the project conforms to Code Review Board comments dated December 16, 2015.*
- 3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by January 25, 2017.*

Made by: *Commissioner Williams*

Second: *Commissioner Wasden*

Vote: *Unanimous*

3. **DR 16-004 DARBY AWNING-** Design Review approval for the placement of an awning on an existing building in Old Town. The project is located at 1035 N. Main Street. APN: 406-34-006B. Owner: JoAnna & Tom Darby Applicant: JoAnna Darby. **This item was withdrawn by the applicant prior to the meeting**
4. **PCU 16-001 TC EXCAVATING-** Consideration of a Conditional Use Permit to allow a construction storage yard for excavating equipment in a C-1 (Light Commercial) zoned property located at 121 S. 6th Street. APN 406-42-101D. Address: 232 S. 6th Street. Owner: B&B Revocable Trust. Agent: Krishan Ginige. Below is Ellis's Report:

The applicant is requesting approval of a Conditional Use Permit to store construction/excavation equipment. The proposed site is located at 232 S. 6th Street, which is zoned C-1 (Light Commercial).

PROJECT DATA AND FACTS:

Applicant Agent	Krishan Ginige
Property Owner	B & B Revocable Trust
Location of Property	232 S. 6 th Street

Present Zoning and Land Use	C-1 (Light Commercial) – Construction Yard
Description of Applicant’s Request	Park and operate excavating equipment out of yard, to include large trucks, tractors, etc.

LAND USE:

Description and Character of Surrounding Area
The site is on the west side of S. 6 th Street, just south of the Cottonwood Recreation Center. The property is surrounded by a variety of uses, including residential, industrial, and commercial.

Adjacent Land Uses and Zoning	
North:	C-1 – Light Commercial – Residential Apartments
South:	I-2 – Heavy Industrial – Miscellaneous commercial/industrial business
East: Across 6th St.	C-2 – Heavy Commercial – Miscellaneous commercial business
West:	R-1 – Single Family Residential – Single Family Homes

PROJECT PROPOSAL:

Background:

Currently the site is a large, mostly open-air yard, with an office building near the front and several accessory buildings along the south property line. The front office building is currently used to store parts and tools and is not a place of public accommodation. Most of the property is undeveloped. The applicant has been using the yard for over a year to operate an excavating business and park large trucks/equipment. No excavating work is done on site. This type of use requires approval of a Conditional Use Permit, as construction yards are not considered a permitted use in the C-1 zone.

The property has had several Conditional Use Permits for the past 38 years for various types of storage use, including trash trucks, telephone repair vehicles, and a used car lot. The original Conditional Use Permit was approved in 1978 for outdoor storage use, and has had similar uses since.

A used car lot was approved by the Planning & Zoning Commission in 2009, however, the applicant never followed through with the project, therefore the permit expired and a new one now has to be sought for the current use. This also means the required improvements were never completed (landscaping, sidewalks, etc.), and have now become a part of the requirement for this project.

Staff received several complaints from neighbors related to the current use of this property (see Nuisance section).

The applicant has proposed hours of operation as follows:

6:00am to 6:00pm on weekdays

9:00am to 4:00pm on Saturdays

Occasional maintenance work to be done from 10:00am to 4:00pm, with all noise Ordinance requirements to be adhered to.

The front building is not currently being used for anything other than tool and parts storage.

The General Plan Land Use Map identifies this parcel as General Commercial, the area to the south as Performance Commercial/Industrial, to the east as General Commercial, and to the west as Low Density Residential. This particular property falls just outside the Performance Commercial/Industrial area, therefore it is not in conformance with the Land Use Plan.

Parking:

Five (5) parking spaces will be provided in the front of the property, with one of them being ADA accessible. Employees, large equipment, and trucks will be parked in the rear of the property, behind the gate/fence along the front.

Lighting:

Lighting will comply with Dark Sky regulations, and additional lighting is not currently proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

Two (2) entrance/exit locations are available on either side of the property off S. 6th Street. The entrance will be at the north driveway, with a one-way drive aisle allowing traffic to proceed south to the southern driveway for exiting. Trucks coming into and out of the yard will use the north driveway.

No access to the property off of E. Beech Street will be permitted.

Landscape Plans:

A landscaping plan has been submitted that will improve the site and bring the property into current landscaping requirements as indicated in Section 407 of the Landscaping Ordinance. The applicant will be installing new landscaping to meet new and previous requirements.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on June 16, 2015 and the owner will be required to meet all conditions to continue operation of the business at this location.

REQUIRED FINDINGS:

General Findings:

The current zoning and the Land Use designations as described in the Land Use Map does not allow the proposed use of the property as a construction equipment storage yard. However, the historic use of this property has been similar, with outdoor storage of large trucks (Taylor Waste, Qwest) going as far back as 1978, all with approval of a Conditional Use Permit.

Compatibility with Surrounding Uses:

This property sits on the boundary of several different uses, from Single Family Residential and General Commercial, to Heavy Industrial. It is a largely undeveloped property that has consistently been used as storage.

Staff indicated that the storage of materials (dirt, rocks, etc.) will create a more intense use of this property that does not qualify for a Conditional Use Permit. The storage of such materials will create a heavier industrial use. The applicant has indicated on the site plan that he does intend to store a small amount of this material on site.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property.

Infrastructure:

The property is largely undeveloped and contains a mostly dirt/gravel yard. A requirement of use will be to pave/chip-seal all areas subject to vehicular traffic. Also, the applicant will be required to upgrade the driveways and install sidewalks in front of the property along 6th Street.

Landscaping will be required along the front of the property, including between the sidewalk and property line within the city right-of-way.

Nuisance Activities:

In early 2015, staff received numerous phone calls from neighboring property owners to the west, with concerns about noise, dust, exhaust, hours of operation, and other aspects of the use. This prompted staff to review the use, the history of the property, and require the business owner to make some adjustments to the operation, and to apply for a Conditional Use Permit. Please see attached letters.

These concerns have mostly subsided over the past few months due to operational adjustments made by the business owner. The applicant will be required to make other adjustments and site improvements to further eliminate any negative affects to the neighbors.

Neighbors were also concerned with large trucks accessing the property off of Beech Street. Staff has informed the business owner that access to the property off of Beech Street will not be permitted.

Buffering and Screening:

The property is fenced on all sides and is only visible from 6th Street and Beech Street. The fencing along the west property line as seen from Beech Street needs to be replaced, including slats, to provide the required screening from the residential area. Staff also recommended planting large evergreen trees along this property line to further screen the use from the neighbors. The applicant has indicated he will not be installing any landscaping along the west side due to a 3 foot drop from the fence to the yard.

Stipulations:

Staff has reviewed this project and finds it fits with the historic use of this property as an outdoor storage yard. Staff The following stipulations should be included if the commission moves to approve this Conditional Use Permit:

1. That the project is developed in conformance with the site/landscaping plans submitted on 12-29-15 and on 01-13-16 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 06-23-15.
3. The slatted fence on the west (rear) of the property be replaced to provide screening from the neighboring single-family homes. New slats should be installed to provide a clean appearance.
4. Storage of material (dirt, rocks, etc.) will create a more intense industrial use of this property that cannot be supported by a Conditional Use Permit, and therefore is not allowed.
5. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the Planning & Zoning Commission deems necessary.

Commissioner Wasden had some questions regarding the site plan with the future building at the back of the property, and what that may be. Staff mentioned that at this time there is no plan as to what that future building might be. Commissioner Wilder mentioned that the proposed storage is not allowed in the current zoning. Staff mentioned that this use started before going through the process. Commissioner Poslaiko mentioned that there is some confusion under staff findings regarding the west property line fence on Beech Street, is it saying that the fence needs to be replaced with slats, or that just the slats need to be replaced. Vice Chairman Williams asked about fence height, and the restrictions on fencing. Staff responded that a six (6) foot fence is all that is allowed,

however, per the Zoning Ordinance “The height regulations shall not apply when fences of greater height are required by the Planning and Zoning Commission or Development Review Board in order to provide adequate screening as required by this Ordinance”. Applicant mentioned that they added the retention area, it was not a City requirement, but good business practice, the stock pile has been used for the past two (2) years, all the area is going to be chip seal/asphalt so that should help the dust, offsite drainage for the runoff, proposed additional parking both outside and inside the yard, the west side fencing in the proposed plan is to be replaced. Commissioner Wasden asked the applicant if there was always a three (3) foot elevation difference from the top of the materials pile and the fence line. Applicant mentioned that when they went to survey it that there was a three (3) foot difference, they did not grade it. Commissioner Wilder asked if they had any plans to make the fence higher. Applicant mentioned that at this time they would like to keep it at six (6) feet. Commissioner Poslaiko asked if they are replacing the fence and the slats or just the slats. Applicant responded that the fence itself is fine, so they would just be replacing the slats. Vice Chairman Williams asked the applicant if they approached the City two (2) years ago to discuss what could and could not be done on that property. Applicant responded that they did not, that they were told by their landlord when they leased the property what that land was for over the years and no I did not check with the City on what I could and could not do. Vice Chairman Williams asked the applicants about the City’s concerns regarding storage. Applicant mentioned that occasionally he does have storage, but how often I will or will not move, he didn’t know. Vice Chairman Williams mentioned that the material wasn’t always there, the property owner would need to come in and request a zone change, the commission can approve with various stipulations but that would mean no storage is allowed.

The floor was open to the public; there were two comments made by the public both opposing the project. The floor was then closed for public comment.

Commissioner Cox was disappointed that proper protocol was not followed by the applicant. Commissioner Wasden had concerns that the use is no longer a light commercial use, but a heavier use, also the wood fence along the side of the property that borders the apartments needs to be replaced. Commissioner Poslaiko also mentioned that the wood fence needs to be replaced, along with the west side fencing. Vice Chairman Williams had some concerns with the fourth stipulation as it will not allow him to store his materials at the location, if that stipulation is there then the applicant wants to change the drainage that is proposed, the item would need to be tabled and go back to staff, and feel that the use is more industrial then commercial, also that fencing along the west side of the property would need to provide a sound and height barrier to be more like a block wall. Chairman Kiyler mentioned that there is a lot that needs to be done to be brought up to code.

Motion: ***Table PCU 16-001 TC Excavating until the February 22, 2016 meeting. Applicant to work with staff on storage materials that have to be***

removed, work with staff on drainage and have the property owner involved with this process, and fencing of the property.

Made by: Commissioner Williams
Second: Commissioner Wilder
Vote: Unanimous

- 5. PCU 16-002 TEASURE JUNKIES-** Consideration of a Conditional Use Permit to allow rental of U-Haul trucks and trailers in a C-1 (Light Commercial) zoned property located at 612 N. Main Street. APN: 406-42-040E, 406-42-040G. Address: 612 N. Main Street. Owner: Copper State Land, LLC. Agent: Michael Weber & Kathleen Francis. Below is Ellis's Report:

The applicant is requesting approval of a Conditional Use Permit to allow rental of U-Haul trucks and trailers. The proposed site is located at 612 N. Main Street, which is zoned C-1 (Light Commercial).

PROJECT DATA AND FACTS:

Applicant/Agent	Michael Weber and Kathleen Francis
Property Owner	Copper State Land, LLC/Michael Clark
Location of Property	612 N. Main Street
Present Zoning and Land Use	C-1 (Light Commercial, retail)
Description of Applicant's Request	Obtain Conditional Use Permit to operate a U-Haul rental location to provide trucks and trailers to customers.

LAND USE:

Description and Character of Surrounding Area
The site is on the south side of North Main Street, close to the cross roads of North Main Street and North 12th Street.

Adjacent Land Uses and Zoning	
North: Across Main Street	C-1 - Light Commercial – Single family residence and the Cottonwood Cemetery.
South:	R-4 - Single Family/Multiple Family/Manufactured Home – Single Family Homes
East:	C-1 - Light Commercial – Vacant structure.
West:	C-1 - Light Commercial – Vacant lot.

PROJECT PROPOSAL:

Background:

The site consists of two parcels, one of which contains an existing building currently used as a thrift store. The other parcel is part of this business and is a large vacant lot used for parking, and will be used to park the U-Haul trucks and trailers. The existing building is single story and is approximately 1,800 square feet.

Parking:

Nine (9) parking spaces, one of which will be handicap accessible, will be dedicated for the existing thrift store. Approximately 16 vehicle rental storage spaces are available for the U-Haul trucks and trailers. The property owner/applicant has already paved/chip sealed the front of the parking lot as a requirement from code review for this project.

Lighting:

No new lighting is proposed.

Signage:

A staff level review of a sign for the thrift store and a picture of a U-Haul sign to be placed in the window has been submitted (see attachment).

Access:

A single driveway entrance allows access to the property off N. Main Street. No additional access is available or proposed.

Landscape Plans:

No new landscaping has been proposed.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on October 27, 2015 and applicant has already met the majority of the requirements from staff.

REQUIRED FINDINGS:

General Findings:

The current use of a retail thrift store fits within the current C-1 (Light Commercial) zoning designation as a permitted use. The business owners would like to add an accessory use to allow renting of U-Haul trucks and trailers. This type of use falls within the General Commercial characteristics as described in the General Plan and shown on the Land Use Map.

Compatibility with Surroundings Uses:

The proposed accessory use of the property will be consistent with surrounding uses as general commercial, and will not be out of place as a commercial use in this area.

Traffic and Circulation:

The site has one driveway entrance/exit from Main Street. Traffic circulation on the property works adequately.

Infrastructure:

There are no infrastructure issues for this property. The property owner has paved a section of the lot that was dirt/gravel, as required as a condition of approval.

Nuisance Activities:

No nuisances have been identified. Staff has not received any comments, concerns, or questions from neighboring property owners.

Buffering and Screening:

The property does not currently have any screening around it. The east and west sides are bordering vacant lots, with the south side bordering a residential zone, with a chain-link fence running across the property line.

Stipulations:

Staff has reviewed this project and finds it fits within the General Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted 01-04-16 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 11-03-15.
3. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
4. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
5. Any other stipulations the Planning & Zoning Commission deems necessary.

Commissioner Wasden asked about landscaping and said that it should be improved. Vice Chairman Williams asked if the back fence was slatted, or is there some sort of buffer. Staff responded that it appeared to be shielded, not slatted. Vice Chairman Williams also asked about the gate that is in the back part of the property, and if that was to be replaced. Applicant responded that the gate is not on their property, but is on the neighbors. Commissioner Wasden asked the applicant if they would be ok with adding some landscape. Applicant mentioned that they had no problem putting in some landscaping.

The floor was open to the public; there were two (2) comments made by the public both supporting the project. The floor was then closed for public comment.

Commissioner Cox mentioned that the property has been there awhile and he doesn't see any problem with the use. Commissioner Wasden appreciated that they are keeping a manageable fleet of vehicles, the landscaping can be decorative rock, it doesn't have to be plants, but something that will enhance the street frontage as it is an entry way to Old Town Cottonwood.

Motion: *Approve PCU 16-002 Treasure Junkies to allow U-Haul trucks and trailers with the following stipulations:*

- 1. That the project is developed in conformance with the site plans submitted 01/04/16.*
- 2. That the project conforms to Code Review Board comments dated 11/3/2015.*
- 3. The conditions of approval shall be completed by six (6) months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.*
- 4. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.*
- 5. The applicant will work with the Planning staff to improve the landscaping in front of the property that faces Main Street.*

Made by: *Commissioner Williams*

Second: *Commissioner Poslaiko*

Vote: *Unanimous*

6. **PCU 16-003 WESIE'S CUSTOMS-** Consideration of a Conditional Use Permit to allow screened outdoor storage as an accessory use in a C-2 (Heavy Commercial) zoned property located at 1491 E. Cherry Street. APN: 406-06-262. Address: 1491 E. Cherry Street. Owner: Rio Arizona Holdings, LLC. Agent: Robert Wesighan. Below is Ellis's Report:

The applicant is requesting approval of a Conditional Use Permit to allow screened outdoor storage of automotive restoration materials as an accessory use. The proposed site is located at 1491 E. Cherry Street, which is zoned C-2 (Heavy Commercial).

PROJECT DATA AND FACTS:

Applicant	Robert Wesighan
Property Owner	Rio Arizona Holdings, LLC
Location of Property	1491 E. Cherry Street
Present Zoning and Land Use	C-2 (Heavy Commercial) – Automotive restoration and storage.
Description of Applicant's Request	Allow storage of various vehicle parts and miscellaneous materials to be used in the restoration of vehicles for applicants business.

LAND USE:

Description and Character of Surrounding Area
The site is on the south side of E. Cherry Street, west of S. Main Street. The property is surrounded by office/retail spaces, and vacant land.

Adjacent Land Uses and Zoning	
North: (across Cherry Street)	C-1 – Light Commercial – Office spaces
South:	C-2 – Heavy Commercial – Back end of a retail parts store
East:	C-2 – Heavy Commercial – Retail stores and a vacant lot.
West:	C-2 – Heavy Commercial – Dog Kennel/Grooming

PROJECT PROPOSAL:

Background:

Currently the site is a long lot, with a building, shade structure, and open rear yard. The applicant currently runs an automotive restoration business, which requires the storage and use of miscellaneous auto parts from other vehicles. The business itself is a permitted use in the C-2 zone, however, the excessive and type of outdoor storage requires obtaining a Conditional Use Permit.

Hours of operation are 8:00am to 5:00pm Monday through Friday, with occasional work being performed later than 5:00pm and on weekends.

Parking:

Adequate parking exists for the current traffic and customers that come to this business. The parking of unlicensed or inoperable vehicles will be required to be in the rear of the property, and not take up any available parking needed for the business.

Lighting:

No lighting changes are proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

A single driveway entrance exists on the property allowing access off E. Cherry Street. No access issues have been noted.

Landscape Plans:

A small portion of the front of the property along E. Cherry Street is already landscaped and the applicant has not proposed any additional landscaping of the property.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on November 24, 2015 and the applicant will be required to meet all conditions to continue operation of the business at this location.

No automotive painting or primer will be allowed unless an approved spray booth is installed complying with all local codes and NFPA 33 standards. This will require Fire Department approval. Aerosol paint cans (rattle cans) are excluded from these requirements.

REQUIRED FINDINGS:

General Findings:

The current zoning of C-2 (Heavy Commercial) allows as a permitted use, automotive repair shops. This business is an auto-repair/auto-restoration shop which is also a permitted use in this zone. The amount and type of outdoor storage that is being done has prompted the need to obtain a Conditional Use Permit to continue the storage as an accessory use to the automotive repair and restoration.

Compatibility with Surrounding Uses:

The property sits within a section of C-2 zoning that continues on 3 sides of it, with C-1 zoning across Cherry Street. There is a mixture of office space, retail, and pet boarding/grooming immediately abutting the property. A few spaces to the west is an auto-body shop which operates as a permitted use in this zone.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property. The existing road is adequate to handle the traffic generated by this business.

Nuisance Activities:

City staff received complaints from neighboring property owners and businesses regarding the type of use at this location. These complaints include noise, smoke, burn-outs, unscreened storage, unlicensed vehicles, and a suspected rat problem. These concerns were brought to the attention of the business owner who has since made significant improvements regarding the organization of the storage, screening, and removal of unlicensed vehicles from the front of the lot. Staff determined that in order to continue storing items additional screening and a Conditional Use Permit would be required.

The applicant removed several vehicles that were stacked above the fence line and were visible from the public streets. He also cleaned and organized the outdoor storage of various parts and vehicles.

Painting of vehicles was also suspected, however, the Fire Department has found no evidence of this to be occurring on site.

A neighboring property owner and business is still not satisfied with the progress made by the applicant, and believes it to be a junkyard, continuing to create problems for her business (see attached letter from the neighboring business).

Buffering and Screening:

The storage of automotive parts and materials takes place at the rear of the lot, behind a fence and gate, and not visible from Cherry Street. At one point the business owner had vehicles stacked to a level that exceeded the height of the fence surrounding the property and was visible from the street. Once staff brought this to the owner's attention, the vehicles were removed to a level acceptable by the ordinance related to screened outdoor storage. The business owner also put slats in a section of chain-link fence along a portion of the property that borders the neighboring pet boarding/grooming facility. The slats should continue further down the fence line to help screen the remaining portion of the property.

Stipulations:

Staff has reviewed this project and finds the business is permitted, with the need to obtain a Conditional Use Permit for outdoor storage. If approved, staff recommends the following stipulations:

1. That all outdoor storage meets ordinance requirements related to screening of all outdoor storage.
2. That the project conforms to Code Review Board comments dated 11-25-15.
3. All outdoor storage is to be screened with slats installed in the chain-link fence surrounding the property. Stacking of vehicles or other materials is not allowed if it can be seen above the fence line.
4. All outdoor storage is to remain in the rear of the property to where it is not visible from the public street.
5. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the Planning & Zoning Commission deems necessary.

Chairman Kiyler asked staff if this was another property that was brought to our attention by complaint. Staff responded that it was. Applicant mentioned to the commission that all

the things that are on the property are incidental to his business. Chairman Kiyler asked the applicant if he saw why people would view it as a junk yard. Applicant responded yes. Commissioner Cox asked the applicant if there was a written inventory of what is there. Applicant responded no. Commissioner Wasden asked if he would do additional landscaping if needed. Applicant responded that it would not be a problem to add landscaping if needed. Commissioner Williams asked the applicant if they sell parts individually. Applicant responded that they do not. Commissioner Kiyler asked the applicant how long they had been in business. Applicant responded two (2) years.

The floor was open to the public; there were four (4) comments made by the public opposing the project and three (3) supporting the project. The floor was then closed for public comment.

Commissioner Cox mentioned that it is a fine line between disorganized materials and a junkyard. Commissioner Wilder mentioned making a big enough building to store the items in. Commissioner Poslaiko mentioned that they should have similar compliance to what is existing. Vice Chairman Williams mentioned that rats came from a vacant field, and the cars are what has attracted them to nest, there really is an extensive amount of storage, if this could be reduced and some more screening put in. Chairman Kiyler mentioned that it was a junkyard, don't see a whole lot to restore older vehicles. The Commission had some discussion regarding the City Attorney coming to the next meeting so that they can have some guidance.

Motion: *Table PCU 16-003 Wesie's Custom until February 22, 2016.*

Made by: *Commissioner Williams*

Second: *Commissioner Wasden*

Vote: *Unanimous*

7. **PCU 16-004 TERRA BENI-** Consideration of a Conditional Use Permit to allow agricultural land use in I-2 (Heavy Industrial) zoned property. The site is located on S. Willard St. north of E. Tierra Verde Dr. APN: 406-08-009D, 406-08-009C, 406-08-010A. Address: N/A. Owner: Beaver Creek Development Inc. Agent: Bernadette Selna. Below is Ellis's Report:

The applicant is requesting approval of a Conditional Use Permit to allow agricultural land use. The proposed site is located on S. Willard St. north of E. Tierra Verde Dr., which is zoned I-2 (Heavy Industrial).

PROJECT DATA AND FACTS:

Applicant/Agent	Bernadette Selna
Property Owner	Beaver Creek Development Inc., et al.
Location of Property	S. Willard St. north of E. Tierra Verde Dr.
Present Zoning and Land Use	I-2 (Heavy Industry, empty lots)

Description of Applicant's Request	To implement agricultural land use on the vacant parcels to grow and sell local produce at farmer's markets.
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LAND USE:

Description and Character of Surrounding Area
Three large pieces of property are located east of S. Willard Street, north of E. Tierra Verde Drive, and south of Crimson Road and Clover Way. A smaller piece of the property is on the west side of S. Willard Street, east of S. Airpark Road. All of the land is currently vacant and undeveloped. Surrounding uses include industrial and residential.

Adjacent Land Uses and Zoning	
North:	I-2 - Heavy Industry – Various industrial uses and empty lots.
South:	AR-43 - Agricultural Residential – Single family homes.
East:	MH - Manufactured Home – Manufactured home subdivision.
West:	I-2 - Heavy Industry – Vacant lots, airport hangars, Cottonwood Airport.

PROJECT PROPOSAL:

Background:

The property owner would like to use 3 parcels, approximately 25.84 acres, of land in an industrial zone to develop agricultural uses. The intent is to grow local produce to sell at farmer's markets and set up on-site produce stands to sell from. The project will develop in phases, beginning with prepping of the land and starting with easily grown produce.

Parking:

Various sections of parking will be available off the east side of S. Willard Street, and off the north side of the property.

Lighting:

Lighting has not been proposed for this project.

Signage:

Signage has not been proposed for this project.

Access:

Will be accessed through Clover Way on the north end of the property to start. During phase II and/or III additional entrances will be added on Willard Street and Airpark Road. Interior roads will be available for farming equipment only.

Landscape Plans:

No landscaping is proposed for this project.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on December 22, 2015 and applicant will be required to adhere to comments from staff.

REQUIRED FINDINGS:

General Findings:

An agricultural use in the industrial zone can be considered a compatible use with industrial use. With it being located in a Heavy Industrial area, it will require approval of a Conditional Use Permit. This type of use should not create any detrimental impacts to neighboring property owners.

Compatibility with Surroundings Uses:

Agricultural use is not a conflicting use with Industrial. There are very similar aspects of each use that complement each other such as, hours of operation, production, processing, outdoor storage, noise, machinery, etc.

Traffic and Circulation:

No traffic impact issues.

Infrastructure:

The property owner will be working with the utility department to allow use of reclaimed water for irrigation purposes.

Nuisance Activities:

Staff has received at least four phone calls from neighboring property owners requesting information about the type of agriculture being done. The only concern raised was with fertilizer, which the applicant has indicated will not impact any neighbors.

Dust could be a possible nuisance from machinery and harvesting of produce.

Buffering and Screening:

Where practical, staff recommends landscaping as a buffer between different zoning districts. An agricultural use with planting produce will be similar to a landscape buffer and should provide an aesthetic site. The applicant is also proposing a barbed-wire fence to surround the property.

Stipulations:

Staff has reviewed this project and finds it fits within the Cottonwood General Plan Land Use requirements, and needs a Conditional Use Permit. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted 01-12-16 and as may be further modified by the Planning Commission.

2. That the project conforms to Code Review Board comments dated 12-24-15.
3. Parking will need to be reviewed and approved by staff.
4. Dust control will be required over the life of the project. Applicant will submit dust control plan to staff for approval.
5. A lighting plan will need to be submitted and approved by staff prior to installation of any lighting structures. All lighting must meet Dark Sky requirements and ordinance requirements.
6. All structures will need building permits and approval.
7. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
8. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
9. Any other stipulations the Planning & Zoning Commission deems necessary.

Commissioner Cox asked if this was outside of the leased area that the City owns. Staff mentioned that it was, it is private property, and that the applicant can explain more about what they are growing. Vice Chairman Williams asked staff other than the calls that were received if staff received any other objections. Staff responded that they had not. Applicant informed the commission that they are planning orchards, nut trees (almond), the plan is to work with schools and make the gardens available for educational purposes. Commissioner Cox asked the applicant if this is an old family parcel or recently purchased. Applicant said that they have owned the parcels for twenty (20) and thirty (30) years. Commissioner Wasden mentioned that the project is very ambitious, a great project. Applicant mentioned that they are looking to use reclaimed water, and to do so the same way the City currently does its landscaping irrigation, so it would not be sprinkled. Commissioner Wilder asked if the barbed wire was for the javelina, and concerns regarding hen houses. Applicant mentioned that they will be in hoop houses, and that is totally enclosed and the hen houses would be in there. Vice Chairman Williams mentioned that there are residential areas along the property and is concerned about the trucks and the parking. Applicant mentioned that the trucks would only be there temporarily, they will not be permanent.

The floor was open to the public; there was one (1) comment made by the public opposing the project and three (3) supporting the project but had some concern. The floor was then closed for public comment.

Commissioner Poslaiko mentioned that the agricultural use is better than industrial, and has some concerns regarding chemicals. Vice Chairman Williams mentioned that it was a great use, it is what Cottonwood was; he doesn't see it being a heavy use; and the concerns regarding soil etc., that there are government agencies that test those types of things, however, one day it will be industrial, but for now this is a great use.

Commissioner Wasden mentioned that it is a unique opportunity to use the reclaimed water. Commissioner Poslaiko and Commissioner Cox asked if it was going to be an organic farm. Applicant responded that it will be as organic as possible without having to go through the USDA applications. Commissioner Wilder mentioned that not only roosters make noise but that the hens make noise too, and dust can come from the hen houses. Vice Chairman Williams asked about the time approval to meet stipulations, thinking six (6) months or a year. Applicant mentioned that they would like to be up and running in the spring. Vice Chairman Williams mentioned that they come back in a year to see dust control, etc. to review the project. Commissioner Wasden mentioned that the commission wants to be sure that the infrastructure is put in at that time so that they can just carry on.

- Motion:** *Approve PCU 16-004 Terra Beni with the following stipulations:*
- 1. That the project is developed in conformance with the site plans submitted 01/12/16*
 - 2. That the project conforms to Code Review Board comments dated 12/24/15*
 - 3. Parking will need to be reviewed and approved by staff.*
 - 4. Dust control will be required over the life of the project. Applicant will submit dust control plan to staff for approval.*
 - 5. A lighting plan will need to be submitted and approved by staff prior to installation of any lighting structures. All lighting must meet Dark Sky requirements and ordinance requirements.*
 - 6. All Structures will need building permits and approval.*
 - 7. The conditions of approval shall be completed by twelve (12) months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.*
 - 8. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified*

Made by: *Commissioner Williams*
Second: *Commissioner Wasden*
Vote: *Unanimous*

8. **GENERAL PLAN ANNUAL UPDATE-** Review and recommendations for annual report to City Council on the status of Cottonwood General Plan. Below is Scully's Report:

REQUESTED ACTION

Review and recommendations for annual report to City Council on the status of the Cottonwood General Plan.

BACKGROUND

The Cottonwood General Plan 2025 was adopted by the City Council on June 3, 2014, and ratified by the voters of Cottonwood on November 4, 2014. As per Arizona Revised

Statutes, the City planning agency shall provide an annual update to the City Council on the progress and implementation of the Plan.

The report is presented to the Planning and Zoning Commission for review and recommendations to be forwarded to the City Council. The recommendation is to develop a model report or template that can be updated on an annual basis.

Arizona Revised Statutes §9-461.07. Administration of general plan

A. After the municipal legislative body has adopted a General Plan, or amendment thereto, the planning agency shall undertake the following actions to encourage effectuation of the plan:

1. Investigate and make recommendations to the legislative body upon reasonable and practical means for putting into effect the General Plan or part thereof in order that it will serve as a pattern and guide for the orderly growth and development of the municipality and as a basis for the efficient expenditure of its funds relating to the subjects of the general plan. The measures recommended may include plans, regulations, financial reports and capital budgets.
2. Render an annual report to the legislative body on the status of the plan and progress in its application.

STAFF ANALYSIS

Annual Update – Review of Plan Implementation

Indicators for measuring the status of the General Plan implementation are based on the Goals and Objectives sections found in each of the 10 Plan Elements. The Goals and Objectives are assembled in a combined table format with an area for notes.

In addition, various recommendations described in the text sections of the Plan can also be included with the annual review. In some cases the General Plan includes large and broad aspirational statements concerning the vision of the city. Those may be less specific in terms of measuring progress. However, there are examples of various projects and programs where recommendations are measurable in terms of specific implementation – so those should be documented where applicable.

Status Indication:

Some goals may be indicated by completion of a project, whereas others may be shown as ongoing programs. Other unique conditions may be indicated as necessary to describe status. The following includes typical status indicators for goals and objectives:

- Preliminary Review
- In Progress
- Completed
- Ongoing

DISCUSSION ITEMS-NONE

INFORMATIONAL REPORTS AND UPDATES

There was a brief update/discussion in regards to the following, no action was taken, these were only for informational purposes.

1. New Planning and Zoning Commissioner Thomas Narwid
2. Dairy Queen Sign
3. Maverik Gas Station
4. Awning
5. Crema

ADJOURNMENT

Meeting adjourned at 10:05p.m.

DRAFT



MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: February 22, 2016

HEARING NUMBER: **PCU-16-001 TC Excavating**

The applicant has asked staff for an extension of this project to allow them time to meet with neighboring property owners to address any issues they may have with the proposed use. The applicant will attend the February 22, 2016 Commission meeting to provide an update and would like to request the commission table the project until the March 21, 2016 Commission meeting.



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: January 25, 2016

PROJECT NUMBER: PCU 16-001 T.C. Excavating

The applicant is requesting approval of a Conditional Use Permit to store construction/excavation equipment. The proposed site is located at 232 S. 6th Street, which is zoned C-1 (Light Commercial).

PROJECT DATA AND FACTS:

Applicant Agent	Krishan Ginige
Property Owner	B & B Revocable Trust
Location of Property	232 S. 6 th Street
Present Zoning and Land Use	C-1 (Light Commercial) – Construction Yard
Description of Applicant’s Request	Park and operate excavating equipment out of yard, to include large trucks, tractors, etc.

LAND USE:

Description and Character of Surrounding Area
The site is on the west side of S. 6 th Street, just south of the Cottonwood Recreation Center. The property is surrounded by a variety of uses, including residential, industrial, and commercial.

Adjacent Land Uses and Zoning	
North:	C-1 – Light Commercial – Residential Apartments
South:	I-2 – Heavy Industrial – Miscellaneous commercial/industrial business
East: Across 6th St.	C-2 – Heavy Commercial – Miscellaneous commercial business
West:	R-1 – Single Family Residential – Single Family Homes

PROJECT PROPOSAL:

Background:

Currently the site is a large, mostly open-air yard, with an office building near the front and several accessory buildings along the south property line. The front office building is currently used to store parts and tools and is not a place of public accommodation. Most of the property is undeveloped. The applicant has been using the yard for over a year to operate an excavating business and park large trucks/equipment. No excavating work is done on site. This type of use requires approval of a Conditional Use Permit, as construction yards are not considered a permitted use in the C-1 zone.

The property has had several Conditional Use Permits for the past 38 years for various types of storage use, including trash trucks, telephone repair vehicles, and a used car lot. The original Conditional Use Permit was approved in 1978 for outdoor storage use, and has had similar uses since.

A used car lot was approved by the Planning & Zoning Commission in 2009, however, the applicant never followed through with the project, therefore the permit expired and a new one now has to be sought for the current use. This also means the required improvements were never completed (landscaping, sidewalks, etc.), and have now become a part of the requirement for this project.

Staff received several complaints from neighbors related to the current use of this property (see Nuisance section).

The applicant has proposed hours of operation as follows:

6:00am to 6:00pm on weekdays

9:00am to 4:00pm on Saturdays

Occasional maintenance work to be done from 10:00am to 4:00pm, with all noise ordinance requirements to be adhered to.

The front building is not currently being used for anything other than tool and parts storage.

The General Plan Land Use Map identifies this parcel as General Commercial, the area to the south as Performance Commercial/Industrial, to the east as General Commercial, and to the west as Low Density Residential. This particular property falls just outside the Performance Commercial/Industrial area, therefore it is not in conformance with the Land Use Plan.

Parking:

Five (5) parking spaces will be provided in the front of the property, with one of them being ADA accessible. Employees, large equipment, and trucks will be parked in the rear of the property, behind the gate/fence along the front.

Lighting:

Lighting will comply with Dark Sky regulations, and additional lighting is not currently proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

Two (2) entrance/exit locations are available on either side of the property off S. 6th Street. The entrance will be at the north driveway, with a one-way drive aisle allowing traffic to proceed south to the southern driveway for exiting. Trucks coming into and out of the yard will use the north driveway.

No access to the property off of E. Beech Street will be permitted.

Landscape Plans:

A landscaping plan has been submitted that will improve the site and bring the property into current landscaping requirements as indicated in Section 407 of the Landscaping Ordinance. The applicant will be installing new landscaping to meet new and previous requirements.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on June 16, 2015 and the owner will be required to meet all conditions to continue operation of the business at this location.

REQUIRED FINDINGS:**General Findings:**

The current zoning and the Land Use designations as described in the Land Use Map does not allow the proposed use of the property as a construction equipment storage yard. However, the historic use of this property has been similar, with outdoor storage of large trucks (Taylor Waste, Qwest) going as far back as 1978, all with approval of a Conditional Use Permit.

Compatibility with Surrounding Uses:

This property sits on the boundary of several different uses, from Single Family Residential and General Commercial, to Heavy Industrial. It is a largely undeveloped property that has consistently been used as storage.

Staff indicated that the storage of materials (dirt, rocks, etc.) will create a more intense use of this property that does not qualify for a Conditional Use Permit. The storage of such materials will create a heavier industrial use. The applicant has indicated on the site plan that he does intend to store a small amount of this material on site.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property.

Infrastructure:

The property is largely undeveloped and contains a mostly dirt/gravel yard. A requirement of use will be to pave/chip-seal all areas subject to vehicular traffic. Also, the applicant will be required to upgrade the driveways and install sidewalks in front of the property along 6th Street.

Landscaping will be required along the front of the property, including between the sidewalk and property line within the city right-of-way.

Nuisance Activities:

In early 2015, staff received numerous phone calls from neighboring property owners to the west, with concerns about noise, dust, exhaust, hours of operation, and other aspects of the use. This prompted staff to review the use, the history of the property, and require the business owner to make some adjustments to the operation, and to apply for a Conditional Use Permit. Please see attached letters.

These concerns have mostly subsided over the past few months due to operational adjustments made by the business owner. The applicant will be required to make other adjustments and site improvements to further eliminate any negative affects to the neighbors.

Neighbors were also concerned with large trucks accessing the property off of Beech Street. Staff has informed the business owner that access to the property off of Beech Street will not be permitted.

Buffering and Screening:

The property is fenced on all sides and is only visible from 6th Street and Beech Street. The fencing along the west property line as seen from Beech Street needs to be replaced, including slats, to provide the required screening from the residential area. Staff also recommended planting large evergreen trees along this property line to further screen the use from the neighbors. The applicant has indicated he will not be installing any landscaping along the west side due to a 3 foot drop from the fence to the yard.

Stipulations:

Staff has reviewed this project and finds it fits with the historic use of this property as an outdoor storage yard. Staff The following stipulations should be included if the commission moves to approve this Conditional Use Permit:

1. That the project is developed in conformance with the site/landscaping plans submitted on 12-29-15 and on 01-13-16 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated 06-23-15.
3. The slatted fence on the west (rear) of the property be replaced to provide screening from the neighboring single-family homes. New slats should be installed to provide a clean appearance.
4. Storage of material (dirt, rocks, etc.) will create a more intense industrial use of this property that cannot be supported by a Conditional Use Permit, and therefore is not allowed.
5. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the Planning & Zoning Commission deems necessary.



**SOUTHWESTERN
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111 North Main Street,
Cottonwood, Arizona 86326
(928)634-5505

December 23, 2015

Letter of Intent, APN 406-42-101D

To whom it may concern,

We are requesting consideration of a CUP for APN 406-42-101D located at 232 South 6th Street in Cottonwood. The property was originally operated by Mountain Bell and then subsequently by Taylor Waste as an equipment storage and staging area. It is approximately 1 acre in size and has a variety of small buildings and shelters as depicted on the attached overall site exhibit. The property is currently owned by B&B Revocable Trust and leased to the applicant, Thad Card, the owner of TD Excavating. Thad has a lease with option to purchase the site.

The site is currently over 50% unpaved. Runoff from the adjoining neighborhood on the west runs through the property and onto 6th street. The site is not landscaped, the fence is in disrepair, the City sidewalk abruptly ends at the property, and the property has not been improved to any extent since it was first developed. Thad Card has been involved with the City in an attempt to rectify the above mentioned conditions and more. We have had several meetings with the City, attended a Code Review Meeting on June 23rd, and follow up meeting on November 3rd 2015. Thad wishes to continue his use of the site as an equipment storage and staging area. It has been in use for this purpose for roughly 20 years and nothing has changed to preclude its continued use for the same purpose.

After meeting with the town staff and surveying the site, we have identified several items which need to be addressed, some neglected by previous occupants and some never addressed at all. A Detention/Retention Structure is proposed which will reduce overall runoff onto 6th Street. The existing material stockpile will be reduced and concentrated to specific area. Sediment runoff control measures and dust control measures will be implemented at this location. All vehicular traveled areas will be paved or chip sealed in order to minimize dust. A drainage ditch will convey runoff from the neighborhood on the west to a stilling basin in order to reduce any sediment on 6th St. The City sidewalk will be extended along 6th street and the front of the property facing 6th St. will be landscaped. New parking will be added. The fencing will be repaired and a No-Vehicular Easement will be created in order to ensure no traffic from the property will have access to Beech Street. Hours of operation will be 6 AM-6 PM, M-F and 9-4 Sat. Occasional maintenance only work will occur Sun. 10-4. Occasional early departures and late arrivals of trucks to and from jobs will occur. Please refer overall site exhibit for proposed development information. Additional information is also provided in the Grading and Drainage

"Growth is inevitable... it's planning that makes the difference."



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Plans dated 12/23/15, Drainage Report dated 12/23/15 and the Landscape Plans.

That would like a phased implementation of the proposed improvements with a timeline acceptable to the City. We hope you find the above solutions to the ongoing problems associated with this property will satisfy your goals for the property and the City of Cottonwood. We would be thankful if you consider this application favorably. Please feel free to contact us if you need additional information or clarification.

Sincerely,

G. Krishan Ginige

THAD CARD EXCAVATING GRADING AND DRAINAGE PLANS

LOCATED IN NE1/4, SW1/4, SW1/4, SECTION 34, T16N, R3E
GILA & SALT RIVER MERIDIAN, ARIZONA
PARCEL 406-42-101D

OWNER/DEVELOPER
THAD CARD EXCAVATING
232 SOUTH 6TH STREET
COTTONWOOD, AZ 86326
928 634-0947

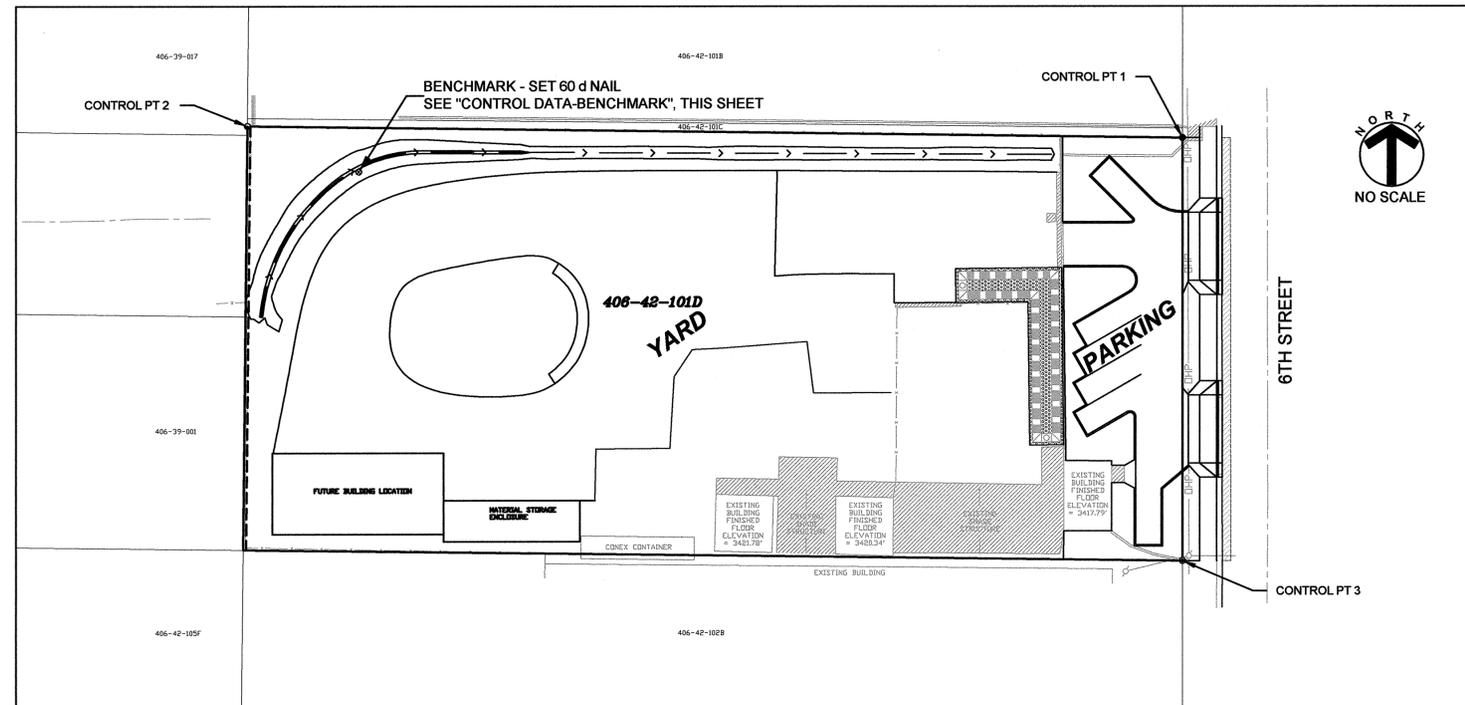
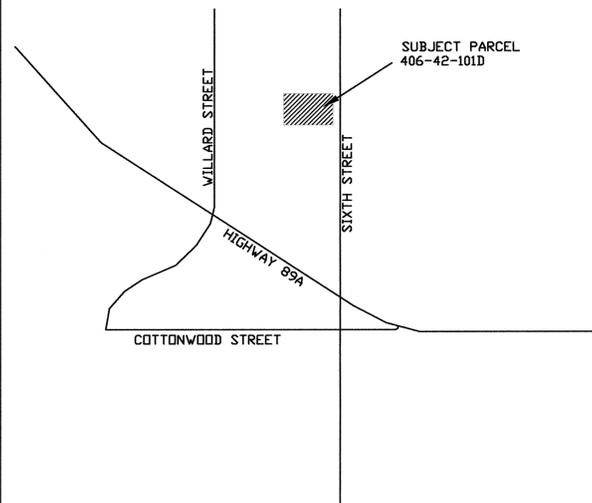
LAND PLANNERS/ENGINEERS/SURVEYORS:
SEC, INC.
825 COVE PKWY, SUITE A
COTTONWOOD, ARIZONA 86326
(928) 634-5889 FAX: (928) 634-2222
REGISTRATION NUMBERS: P.E. 49109
R.L.S. 40829

LANDSCAPE ARCHITECT:
STEVE BIASINI
735 SOUTH 3RD STREET
WILLIAMS, AZ 86046
928 202-2029 sjbiasini@gmail.com

UTILITIES FURNISHED BY:
ELECTRIC - ARIZONA PUBLIC SERVICE
TELEPHONE - QWEST COMMUNICATIONS
GAS - UNISOURCE
EMERGENCY SERVICES - CITY OF COTTONWOOD FIRE DEPARTMENT
SOLID WASTE COLLECTION - TAYLOR WASTE
WATER - CITY OF COTTONWOOD MUNICIPAL WATER UTILITY
SEWER - CITY OF COTTONWOOD UTILITIES DEPARTMENT

VICINITY MAP

NO SCALE



NO SCALE

LEGEND

- EXISTING CONCRETE
- EXISTING GROUND
- EXISTING PAVEMENT
- PROPOSED CHIP SEALED AB
- PROPOSED SEDIMENT DITCH
- PROPOSED LANDSCAPING
- PROPOSED PAVEMENT
- LEACH ROCK
- PERFORATED CMP
- INDICATES WIRE FENCE
- INDICATES OVERHEAD ELECTRIC LINES
- INDICATES ELEVATION CONTOUR
- INDICATES ELECTRIC BOX
- INDICATES UTILITY POLE
- INDICATES CLEANOUT
- INDICATES WATER METER
- INDICATES IRRIGATION CONTROL VALVE
- INDICATES FIRE HYDRANT
- INDICATES PHONE / CABLE TV RISER
- INDICATES GAS METER
- INDICATES MANHOLE
- INDICATES BOLLARD
- INDICATES KEYPAD
- EXISTING BLOCK WALL
- FUTURE CONTAINMENT BLOCK WALL

SHEET INDEX

SHEET	TITLE
1	COVER SHEET. SURVEY CONTROL. LEGEND.
2	NOTES 1
3	NOTES 2
4	YARD
5	PARKING LOT
6	DETAILS 1
7	DETAILS 2
8	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

ESTIMATE OF QUANTITIES*
CUT 217 CY
FILL 50 CY
NET 167 CY CUT

*SEE GENERAL NOTES # 1.4

CONTROL DATA-BENCHMARK

ARIZONA STATE PLANE COORDINATE SYSTEM,
CENTRAL ZONE COORDINATES
GRID NORTH: 1358881.7470 U.S. SURVEY FEET
GRID EAST: 667809.5860 U.S. SURVEY FEET

NAD 83
LATITUDE: 34°44'06.15064"N
LONGITUDE: 112°01'25.76068"W

SOURCE DATA FOR THESE COORDINATES IS BASED
ON DPUS (ONLINE POSITIONING USER SERVICE)
CALCULATIONS WITH A SCALE FACTOR OF
0.99974124, RECEIVED FROM DPUS
MAY 14, 2015

ELEVATION: 3427.98'
DNAVD88 (Computed using GEOID12B)

CONTROL POINT	NORTHING	EASTING	ELEVATION	DESCRIPTION
CONTROL POINT 1	1358893.6870	668100.3760	3416.09	1/2" REBAR LS25384
CONTROL POINT 2	1358897.8608	667770.3256	3430.66	CONCRETE NAIL LS25384
CONTROL POINT 3	1358744.5170	668100/3860	3415.59	1/2" REBAR NO CAP OR TAG

CALL TWO WORKING DAYS
BEFORE YOU DIG
1-800-STAKE-IT
1-800-782-5348
Blue Stake Center
(OUTSIDE MARICOPA COUNTY)

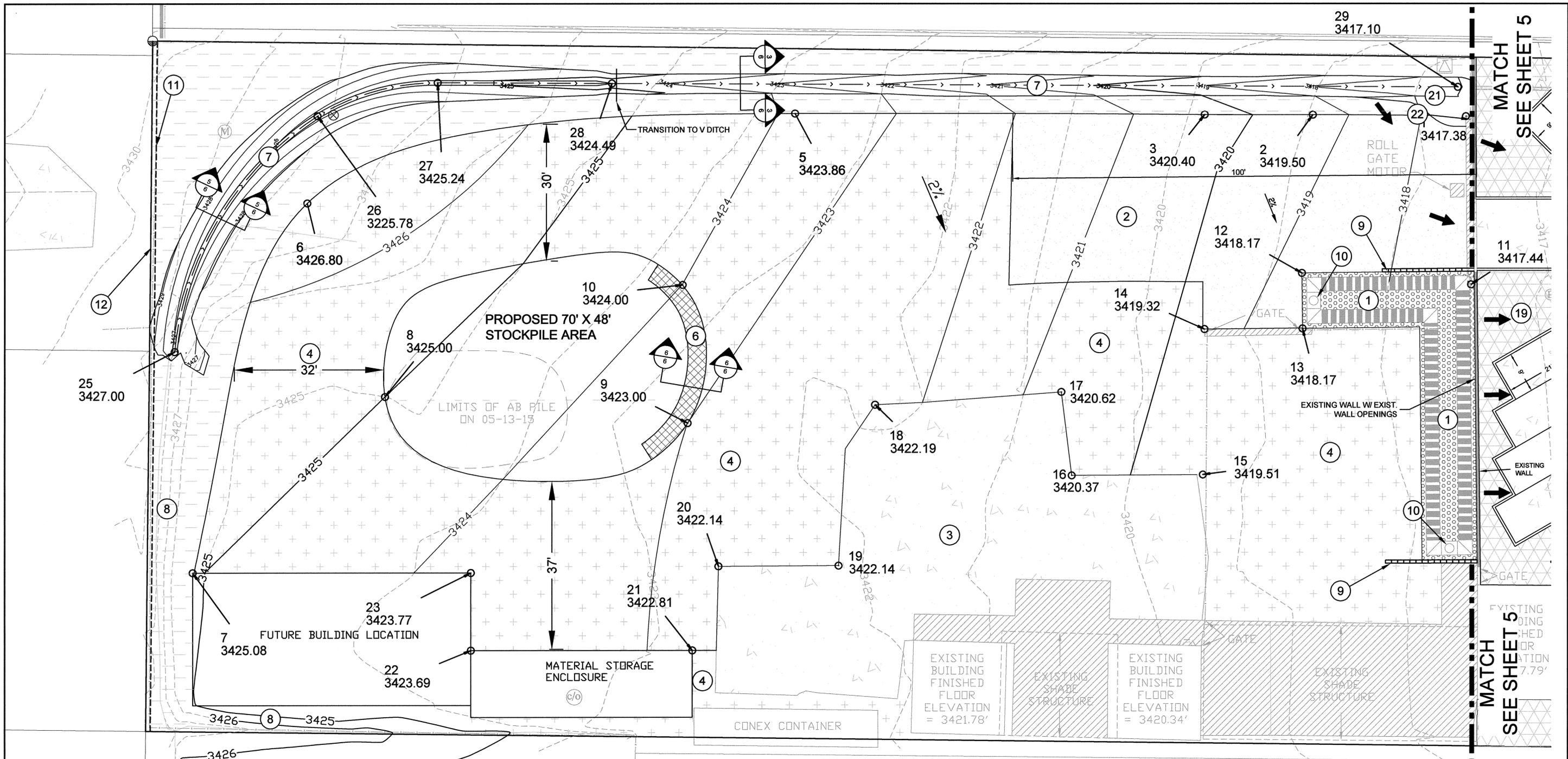


NOT FOR CONSTRUCTION. FOR REVIEW ONLY

THAD CARD EXCAVATING GRADING & DRAINAGE PLANS

COVER SURVEY CONTROL LEGEND

 20 STUTZ BEARCAT # 6 SEDONA ARIZONA 86336 (928) 282-7787	DATE	DRAWN	SHEET
	12/23/2015	SB/BC	1 OF 8
SCALE	CHECKED	PROJECT NO.	
AS SHOWN	KG	15-0507CS	



- ① RETENTION/DET. STRUCTURE PER DETAILS 1 & 2, SHEET 6. PROTECT WALL DURING CONSTRUCTION.
- ② NEW PAVEMENT 3" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COARSE EXTEND 100' FROM ENTRANCE
- ③ EXISTING PAVEMENT
- ④ CHIP SEALED AB
- ⑤ CITY RDW
- ⑥ EROSION & SEDIMENT CONTAINMENT DITCH. SEE DETAIL 6, SHEET 6
- ⑦ DRAINAGE DITCH. SEE DETAIL 3 & 5, SHEET 6
- ⑧ PROTECT BANK WITH VEGETATION
- ⑨ CMU CONTAINMENT WALL. TOP OF WALL EL=3418.17 - EXTEND TO MEET GRADE. SEE DETAIL 2, SHEET 6
- ⑩ RETENTION STRUCTURE CLEANDOUT. SEE DETAIL 4, SHEET 6
- ⑪ PROPOSED 1' VEHICULAR NON-ACCESS EASEMENT ALONG WEST PROPERTY LINE
- ⑫ REPAIR EXISTING CHAIN LINK FENCE & SLATS
- ⑬ NEW ADDIT C.05-20 DRIVEWAY. SEE DETAILS SHEET 7

- ⑭ NEW 6' SIDEWALK PER MAG 230 DETAIL SHEET 7.
- ⑮ SAWCUT & REMOVE ALL EXISTING ASPHALT WITHIN CITY RDW.
- ⑯ REMOVE & REPLACE 3' WIDE SECTION OF ASPHALT IN 6TH ST. ADJACENT TO PARCEL.
- ⑰ REMOVE AND REPLACE ANY DAMAGED CURB ADJACENT TO PARCEL.
- ⑱ PARKING STALLS @ 30 DEG - 21'-10" X 9'
- ⑲ CUT EXISTING PAVEMENT AND INSTALL LANDSCAPING PER LANDSCAPING PLANS
- ⑳ PROPOSED VERTICAL CURB PER MSD 220-1
- ㉑ STILLING BASIN
- ㉒ DRAINAGE FLOWS THROUGH EXISTING WALL OPENINGS

GRADING POINTS

Number	Northing	Easting	Elevation
1	1358881.4269	668055.8518	3417.38
2	1358881.7409	668022.5103	3419.50
3	1358881.7938	667998.9764	3420.40
4	1358882.0379	667954.4907	3422.13
5	1358882.0271	667909.8979	3423.86
6	1358862.6570	667803.9228	3426.80
7	1358782.6115	667779.0570	3425.08
8	1358820.7301	667820.8168	3425.00
9	1358815.0208	667886.5847	3423.00
10	1358844.9498	667885.4841	3424.00
11	1358844.9810	668057.0105	3417.44
12	1358847.4749	668020.1558	3418.36
13	1358835.4756	668020.2949	3418.30
14	1358835.3470	667998.9560	3419.32
15	1358803.8337	667998.6260	3419.51
16	1358803.6670	667970.0960	3420.37
17	1358821.7570	667967.8260	3420.62
18	1358818.9770	667927.3160	3422.19
19	1358784.1370	667919.3960	3422.14
20	1358783.9970	667893.2960	3422.14
21	1358765.7873	667887.6122	3422.81
22	1358765.7873	667839.4854	3423.69
23	1358782.6115	667839.4854	3423.77
25	1358830.5044	667775.1113	3427.00
26	1358881.5161	667806.1230	3425.78
27	1358888.7465	667832.2425	3425.24
28	1358888.5803	667870.0973	3424.49
29	1358887.7725	668054.0864	3417.10



0 5 10 20
HORIZONTAL SCALE IN FEET
VERTICAL SCALE: 1" = 10'



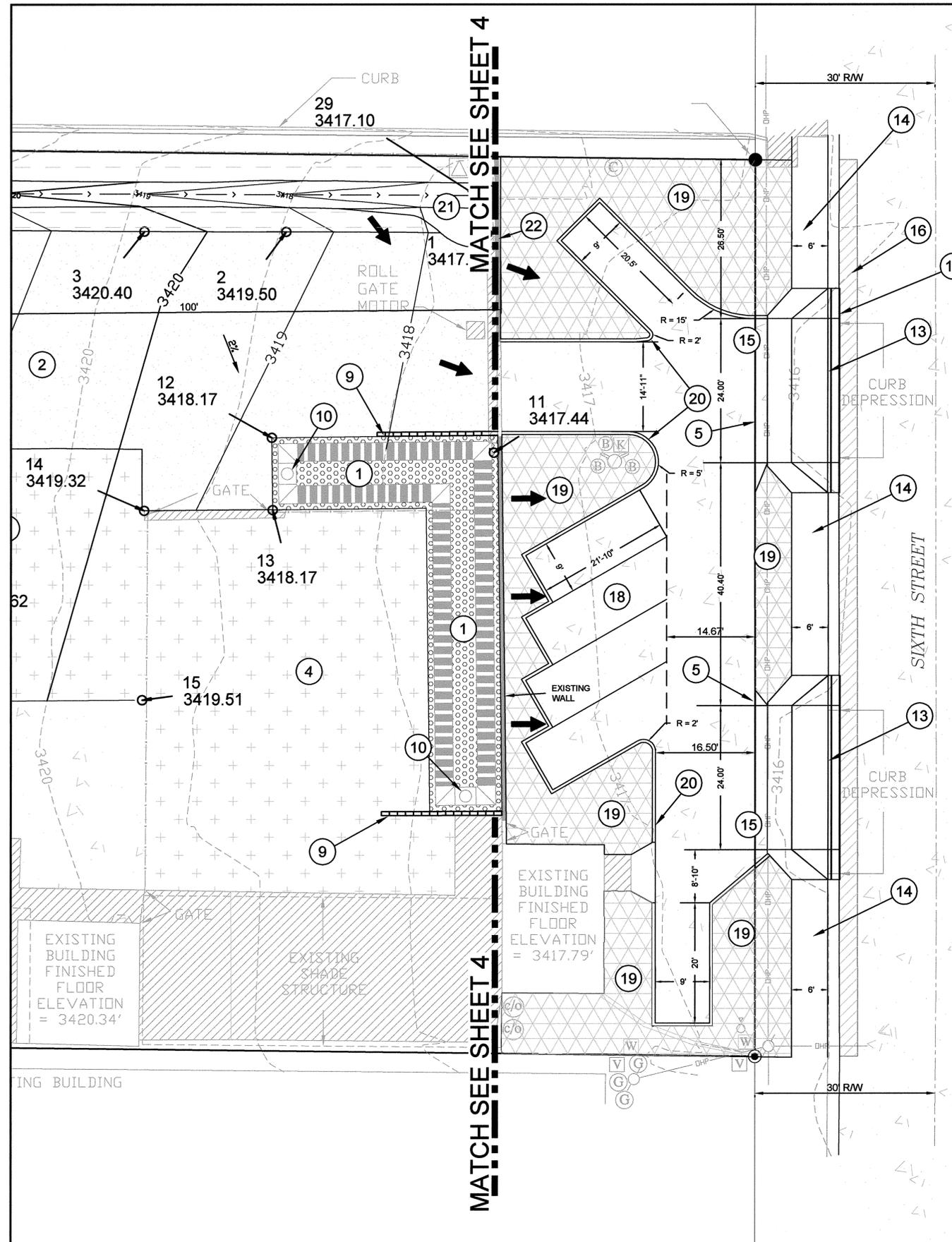
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**THAD CARD EXCAVATING
GRADING & DRAINAGE PLANS**



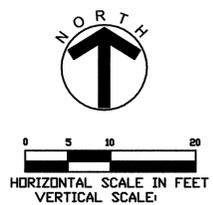
20 STUTZ BEARCAT # 6
SEDONA ARIZONA 86336
(928) 282-7787

YARD		
DATE 12/23/2015	DRAWN SB/BC	SHEET 4 OF 8
SCALE 1" = 10'	CHECKED KG	PROJECT NO. 15-0507CS

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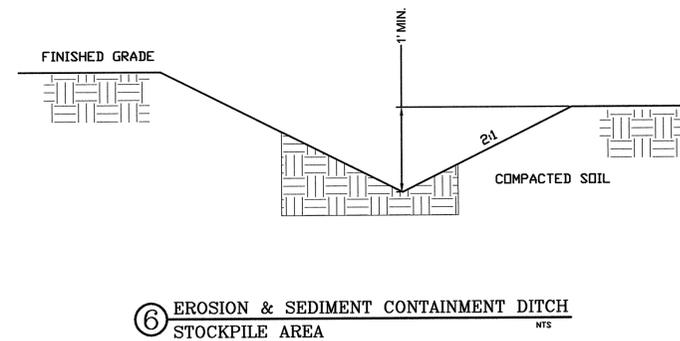
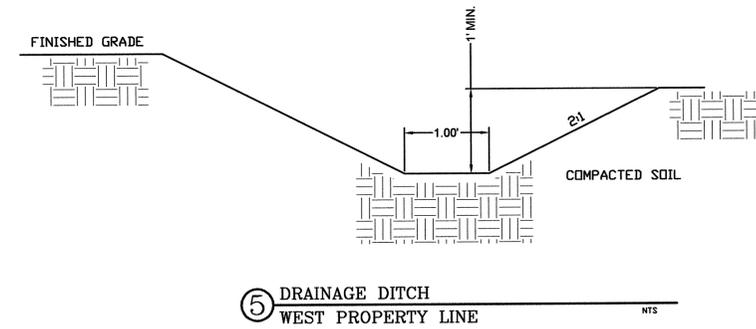
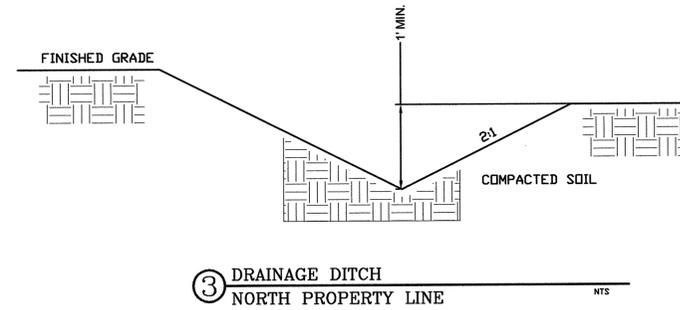
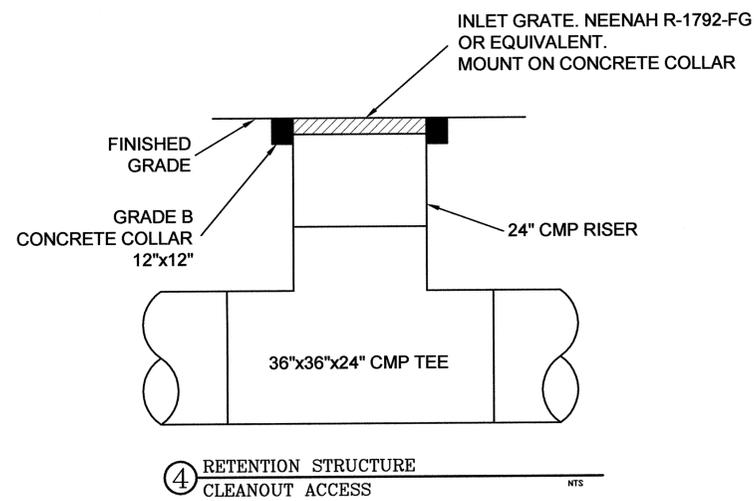
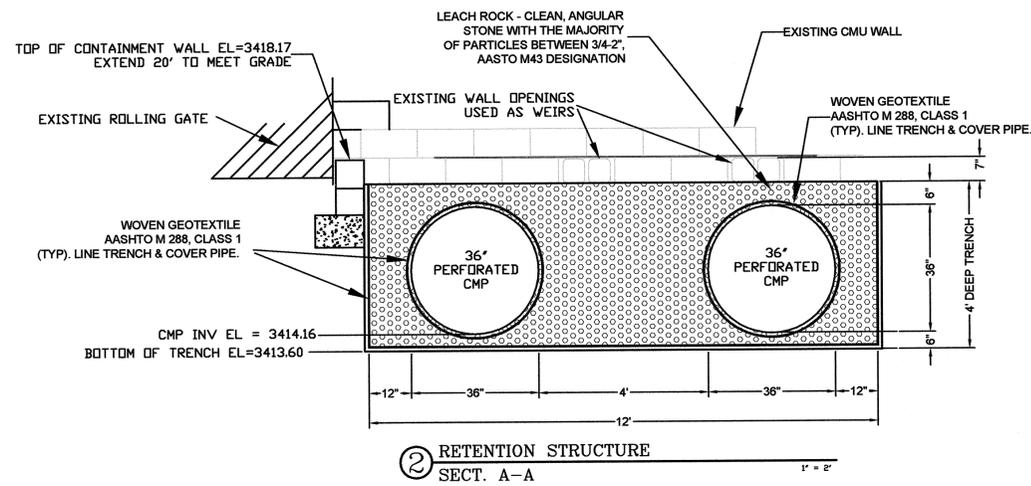
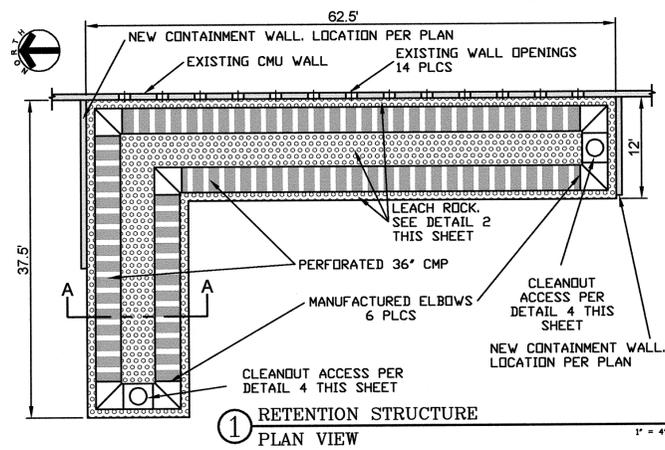
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THAD CARD EXCAVATING GRADING & DRAINAGE PLANS		
PARKING LOT		
DATE 12/23/2015	DRAWN SB/BC	SHEET 5 OF 8
SCALE 1" = 10'	CHECKED KG	PROJECT NO. 15-0507CS

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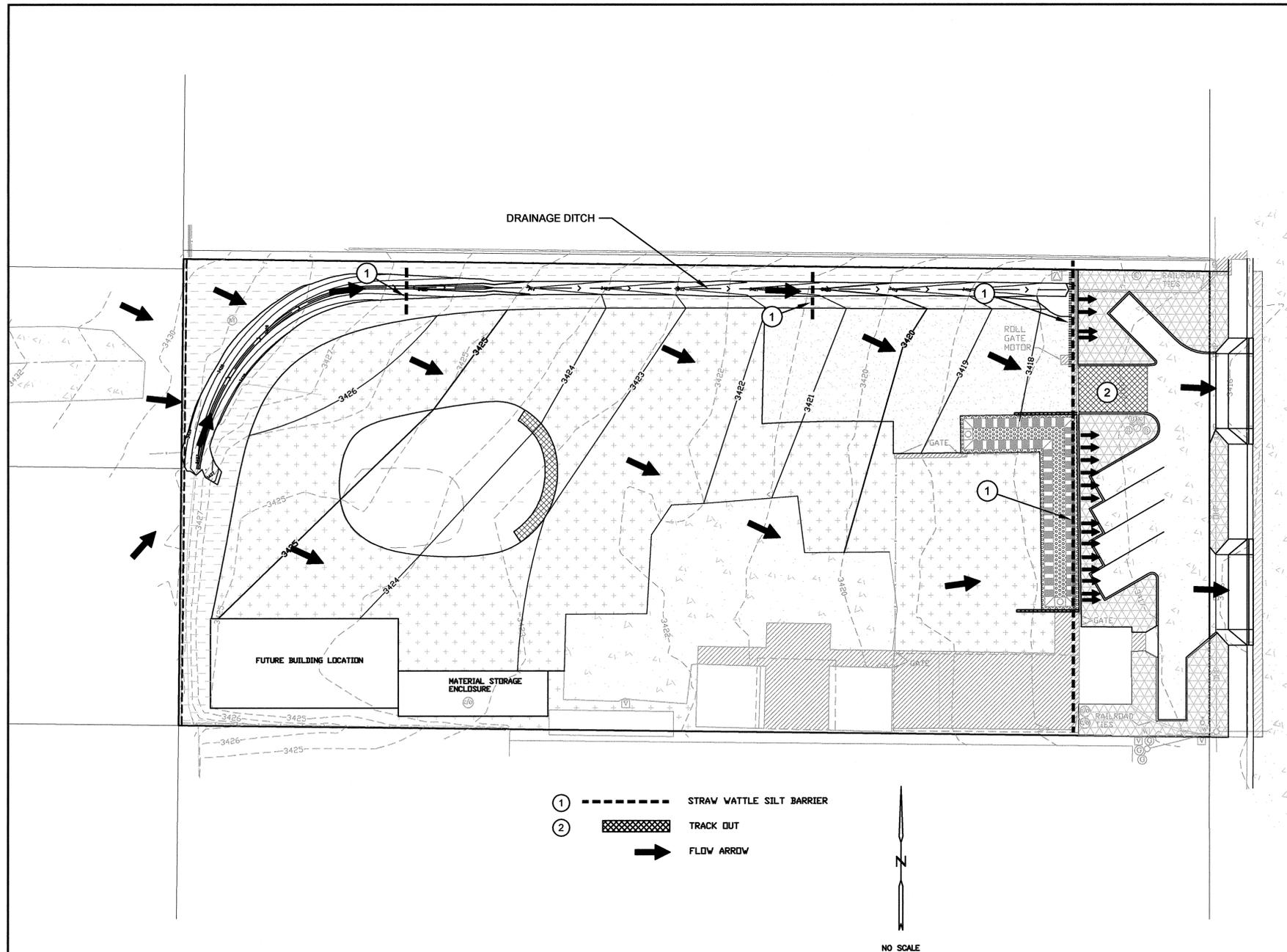
THAD CARD EXCAVATING
GRADING & DRAINAGE PLANS



20 STUTZ BEARCAT # 6
SEDONA ARIZONA 86336
(928) 282-7787

DETAILS 1		
DATE	DRAWN	SHEET
12/23/2015	SB/BC	6 OF 8
SCALE	CHECKED	PROJECT NO.
NTS	KG	15-0507CS

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- ① - - - - - STRAW WATTLE SILT BARRIER
- ② [Hatched Box] TRACK OUT
- [Arrow] FLOW ARROW



- NOTES:**
- The SWPPP is intended to be a dynamic plan that can be revised either as a result of unanticipated conditions during design or as a result of changing conditions in the field. Making changes to the plan where it is not effective is a requirement of the NPDES permit. Any changes to the plan shall be noted and dated on the plan.
 - Limit land disturbance and preserve existing vegetation. Sensitivity to the environment during construction is a defining factor in preserving natural vegetation. The extent of the cut and fill slopes should be field surveyed and staked prior to construction to define all areas that require grading. Areas outside these limits should be protected from all construction activities. Trees that lie within transition areas of significant cut or fill and outside required clear-zone distances shall be flagged and/or fenced for protection. Existing trees at or near the toe of fill slopes shall be saved with protective tree wells.
 - Minimize soil exposure and revegetate denuded areas. Try to schedule construction to coincide with the dry season of the site's location. Limit the size of the exposed area and amount of time it is exposed. Under the EPA's General Permit all bare ground shall be seeded within 14 days after grading is finished with some exceptions.
 - Protect fill slopes from roadway runoff. Drown drains and riprap protection have been called out on the plan as needed. The contractor should monitor slopes to ensure adequate protection is provided throughout the construction activities.
 - Prevent erosion in areas where runoff concentrates. Contractor shall provide protection of all ditches, open channels, culvert and channel outlets as shown on the construction plan.
 - Trap sediment before it leaves the site. It is preferable to provide erosion control instead of sediment control where practicable. It is important that regular maintenance of any sediment trapping is conducted on a regular basis in order for it to operate effectively. This includes removing accumulations of sediment and making necessary repairs and adjustments. Temporary sediment barriers should be placed around catch basin inlets during construction to trap sediment before it enters the inlet. Sediment trapping is necessary at soil stockpiles and these stockpiles should be located above and away from streams, washes and swales to prevent them from being washed downstream. A stabilized construction entrance should be provided to remove sediment from the tires of the vehicles before they leave the site.
 - As needed a spill containment area should be provided at the job site for storing chemicals, fuels, paints and other materials. This area will prevent chemicals from mixing with storm water and discharging into streams and washes, or seeping into and contaminating the surrounding soil. The protected area should be excavated or bermed, and lined with plastic so that an accidental spill from a chemical drum will be contained. It should be located in areas where any spill will be prevented from discharging off-site. Procedures shall be established to prevent contamination of on-site soils from equipment maintenance. Construction equipment shall be regularly maintained to repair leaky hoses and gaskets. Used oil, hydraulic fluids, filters, batteries and tires shall be properly disposed of in accordance with State and Federal laws.
 - Solid waste materials should be collected daily. A trash container or dumpster should be provided at the site to contain smaller waste materials. The trash containers should be covered to prevent mixing with rainwater or loss of contents by high winds. Other types of larger debris, such as: vegetation form clearing operations should be collected and stockpiled on a daily basis and disposed of regularly. The stockpile location shall be located away from streams and washes.
 - Temporary pits or bermed areas should be provided at the construction site for the washout of concrete trucks and for washing aggregate materials and tools. The wash water should be kept out of streams and washes. Washout areas should be large enough to retain all wash water. Hardened concrete should be routinely removed and disposed of in order to maintain adequate water percolation.
 - Proper implementation, inspection and maintenance of pollution control measures is essential to achieve the goals of erosion and sediment control and to identify potential problems. A rain gage should be kept at the site to record the depth of rainfall. The contractor should coordinate the implementation, inspection and maintenance of the pollution controls with the Project Inspector. The contractor should also monitor weather forecasts and make all site inspections and necessary repairs before storms are expected. The contractor shall monitor and record weekly extended weather forecasts. These forecasts shall be discussed by the contractor at regularly scheduled weekly progress meetings. In the event that extended forecasts report a high probability for precipitation in the given project area, the contractor shall review and supplement existing erosion control measures. He shall also install additional measures in areas determined to be susceptible to erosion and/or sedimentation, as directed by the Project Engineer. The EPA General Permit requires regular inspections every 7 days or within 24 hours after a rainfall of 1/2 inch or greater.
 - The contractor must record any damages or deficiencies in the control measures on an inspection report form. This report documents the inspection of the pollution prevention measures. The same form can be used to request repairs and to prove that required inspections and maintenance were performed. As a condition of the General Permit, the contractor shall correct damage or deficiencies as soon as practicable after the inspection; but in no case later than 7 days after the inspection. Any changes that may be required to correct deficiencies in the SWPPP should also be made as soon as practicable after the inspection; but in no case later than 7 days after the inspection.
 - Removal of temporary controls when the project is complete is the responsibility of the contractor. After all construction activities have stopped, the contractor must keep a copy of the Storm Water Pollution Prevention Plan. Records of all the data used to complete the Notice of Intent must also be kept for a period of three years following final stabilization. The retention period may be extended by the EPA's request.
 - The contractor is responsible for ensuring that a Notice of Intent (NOI) and a Notice of Termination (NOT) is sent at the beginning and end of the project to the proper authorities. The contractor is responsible for understanding the requirement of the EPA's National Pollution Discharge Elimination System (NPDES) permitting program, established under Section 402 of the Clean Water Act.
 - As a condition of the General Permit, a copy of the contractor's NOI and a copy of the SWPPP are to remain at the job site throughout the construction process.
 - Dust control in accordance with the City of Cottonwood requirements shall be provided at all times while under construction.
 - The contractor shall keep the site watered down (or other approved methods) to prevent dust migrating offsite.
 - The contractor shall on a daily or as needed basis clean all roads leading out of the site and shall place sand bags (or other approved methods) to trap sediment before it enters into the storm drain system.
 - All dump trucks entering and exiting the site shall be covered with an approved cover to prevent dust and flying debris.
 - The contractor shall provide the City a haul plan for materials transported to and from the site. This plan shall be provided prior to any hauling activities and updated as needed.
 - The contractor will provide the City's Public Works Department a signed copy of the SWPPP before beginning construction.

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR SIGNATURE _____ PRINT NAME OF CONTRACTOR AND COMPANY _____



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THAD CARD EXCAVATING GRADING & DRAINAGE PLANS		
SWPPP		
 20 STUTZ BEARCAT # 6 SEDONA ARIZONA 86336 (928) 282-7787	DATE 12/23/2015	DRAWN SB/BC
	SCALE 1"=20'	CHECKED KG
		SHEET 8 OF 8
		PROJECT NO. 15-0507CS

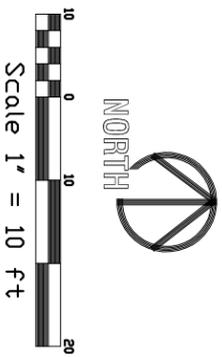
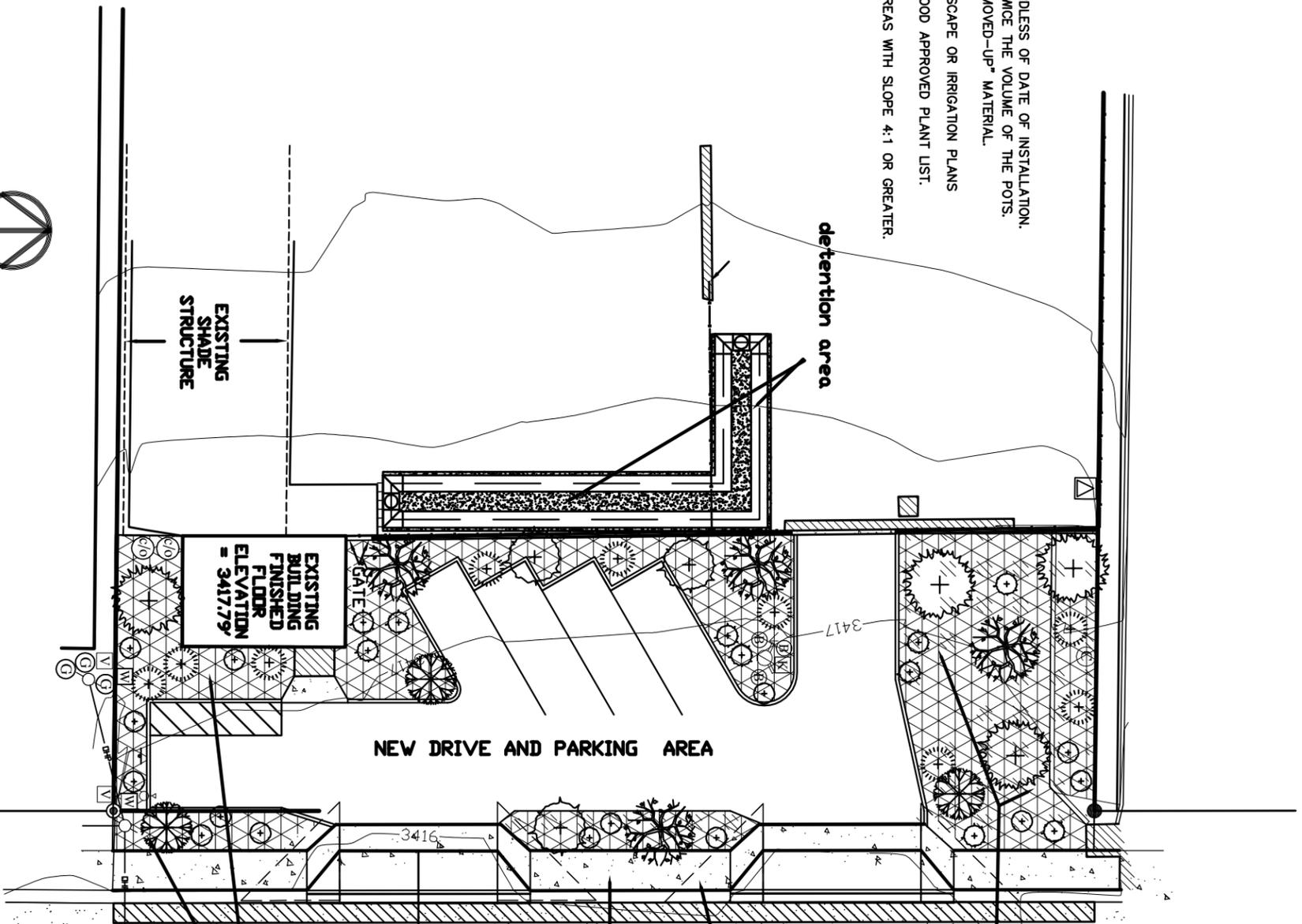
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- NOTES:**
1. GUARANTEE ALL PLANT MATERIAL FOR ONE FULL GROWING SEASON (MAR-OCT) REGARDLESS OF DATE OF INSTALLATION.
 2. PLANT IN A MIXTURE OF 1/3 MULCH, 1/3 TOPSOIL, 1/3 NATIVE SOIL. HOLES TO BE TWICE THE VOLUME OF THE POTS.
 3. PLANTS TO BE PEST FREE AND TYPICAL OF THEIR VARIETY. DO NOT USE RECENTLY "MOVED-UP" MATERIAL.
 4. GRANITE TO BE 1"-MINUS, RUST IN COLOR, AND SPREAD 2" THICK.
 5. NO PLANT SUBSTITUTIONS, TYPE, OR QUANTITY DEVIATIONS FROM THE APPROVED LANDSCAPE OR IRRIGATION PLANS WITHOUT PRIOR APPROVAL FROM COTTONWOOD PLANNING DEPARTMENT 520-634-5505
 6. ALL PLANT MATERIAL, SUBSTITUTIONS, AND SPECIFICATIONS TO BE FROM THE COTTONWOOD APPROVED PLANT LIST.
 7. PLANTING TO CONFORM TO THE COTTONWOOD LANDSCAPE ORDINANCE.
 8. COVER ALL DISTURBED AREAS OF THE SITE, EXCEPT LAWN, WITH GRANITE EXCEPT IN AREAS WITH SLOPE 4:1 OR GREATER.
 9. ALL PLANT MATERIAL TO BE WATERED WITH AN AUTOMATIC DRIP SYSTEM.
 10. CONTRACTOR TO VERIFY ALL QUANTITIES.

PLANT MATERIAL		AZ CYPRESS	#15 CAN	2
CUPRESSUS ARIZONICA		RAVBER ASH	#15 CAN	2
FRAXINUS 'RAYBER'		DESERT WILLOW	#5 CANS	2
CHILIPSS LINEARIS		TEXAS SAGE MANZANITA	#5 CANS	10
LEUCOPHYLLUM FRUTESCENS 50%		MYOPORUM	#1 CANS	10
ARCTOSTAPHYLOS MANZANITA 50%				
MYOPORUM PARVIFOLIUM				

PROPERTY OWNER:
 B&B REVOCABLE TRUST
 951 WEST BLACKHILLS DRIVE
 COTTONWOOD, AZ 86326

APPLICANT:
 THAD D. CARD
 PO BOX 639
 CLARKDALE, AZ 86324
 928 300 7502
 TDCEXCAVATING@AOL.COM



LANDSCAPE AREA

new adot c05-20 curb cut

new 6' sidewalk per cottonwood std.

vision triangles, bushes under tree canopy above 6', diam =

new adot c05-20 curb cut

LANDSCAPE AREA

SIXTH STREET

LANDSCAPE PLAN

REDUCED SIZE. ORIGINAL 24 X 36

new adot c05-20 curb cut

Contract bid set, do not build from these plans, change

DATE 1/6/16
 SCALE 1" = 10'-0"
 TRAM: SJB
 JOB: T052515
 SHEET NO. LP1 OF 1

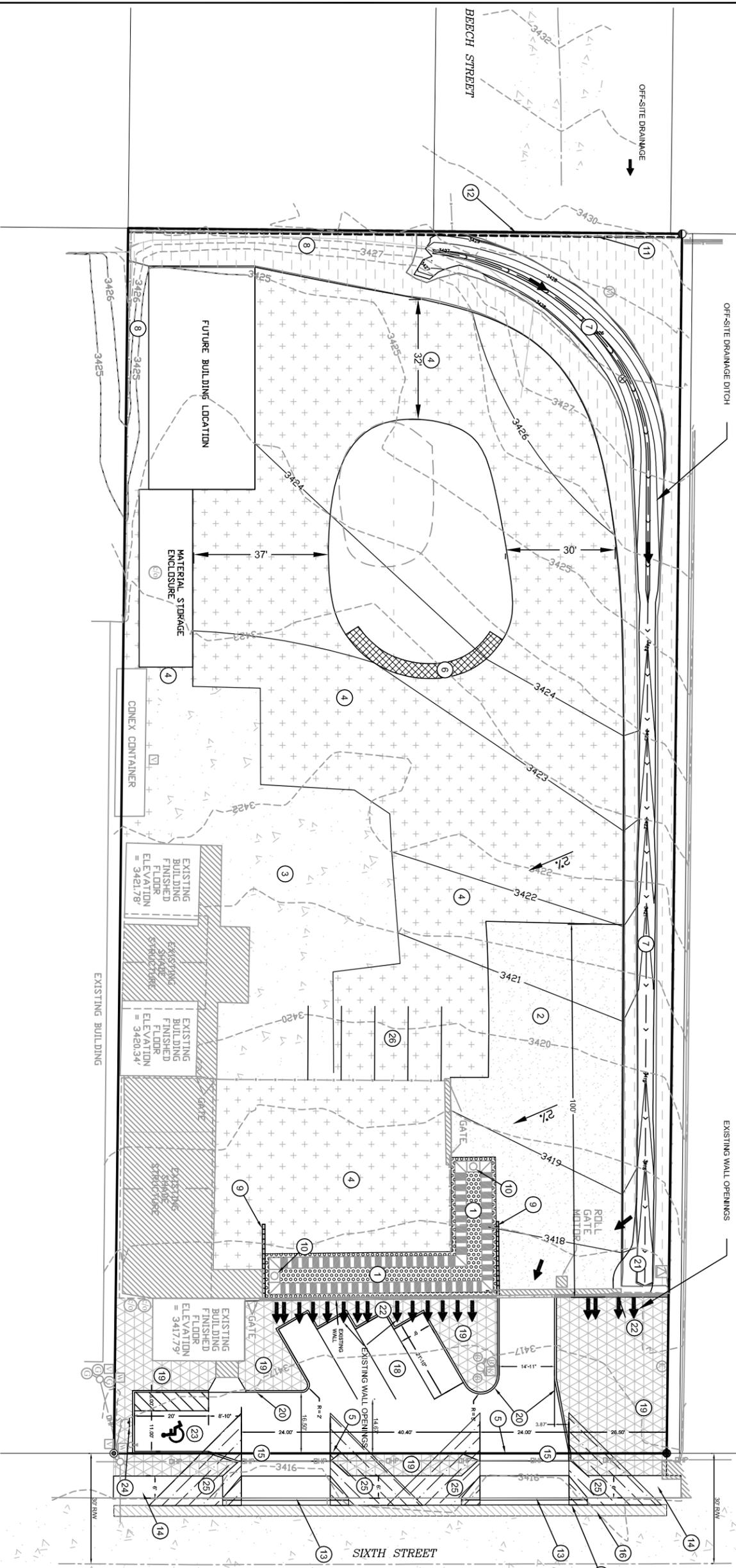
CODE REVIEW PLAN
 THAD CARD EXCAVATING
 232 S. SIXTH STREET
 COTTONWOOD, AZ



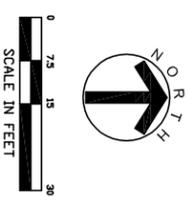
STEVE BLASH
 ARCHITECTURE, LANDSCAPE ARCHITECTURE
 726 SOUTH 3RD. STREET, WILLIAMS, AZ 86048
 928-202-2029

REVISIONS	BY

OVERALL SITE EXHIBIT APN 406-42-101D



- 1 RETENTION/DET. STRUCTURE PER DETAILS 1 & 2, SHEET 6.
PROTECT WALL DURING CONSTRUCTION.
- 2 NEW PAVEMENT 3" ASPHALTIC CONCRETE OVER 6" AGGREGATE BASE COARSE EXTEND 100' FROM ENTRANCE
- 3 EXISTING PAVEMENT
- 4 CHIP SEALED AB
- 5 CITY RDW
- 6 EROSION & SEDIMENT CONTAINMENT DITCH. SEE DETAIL 6, SHEET 6
- 7 DRAINAGE DITCH. SEE DETAIL 3 & 5, SHEET 6
- 8 PROTECT BANK WITH VEGETATION
- 9 CMU CONTAINMENT WALL. TOP OF WALL EL.=341817 - EXTEND TO MEET GRADE. SEE DETAIL 2, SHEET 6
- 10 RETENTION STRUCTURE CLEANOUT. SEE DETAIL 4, SHEET 6
- 11 PROPOSED 1' VEHICULAR NON-ACCESS EASEMENT ALONG WEST PROPERTY LINE
- 12 REPAIR EXISTING CHAIN LINK FENCE & SLATS
- 13 NEW ADDT C05-20 DRIVEWAY. SEE DETAILS SHEET 7
- 14 NEW 6' SIDEWALK PER MAG 230 DETAIL SHEET 7.
- 15 SAWCUT & REMOVE ALL EXISTING ASPHALT WITHIN CITY RDW.
- 16 REMOVE & REPLACE 3' WIDE SECTION OF ASPHALT IN 6TH ST. ADJACENT TO PARCEL.
- 17 REMOVE AND REPLACE ANY DAMAGED CURB ADJACENT TO PARCEL.
- 18 PARKING STALLS @ 30 DEG - 21'-10" X 9'
- 19 CUT EXISTING PAVEMENT AND INSTALL LANDSCAPING PER LANDSCAPING PLANS
- 20 PROPOSED VERTICAL CURB PER MSD 220-1
- 21 STILLING BASIN
- 22 DRAINAGE FLOWS THROUGH EXISTING WALL OPENINGS
- 23 HANDICAP PARKING STALL PER MUTCD STANDARDS
- 24 HANDICAP PARKING SIGN PER MUTCD STANDARDS
- 25 25' X 25' SIGHT TRIANGLE
- 26 EMPLOYEE PARKING. NO DEMARCATION LINES.



LEGEND

- EXISTING CONCRETE
- EXISTING GROUND
- EXISTING PAVEMENT
- PROPOSED CHIP SEALED AB
- PROPOSED SEDIMENT DITCH
- PROPOSED LANDSCAPING
- PROPOSED PAVEMENT
- LEACH ROCK
- PERFORATED CMP
- INDICATES WIRE FENCE
- INDICATES OVERHEAD ELECTRIC LINES
- INDICATES ELEVATION CONTOUR
- INDICATES ELECTRIC BOX
- INDICATES UTILITY POLE
- INDICATES CLEANOUT
- INDICATES WATER METER
- INDICATES IRRIGATION CONTROL VALVE
- INDICATES FIRE HYDRANT
- INDICATES PHONE / CABLE TV RISER
- INDICATES GAS METER
- INDICATES MANHOLE
- INDICATES BILLBOARD
- INDICATES KEYPAD
- EXISTING BLOCK WALL
- FUTURE CONTAINMENT BLOCK WALL

REDUCED SIZE. ORIGINAL 24 X 36

REFER TO GRADING & DRAINAGE PLANS AND DRAINAGE REPORT
DATED 12-23-2015 FOR ADDITIONAL DETAILS

NOT FOR CONSTRUCTION. FOR REVIEW ONLY.

THAD CARD EXCAVATING
APN 406-42-101D

SEC INC.		20 STUIZ BEARCAT # 6 SEDONA, ARIZONA 86356 (928) 282-7787	
DATE	DRAWN	SHEET	PROJECT NO.
1/13/2016	SB/BC	1 OF 1	15-0507CS
SCALE	CHECKED		
1" = 15'	KG		

OVERALL SITE EXHIBIT

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**NEIGHBOR'S
DOCUMENTS**

May 4, 2015

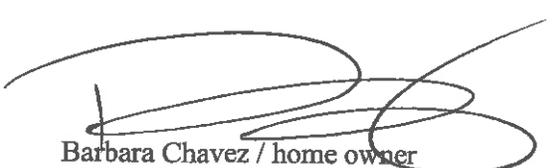
Dear Mr. Ellis,

My name is Barbara Chavez and I live at 326 East Beech St. (last house on the left) and have lived here for 30 years. For over a year now my neighbors and I have reported activity on the commercial industrial property to the east of us that we believe doesn't follow city or state ordinances as well as possessing the proper permits to conduct the type of activity they engage in. I have included photo documents that speak to the concerns I address below.

Last fall new activities starting taking place on the property that is located at the end of the street, with an address of 232 S. 6th Street when they began a "gated fence project to open the back side of the property up with the intention of running large trucks down Beech St. to Willard St.. The project was started, without the necessary permit(s), and placement of a new fence "frame" section (after removing part of the historical fence on the north side) he was ordered a stop work by the city. He abandoned the initial effort and left half of the fence (new frame piece in place) and the other side untouched. Next he started removing a substantial amount of dirt along the untouched (south section) and oiling it right next to the fence which created a large amount of dust as he wasn't wetting the soil. His most recent building permit application is related to grading; and is attached in this packet. He has a description of his project and plan as, "stockpiling of aggregate materials for occasional import and export to jobsites" without mention of what the fence (gate?) completion plan is.

Those of us at the end of the street have endured heavy equipment noise and heavy diesel fumes sometimes starting at 6:30 AM, as well as on weekends. He has already been grading, without the necessary permit, lowering the lot edge without any concern as to the effect (especially during a heavy monsoon rainstorm) that the removal of soil could have on the adjacent property and/or washing away of the existing fence lines. If the fence was unstable, this could make a case for him to "repair" the fence project previously abandoned. As he has piled, loaded and re-piled, without any moisture applied during these processes, the dust that flows into our end of the street homes has become unacceptable, and caused some of us to complain through various channels. He continued with loading, to completely remove the dirt pile over the weekend of April 17-19th 2015 after he was again issued a stop work order by the city. After I lodged some complaints, I requested a meeting with the Development Services Manager, Morgan Scott, who allowed me to purchase copies of the permit/application as well as the ETC report from when the Courtside Apartment project conducted an Engineering and Testing report. The Courtside group originally wanted to expand their project to include this lot but changed their mind due what the neighborhood was told was some sort of soil contamination that prohibited them from being approved for Federal Govt. financing.

Morgan stated that the permit would be reviewed and the third Monday of every month when the Cottonwood Planning and Zoning Department meets and requests discussed. He further stated that you (I called and left a message at 634-5505 X4) would want a list of any complaints of concerns turned for the meeting. It was my understanding that the property requesting the permit could be asked to cover the exposed bare ground to lessen the dust as well as be held to business hours. Furthermore, I am hoping you address the parking of the trucks that emit the smoke and believe the owner of the trucks should repair the trucks that are polluting the air with the heavy diesel fumes; since a \$100 fine (easy for them to pay without having to change the way they are conducting business) seems like an easy fix that doesn't solve the underlying complaints from the neighborhood. Thank you



Barbara Chavez / home owner

326 East Beech St.

Cottonwood, AZ. 86326

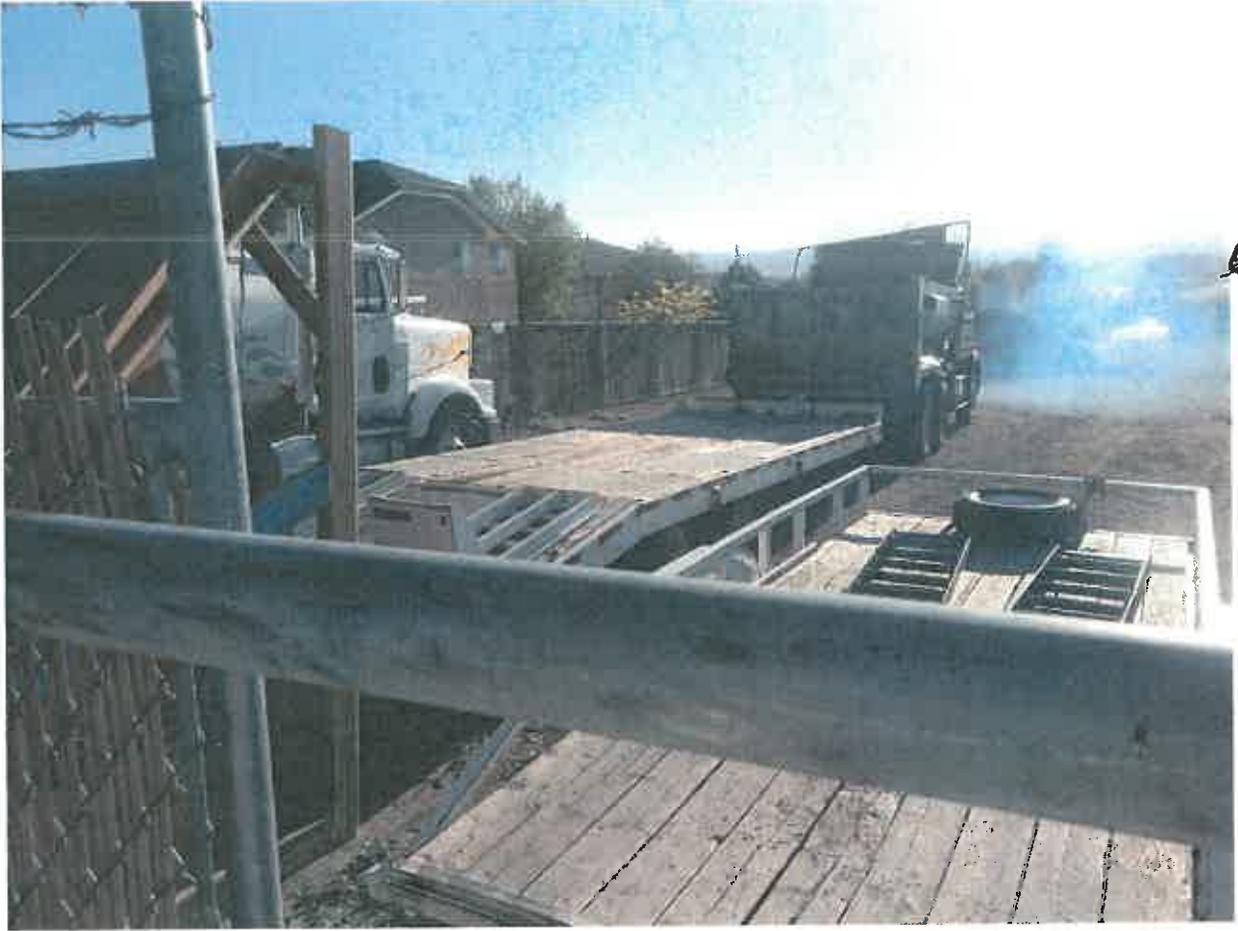
chavchat@q.com

Barbara Chavez
Pictures



Change
in
fencing

gray smudge



Joseph

Smile



April 2014

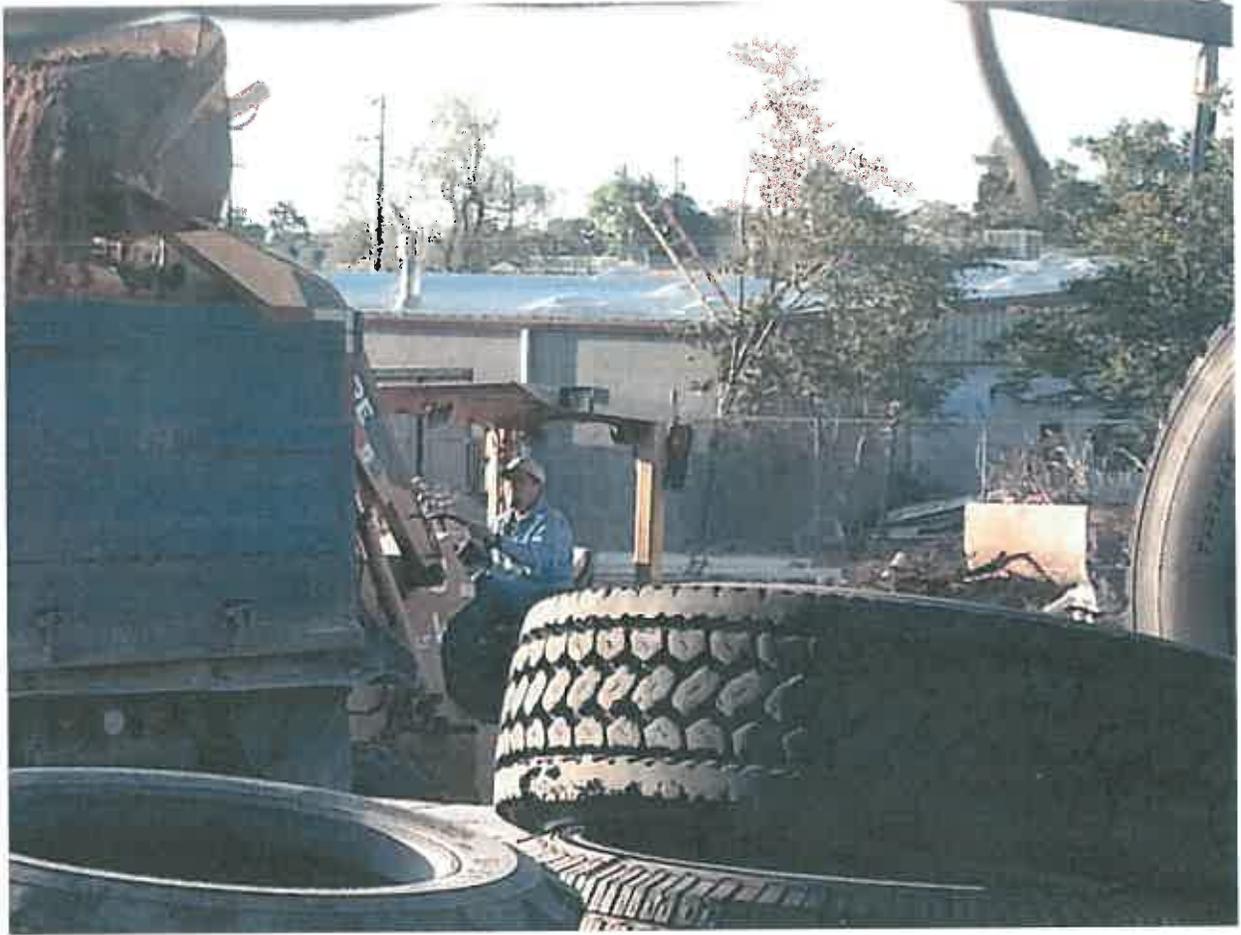
going on for
over 1 year



*Just Not
"wet"
Creates so
much dust*



↓
this pile he
from where he
removed ^(then) existing grade



heights of bucket in relation to removal of what was existing grade



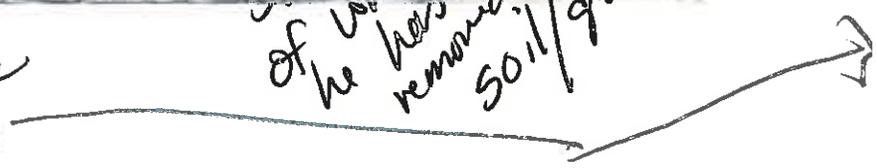
March 2015



March and April 2015

The Smoke
Continues...

This is
our street
side view
of where
he has
removed the
soil/grade





↙ Under in relation to my front door



April
2015

my entrance



326 E Beech St
last house on left

Thad
Car operator

Jan.17, 2014



What fence has looked like
from 2008 - 2014



2014 - removed existing fencing -
no permit, to install gate to
open to Beech St.



Beech
St

trucks not parked in area of what
they drew on permit application.





This section of
fence replaced
with new frame
where they said
"gate to Beech St"
would be -

Cottonwood Planning and Zoning:

I live at 313 Beech Street. The Thad Card Trucking Yard is 2 doors down from my house. The trucking company has one truck that emits heavy diesel exhaust into the neighborhood. The workers at the yard will often let the truck(s) sit and smoke for 30 minute or more before they leave the yard.

The fumes come into our home. Growing up in a diesel mechanics home, I know that the truck(s) is not running properly. *The truck that emits the most pollution is a white truck with a dark blue dump bed. It is shown in the pictures.* I began making calls to get the truck inspected so the trucking company would be forced to repair the smoking vehicle(s).

- **EPA:** I started with the Environmental Protection Agency. They told me to call the Arizona Department of Environmental Quality (ADEQ)
- **ADEQ:** I filed several reports with the ADEQ both on the internet and over the phone. Adrion Osborn responded back to me via email. (The email is attached.) Adrion said the issue was outside of their justification and I should call the local police if it happens again. They said if the truck pulls out onto the road smoking, it is in violation of Arizona Revised Statute 28-955. A copy of that statute is attached. *One of the pictures I attached shows the truck getting ready to drive onto the road while blowing white smoke.*
- **Cottonwood PD:** The next time I saw the truck smoking, I called the Cottonwood PD as directed. The first officer told me he needed to catch the truck in the act, but the statute was enforceable. I called a second time and the next officer told me that Cottonwood PD does not have any criteria for enforcing Arizona Revised Statute 28-955. (They were not able to legally determine the difference between regular exhaust and a smoking vehicle.) He said that decision came from his commanding officer.
- **ADOT Enforcement:** I also called ADOT enforcement. They told me that Thad Card had been cited on other violations in the past. I asked them to send an inspector to evaluate the truck. They told me they were backed up, but might get to it in several weeks. I never heard back.

Thad Card Trucking is still polluting the air in our neighborhood and is a nuisance. Attached you'll find a few pictures:

- A couple pictures show the vehicle that smokes the most. One picture shows that truck smoking right next to the fence – in an area where they are not supposed to be parking the trucks according to the site map.
- One picture shows the smoking truck getting ready to move out onto the road.
- Also notice the dates. The issue is ongoing. Two of the pictures are from last week.

Please send an inspector to evaluate the mechanical condition of these vehicles. Please have the appropriate authorities enforce Arizona Revised Statute 28-955 and apply the appropriate fines. If Thad Card Trucking needs to run smoking industrial equipment and they can do so legally, then please relocate the Trucking Company to a non-residential area.

Thank You.

Mark Stafford

313 Beech Street | 928-460-3134

Arizona Revised Statute 28-955

28-955. Mufflers; noise and air pollution prevention; emissions control devices; civil penalty; exception

A. A motor vehicle shall be equipped at all times with a muffler that is in good working order and that is in constant operation to prevent excessive or unusual noise.

B. A person shall not use a muffler cutout, bypass or similar device on a motor vehicle on a highway.

C. The engine and power mechanism of a motor vehicle shall be equipped and adjusted to prevent the escape of excessive fumes or smoke.

D. Beginning with motor vehicles and motor vehicle engines of the 1968 model year, motor vehicles and motor vehicle engines shall be equipped with emissions control devices that meet the standards established by the director of environmental quality.

E. A person who violates this section is subject to a civil penalty of at least one hundred dollars.

F. This section does not apply to an electrically powered motor vehicle.

Search

smoking Vehicle

People

Adrion L. Osborne

Oct 27, 2014

To mark@ablazemediaz.com

CC Alicia Reuter

Mr. Stafford

My name is Adrion Osborne, I am the manager of the vehicle emissions program. The vehicle emissions inspection section does not have jurisdiction in Cottonwood Arizona. Cottonwood Arizona is outside of the vehicle emissions control area. You could contact your local police department and file smoking vehicle complaint. Your local police can investigate and use the Arizona Revised Statute 28-955 (C). I called the number in the complaint and left you a message. If you have any questions, I can be reached at 602-771-3969.

Thank You

Adrion L Osborne

Acting Section Manager

Vehicle Emissions

Arizona Department of Environmental Quality



Search

Re: smoking Vehicle

People

Mark Stafford

Oct 28, 2014

To: Adrion L. Osborne

Adrion,

Thank you for getting back to me. I'll use that statute and contact the local police next time it happens. I did speak with them and they were not aware of a statute that covers smoking vehicles. Thanks again.

Mark Stafford

Creative Director

Ablaze Media

313 Beech Street, Cottonwood, AZ 86326
mark@ablazemediaaz.com | 928-460-3134

From: Adrion L. Osborne <Osborne.Adrion@azdeq.gov>
To: "mark@ablazemediaaz.com" <mark@ablazemediaaz.com>
Cc: Alicia Reuter <Reuter.Alicia@azdeq.gov>
Sent: Monday, October 27, 2014 2:33 PM
Subject: smoking Vehicle

Mr. Stafford

My name is Adrion Osborne, I am the manager of the vehicle emissions program. The vehicle emissions inspection section does not have jurisdiction in Cottonwood Arizona. Cottonwood Arizona is outside of the vehicle emissions control area. You could contact your local police department and file smoking vehicle complaint. Your local police can investigate and use the Arizona Revised Statute 28-955 (C). I called the number in the complaint and left you a message. If you have any questions, I can be reached at 602-771-3969.

Thank You

Adrion L. Osborne

Acting Section Manager
Vehicle Emissions
Arizona Department of Environmental Quality

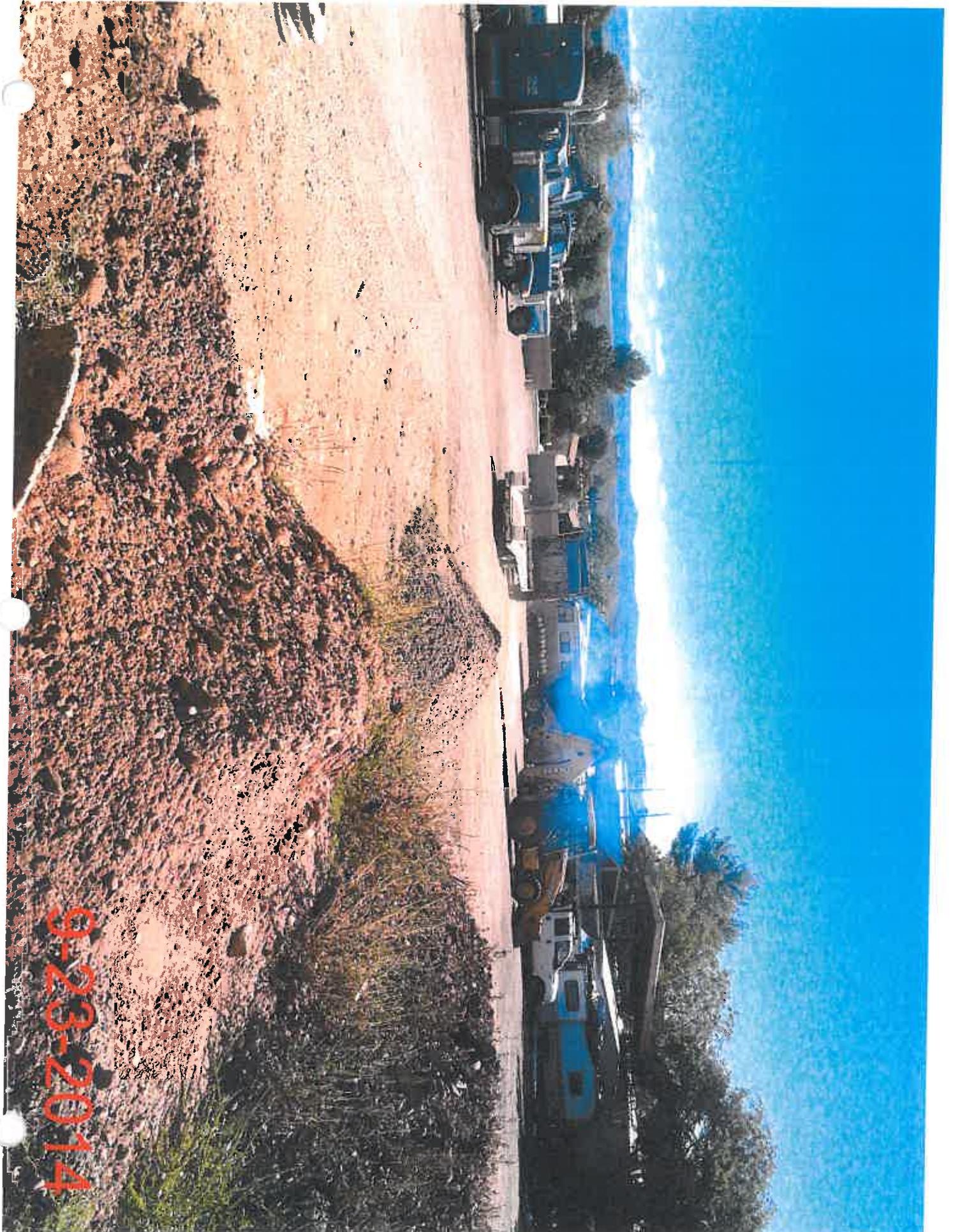




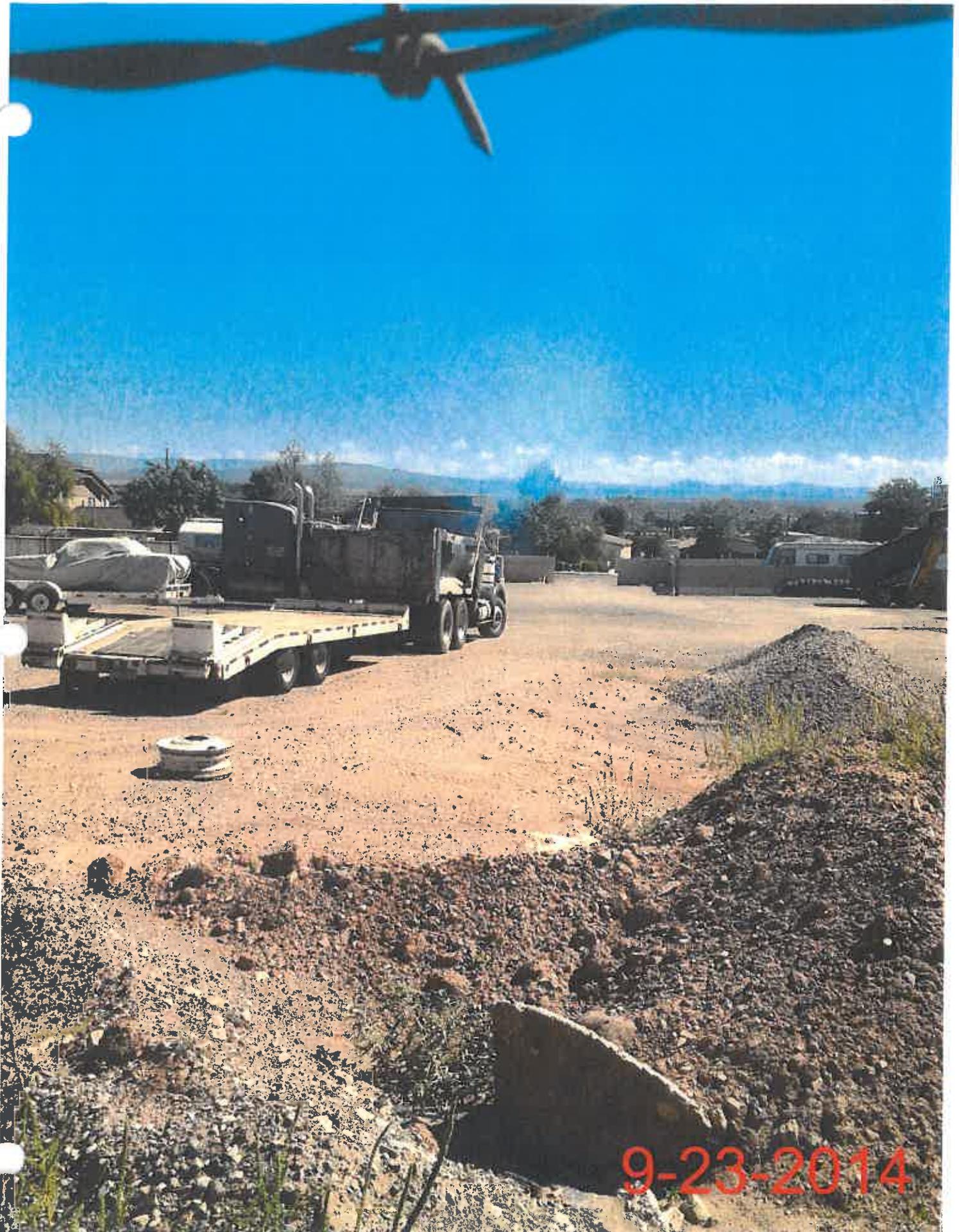
5-7-2015



5-14-2015



9-23-2014



9-23-2014



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: January 25, 2016

PROJECT NUMBER: **PCU 16-003 Wesie's Customs**

The applicant is requesting approval of a Conditional Use Permit to allow screened outdoor storage of automotive restoration materials as an accessory use. The proposed site is located at 1491 E. Cherry Street, which is zoned C-2 (Heavy Commercial).

PROJECT DATA AND FACTS:

Applicant	Robert Wesighan
Property Owner	Rio Arizona Holdings, LLC
Location of Property	1491 E. Cherry Street
Present Zoning and Land Use	C-2 (Heavy Commercial) – Automotive restoration and storage.
Description of Applicant's Request	Allow storage of various vehicle parts and miscellaneous materials to be used in the restoration of vehicles for applicants business.

LAND USE:

Description and Character of Surrounding Area
The site is on the south side of E. Cherry Street, west of S. Main Street. The property is surrounded by office/retail spaces, and vacant land.

Adjacent Land Uses and Zoning	
North: (across Cherry Street)	C-1 – Light Commercial – Office spaces
South:	C-2 – Heavy Commercial – Back end of a retail parts store
East:	C-2 – Heavy Commercial – Retail stores and a vacant lot.
West:	C-2 – Heavy Commercial – Dog Kennel/Grooming

PROJECT PROPOSAL:

Background:

Currently the site is a long lot, with a building, shade structure, and open rear yard. The applicant currently runs an automotive restoration business, which requires the storage and use of miscellaneous auto parts from other vehicles. The business itself is a permitted use in the C-2 zone, however, the excessive and type of outdoor storage requires obtaining a Conditional Use Permit.

Hours of operation are 8:00am to 5:00pm Monday through Friday, with occasional work being performed later than 5:00pm and on weekends.

Parking:

Adequate parking exists for the current traffic and customers that come to this business. The parking of unlicensed or inoperable vehicles will be required to be in the rear of the property, and not take up any available parking needed for the business.

Lighting:

No lighting changes are proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

A single driveway entrance exists on the property allowing access off E. Cherry Street. No access issues have been noted.

Landscape Plans:

A small portion of the front of the property along E. Cherry Street is already landscaped and the applicant has not proposed any additional landscaping of the property.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on November 24, 2015 and the applicant will be required to meet all conditions to continue operation of the business at this location.

No automotive painting or primer will be allowed unless an approved spray booth is installed complying with all local codes and NFPA 33 standards. This will require Fire Department approval. Aerosol paint cans (rattle cans) are excluded from these requirements.

REQUIRED FINDINGS:

General Findings:

The current zoning of C-2 (Heavy Commercial) allows as a permitted use, automotive repair shops. This business is an auto-repair/auto-restoration shop which is also a permitted use in this zone. The amount and type of outdoor storage that is being done has prompted the need to obtain a Conditional Use Permit to continue the storage as an accessory use to the automotive repair and restoration.

Compatibility with Surrounding Uses:

The property sits within a section of C-2 zoning that continues on 3 sides of it, with C-1 zoning across Cherry Street. There is a mixture of office space, retail, and pet boarding/grooming immediately abutting the property. A few spaces to the west is an auto-body shop which operates as a permitted use in this zone.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property. The existing road is adequate to handle the traffic generated by this business.

Nuisance Activities:

City staff received complaints from neighboring property owners and businesses regarding the type of use at this location. These complaints include noise, smoke, burn-outs, unscreened storage, unlicensed vehicles, and a suspected rat problem. These concerns were brought to the attention of the business owner who has since made significant improvements regarding the organization of the storage, screening, and removal of unlicensed vehicles from the front of the lot. Staff determined that in order to continue storing items additional screening and a Conditional Use Permit would be required.

The applicant removed several vehicles that were stacked above the fence line and were visible from the public streets. He also cleaned and organized the outdoor storage of various parts and vehicles.

Painting of vehicles was also suspected, however, the Fire Department has found no evidence of this to be occurring on site.

A neighboring property owner and business is still not satisfied with the progress made by the applicant, and believes it to be a junkyard, continuing to create problems for her business (see attached letter from the neighboring business).

Buffering and Screening:

The storage of automotive parts and materials takes place at the rear of the lot, behind a fence and gate, and not visible from Cherry Street. At one point the business owner had vehicles stacked to a level that exceeded the height of the fence surrounding the property and was visible from the street. Once staff brought this to the owner's attention, the vehicles were removed to a level acceptable by the ordinance related to screened outdoor storage. The business owner also put slats in a section of chain-link fence along a portion of the property that borders the neighboring pet boarding/grooming facility. The slats should continue further down the fence line to help screen the remaining portion of the property.

Stipulations:

Staff has reviewed this project and finds the business is permitted, with the need to obtain a Conditional Use Permit for outdoor storage. If approved, staff recommends the following stipulations:

1. That all outdoor storage meets ordinance requirements related to screening of all outdoor storage.
2. That the project conforms to Code Review Board comments dated 11-25-15.
3. All outdoor storage is to be screened with slats installed in the chain-link fence surrounding the property. Stacking of vehicles or other materials is not allowed if it can be seen above the fence line.
4. All outdoor storage is to remain in the rear of the property to where it is not visible from the public street.
5. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
7. Any other stipulations the Planning & Zoning Commission deems necessary.

UPDATE:

Staff spoke with Mr. Wesighan on February 10, 2016 and were informed that he is in the process of cleaning the property by reducing the amount of materials stored on site. If the applicant reduces the amount of storage and cleans the property enough that staff determines it no longer meets the definition of a junkyard, then the use is considered permitted and a Conditional Use Permit is not applicable, which will make this application void.



Letter of intent.

Automotive repair and restoration with out side storage of parts and materials for this line of work.

1/ Rack

Storage shed

Shed

engine shop

Storage shed

Sheetmetal Rack

Sheetmetal Rack

Steel Rack

Steel Rack

Steel Rack

Differential rack

Storage shed

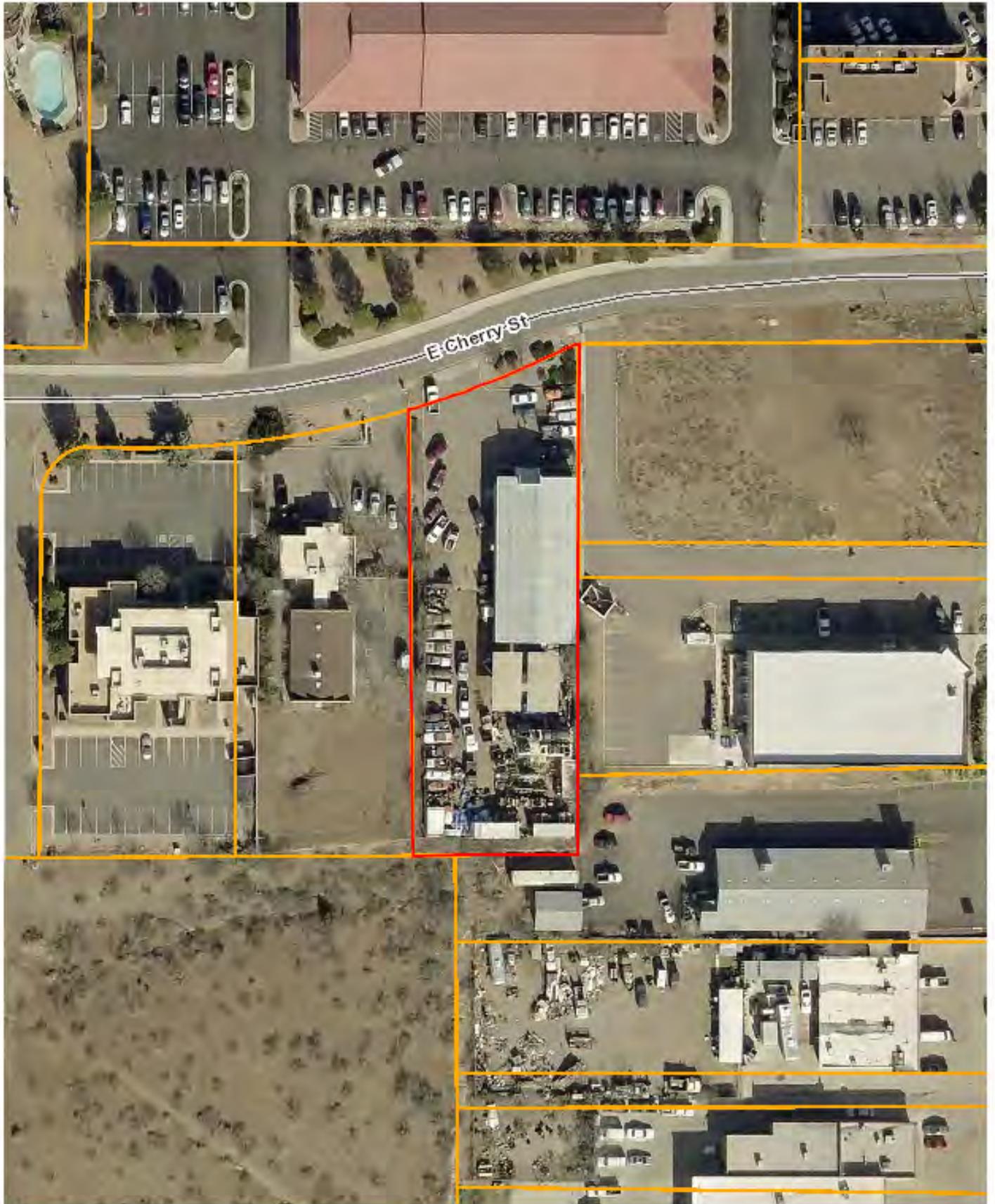
Storage shed

Canopy

Shop

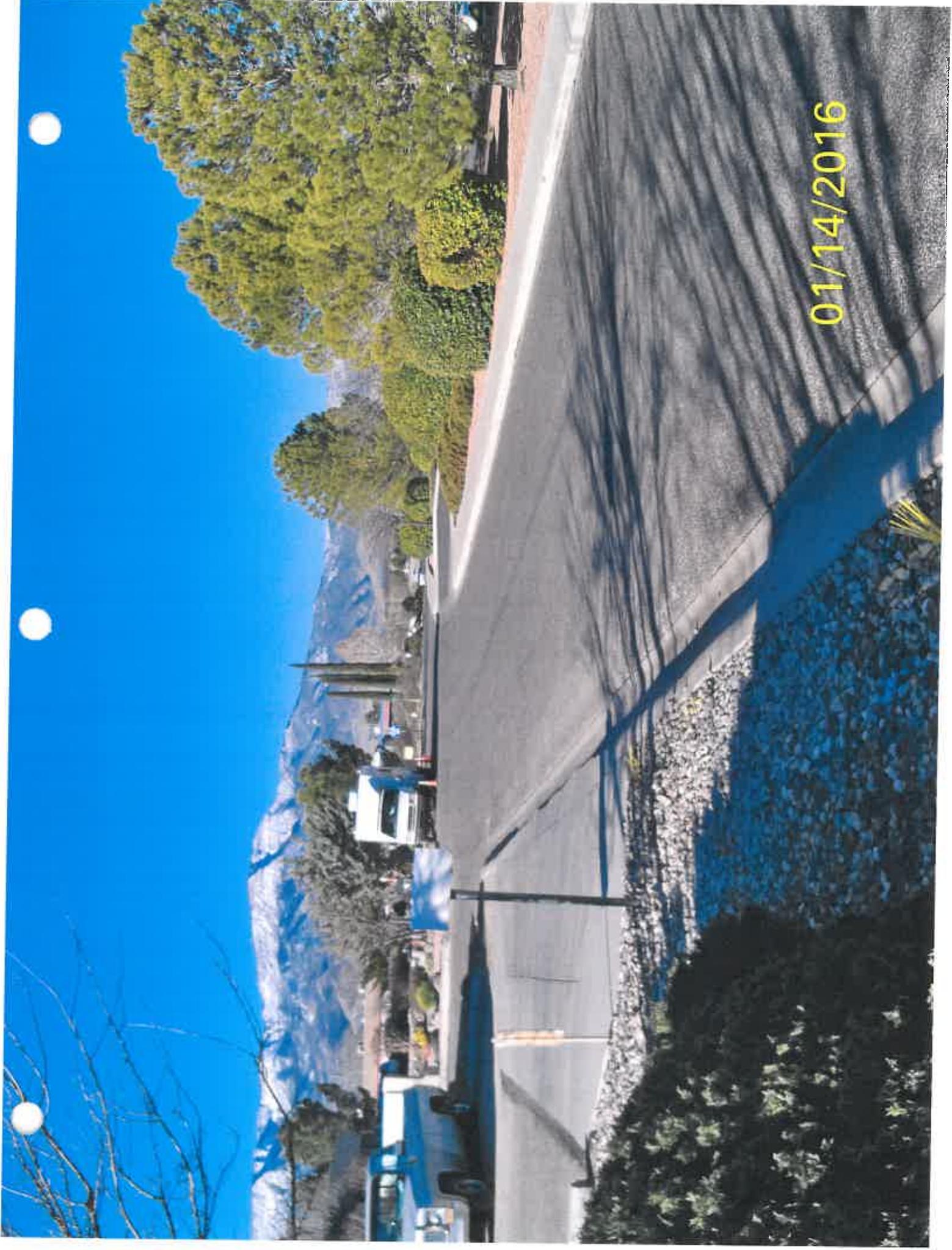
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Project cars
Customer Cars



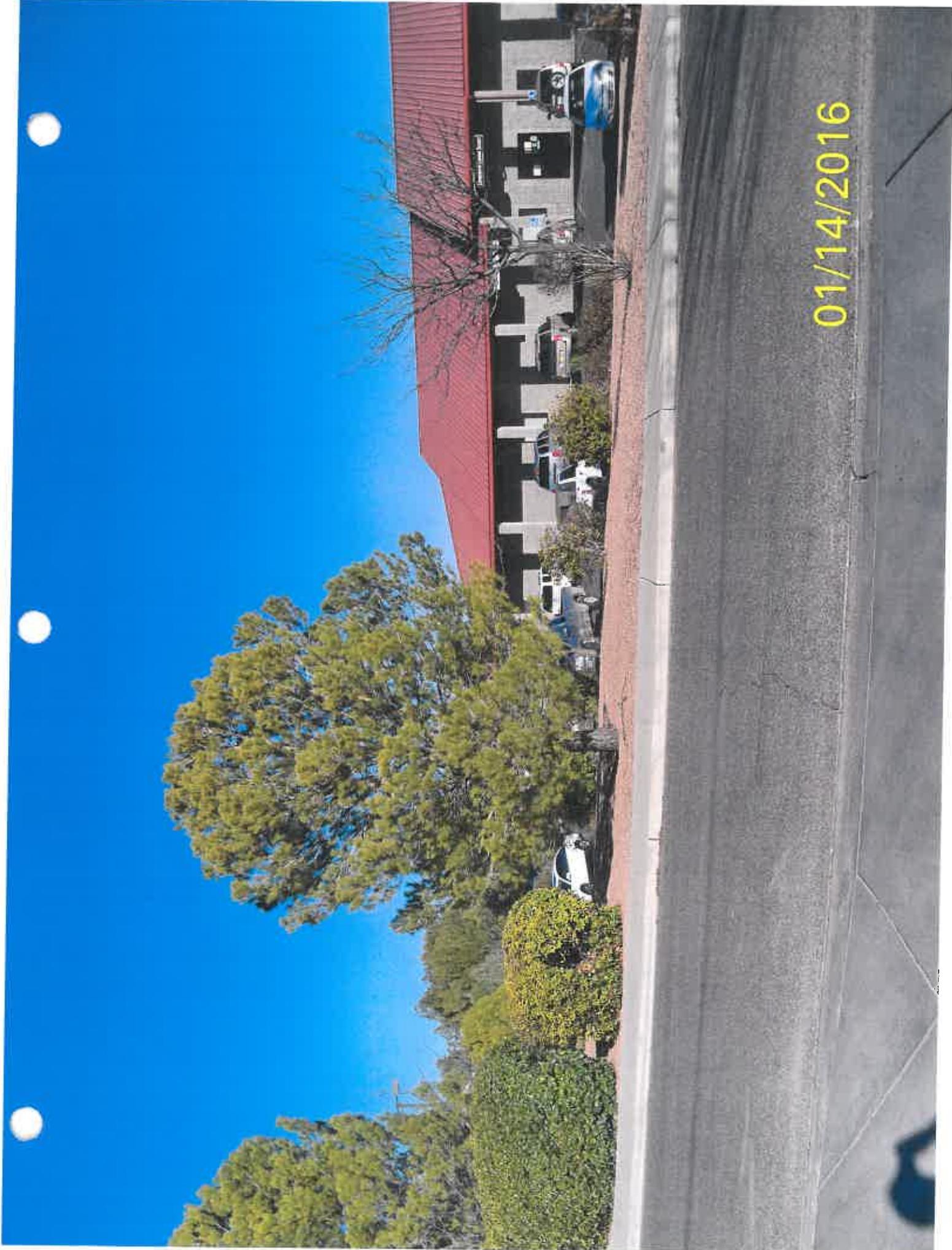
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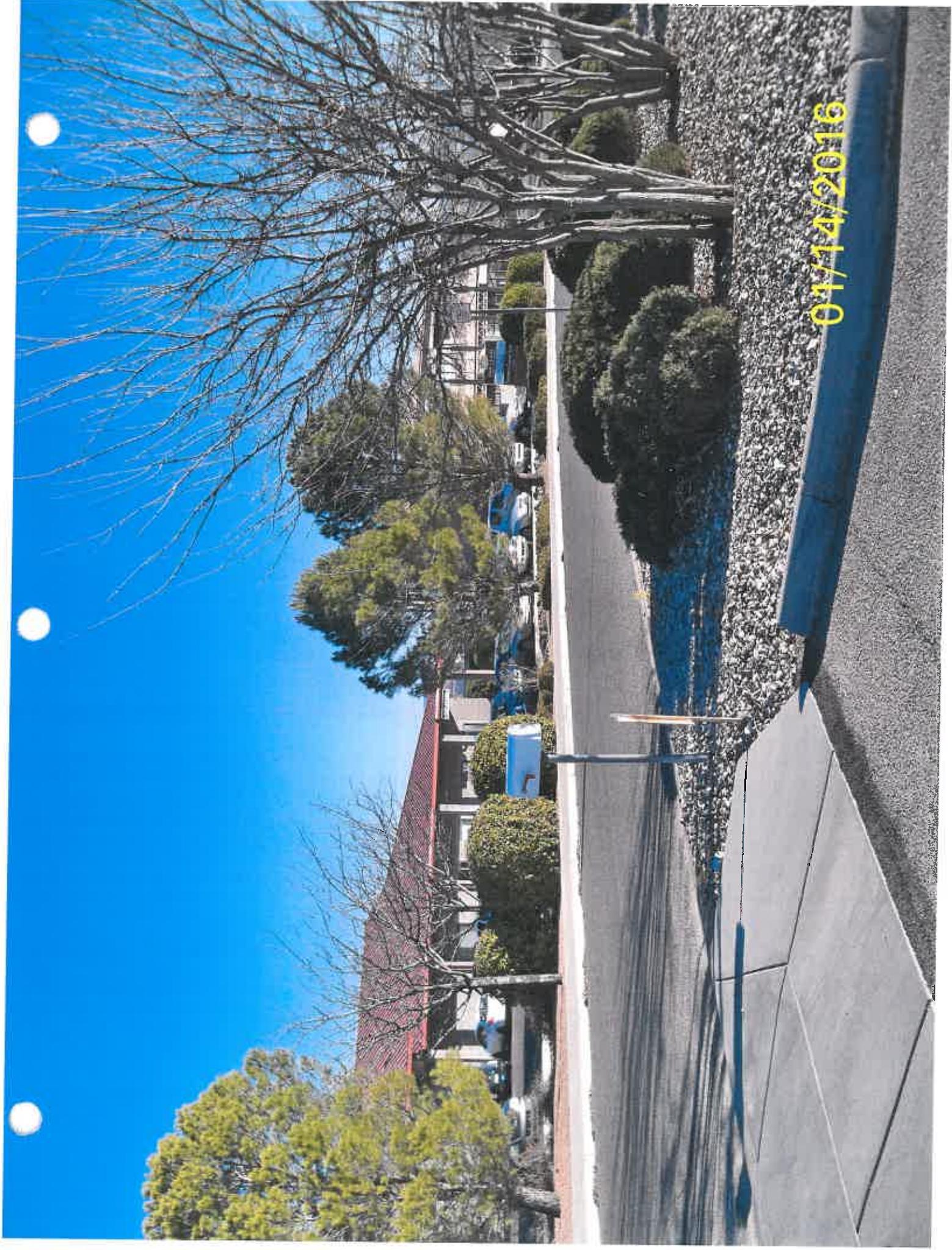
**SURROUNDING
AREA**



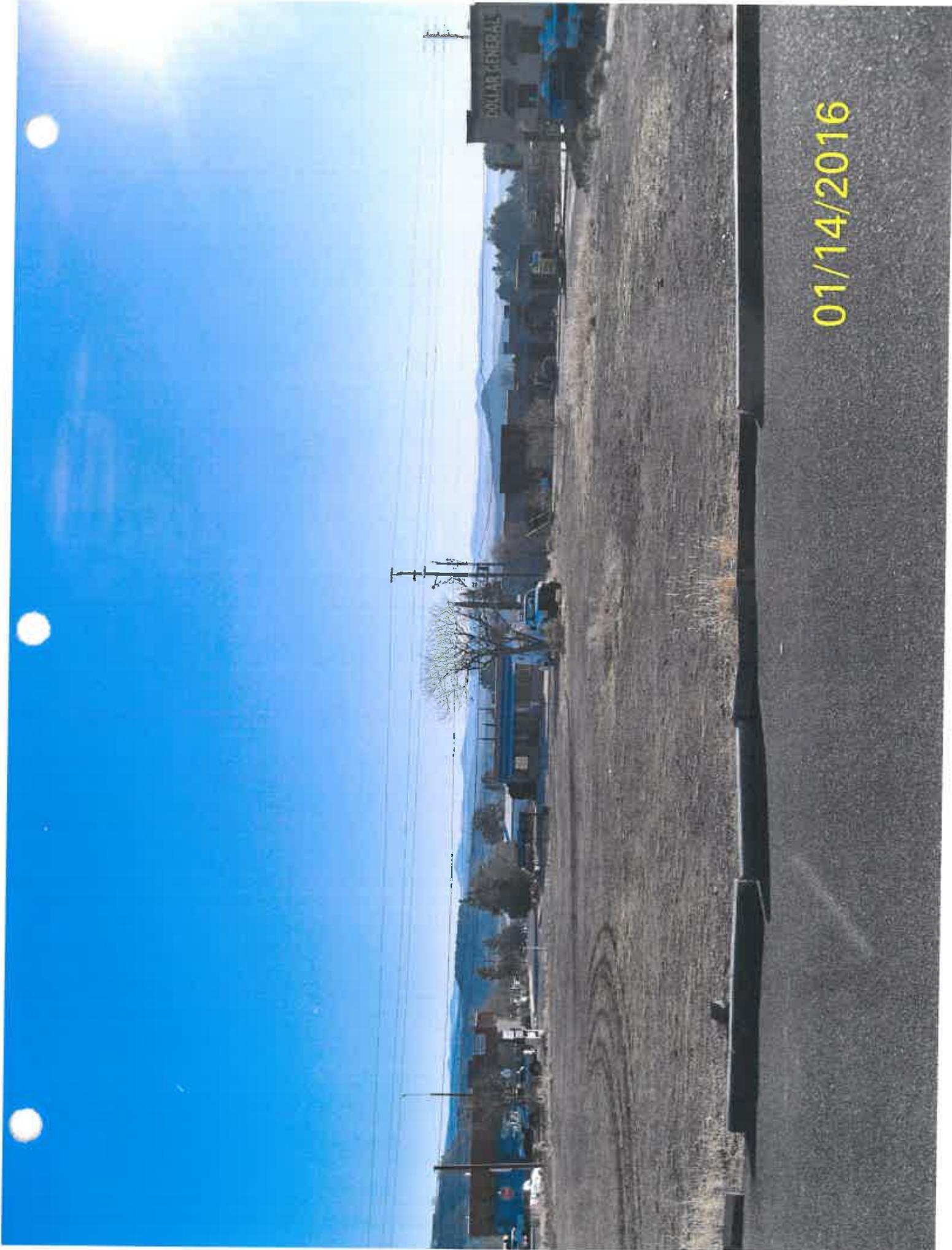
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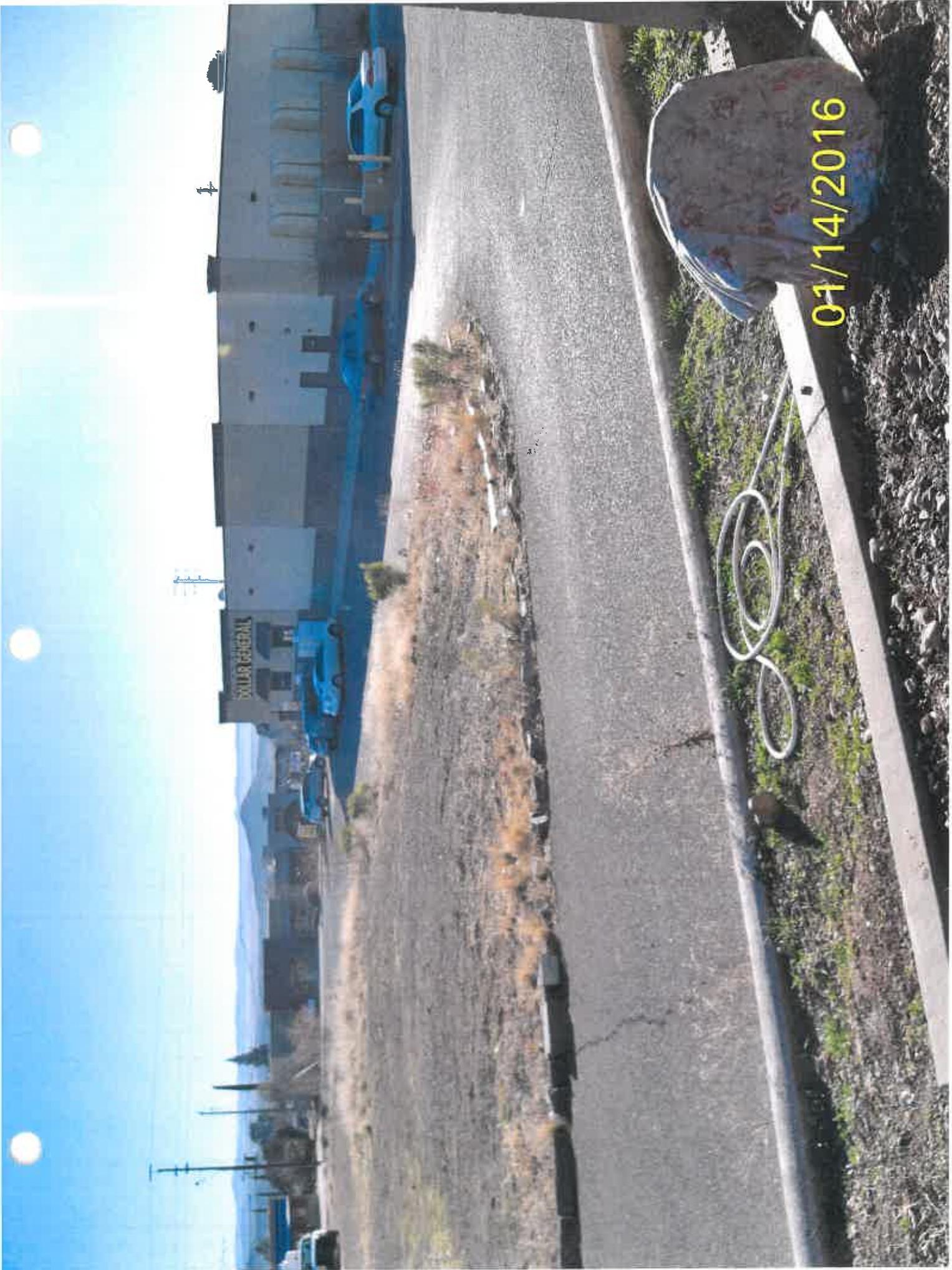




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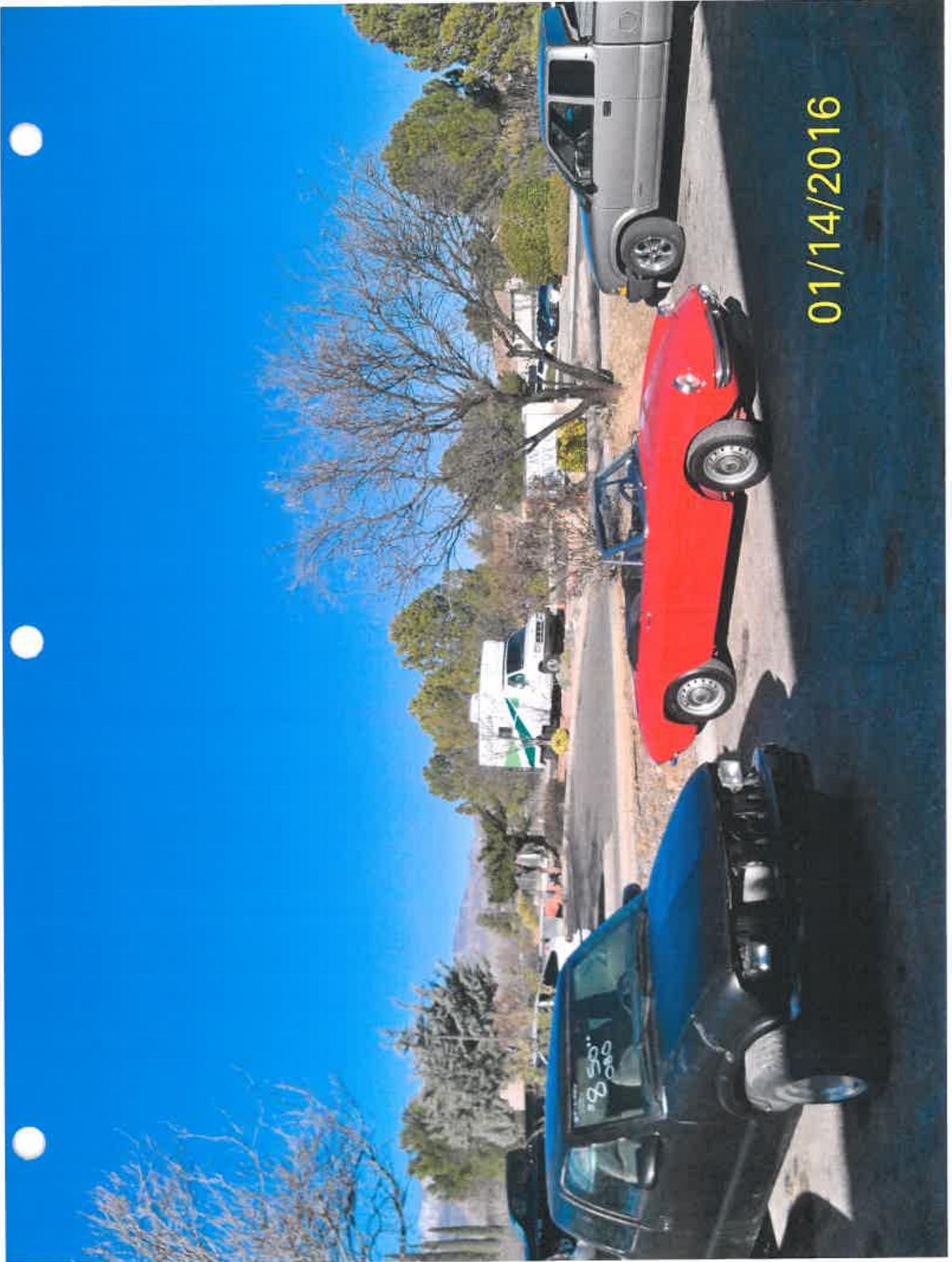


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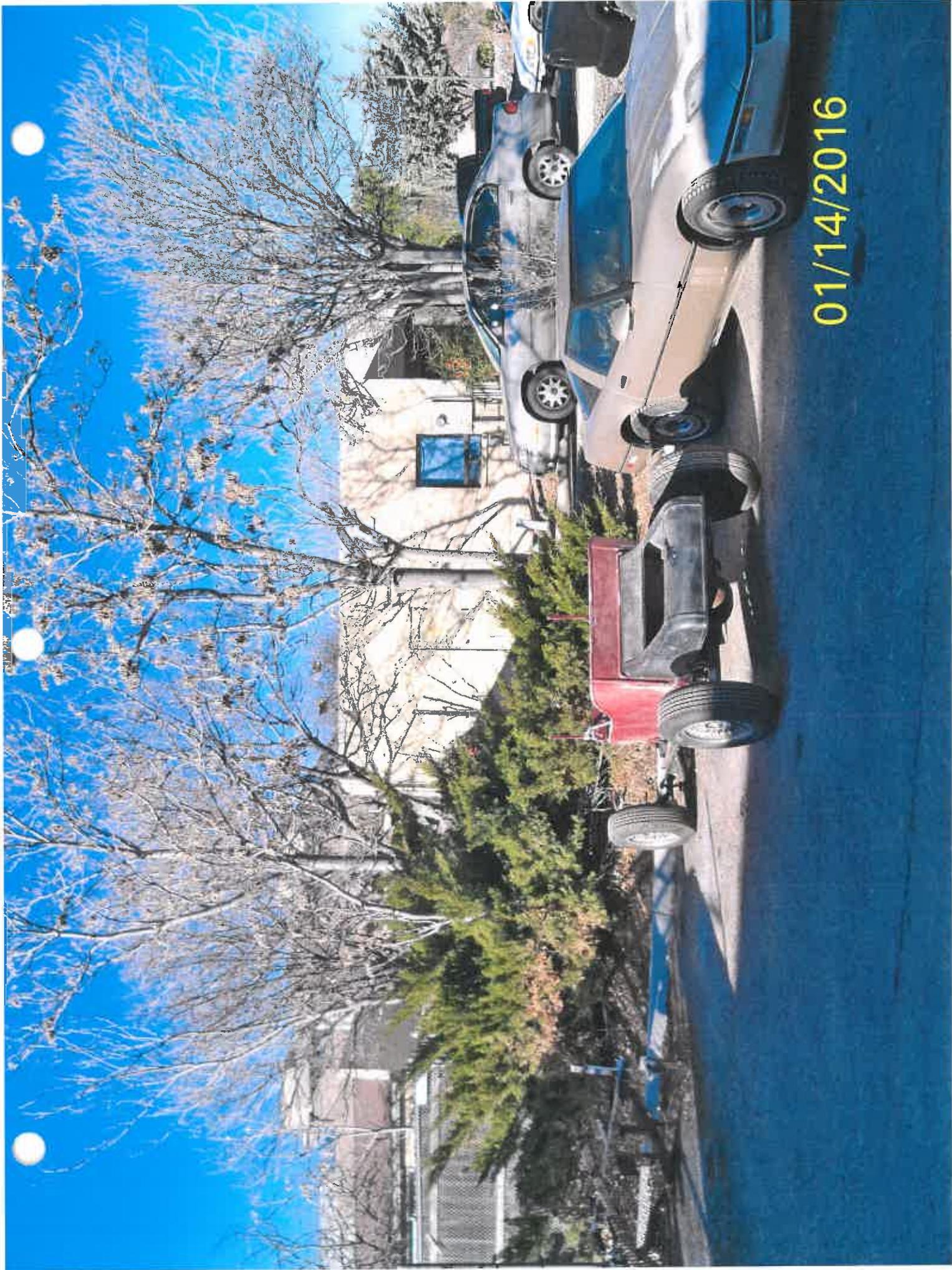
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DOLLAR GENERAL

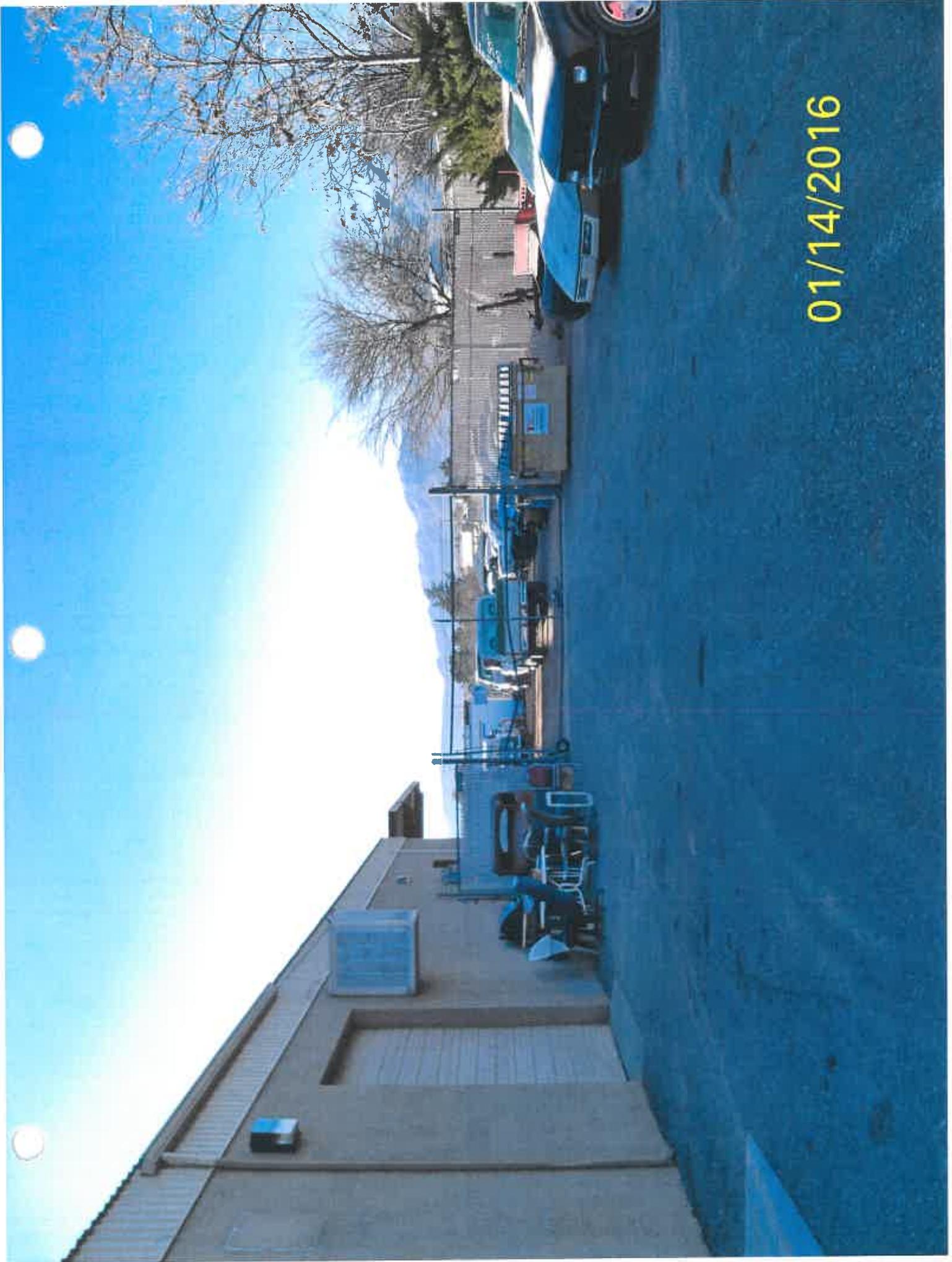
**FRONT
PARKING**



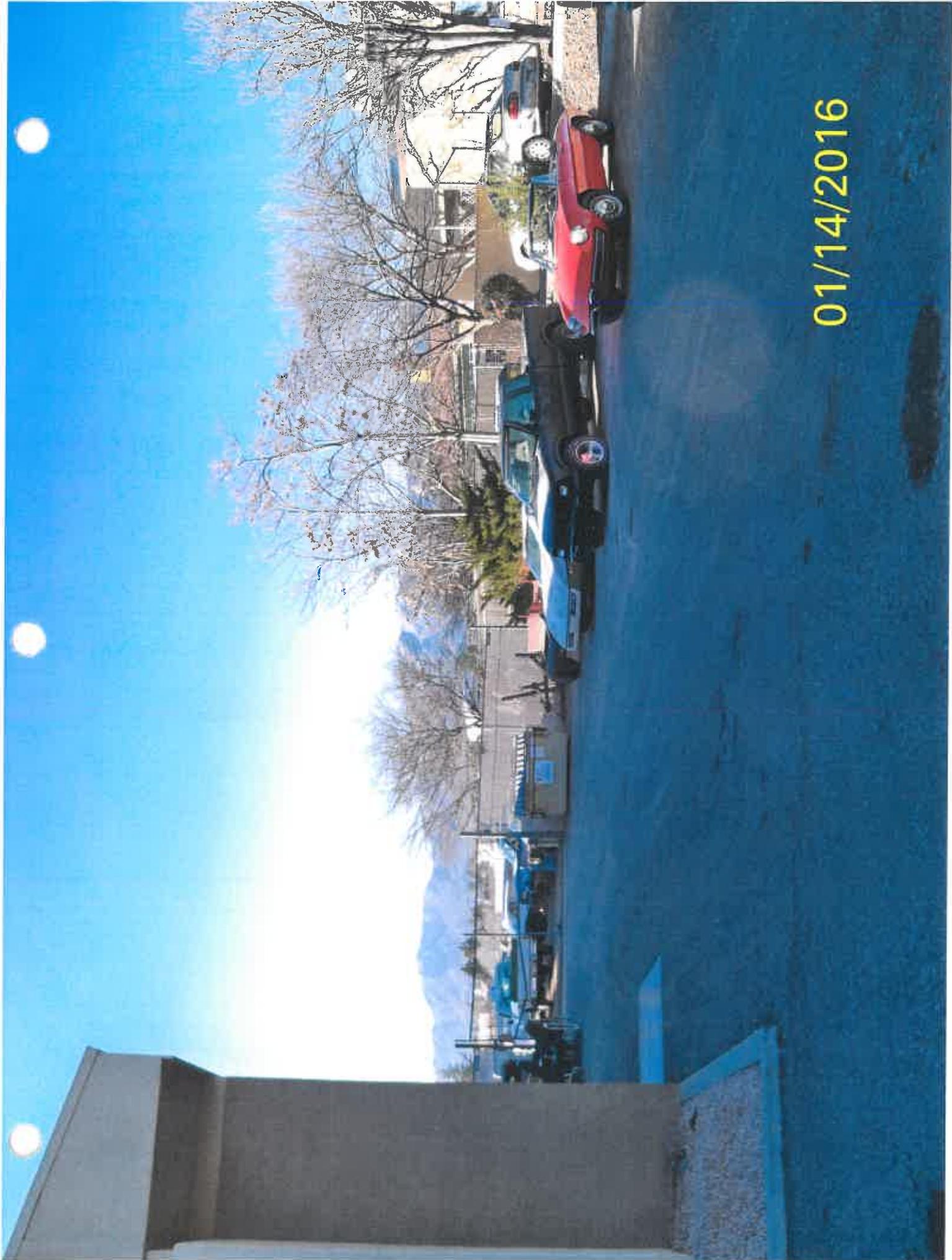
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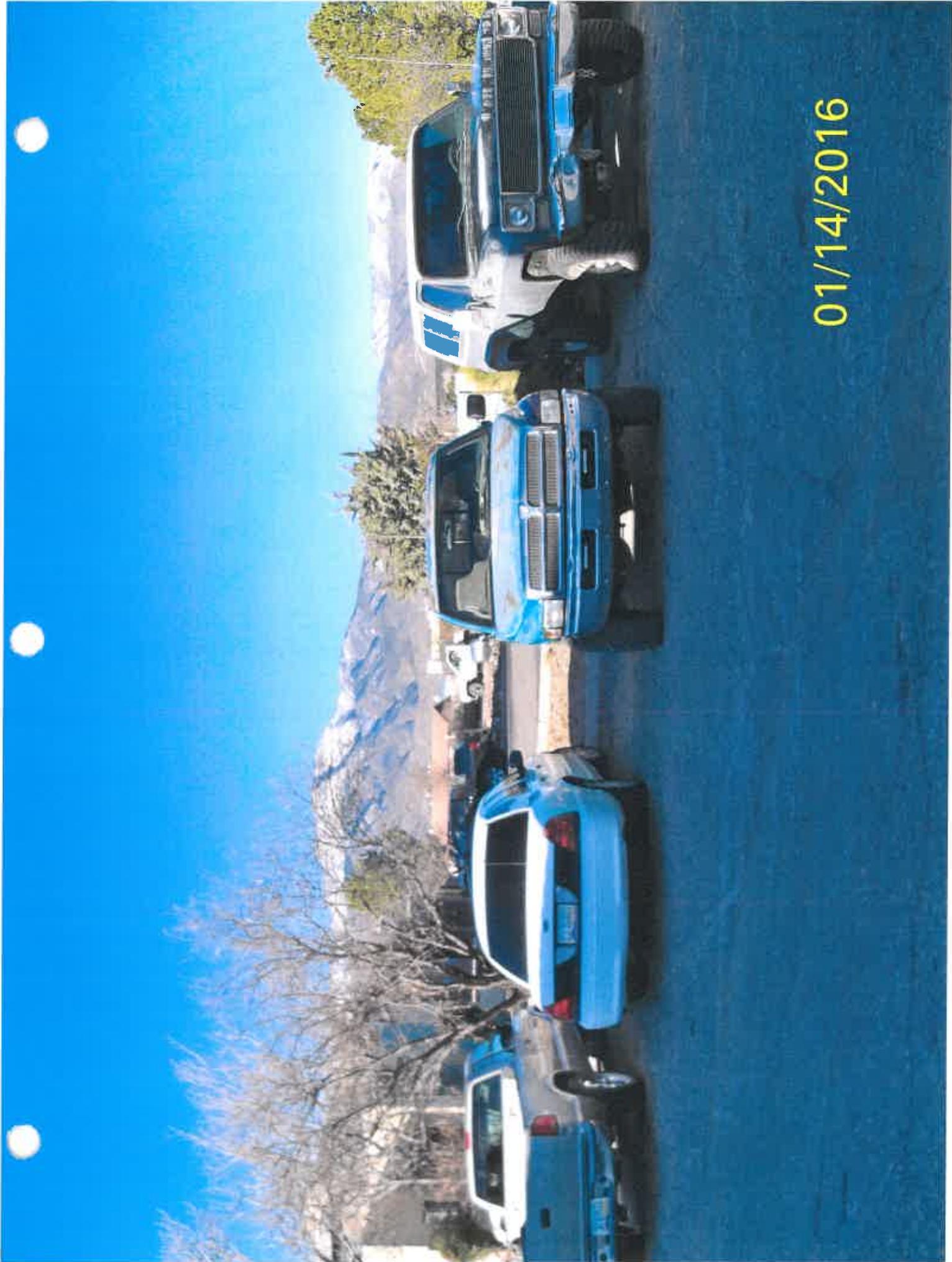
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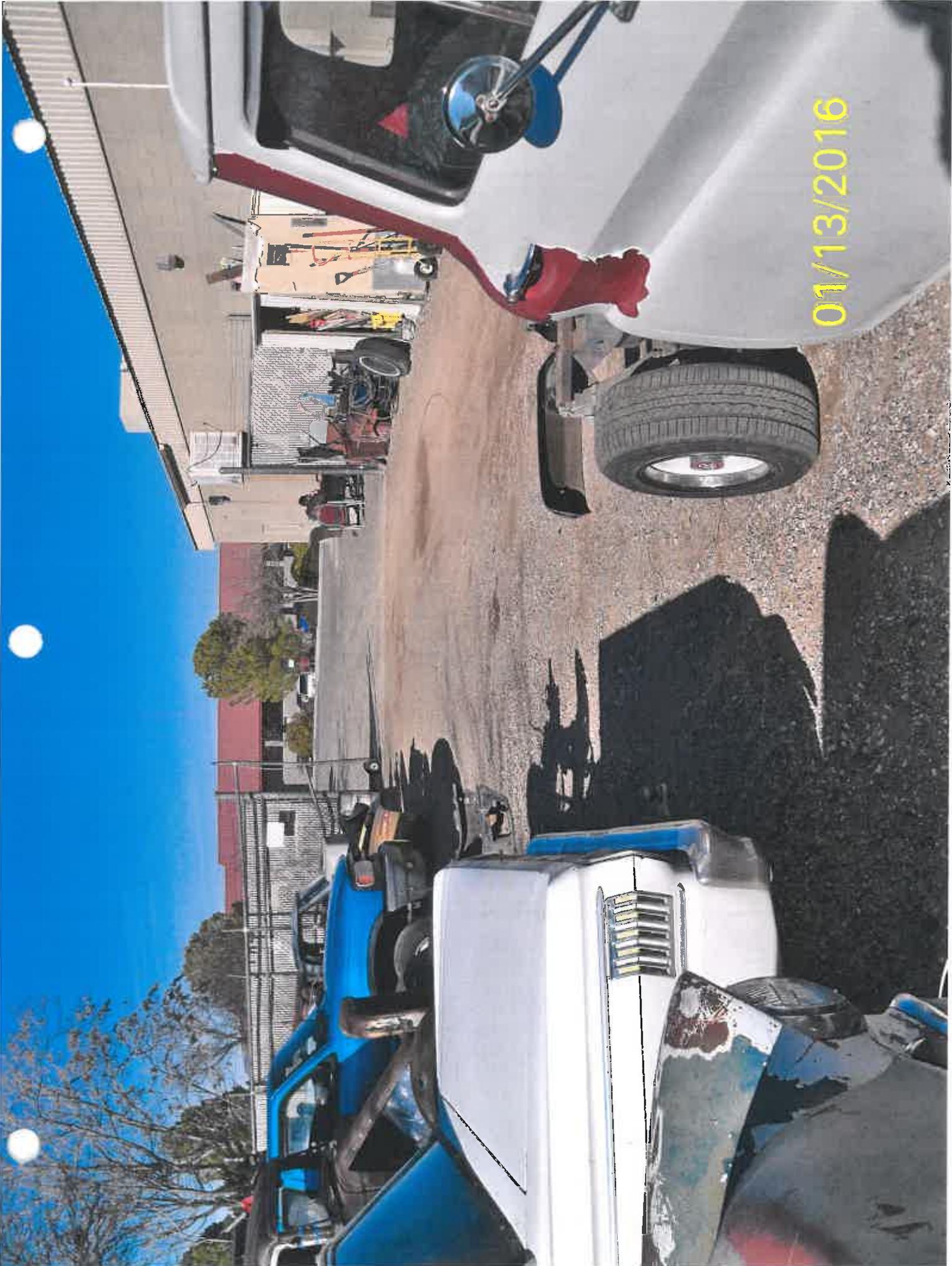
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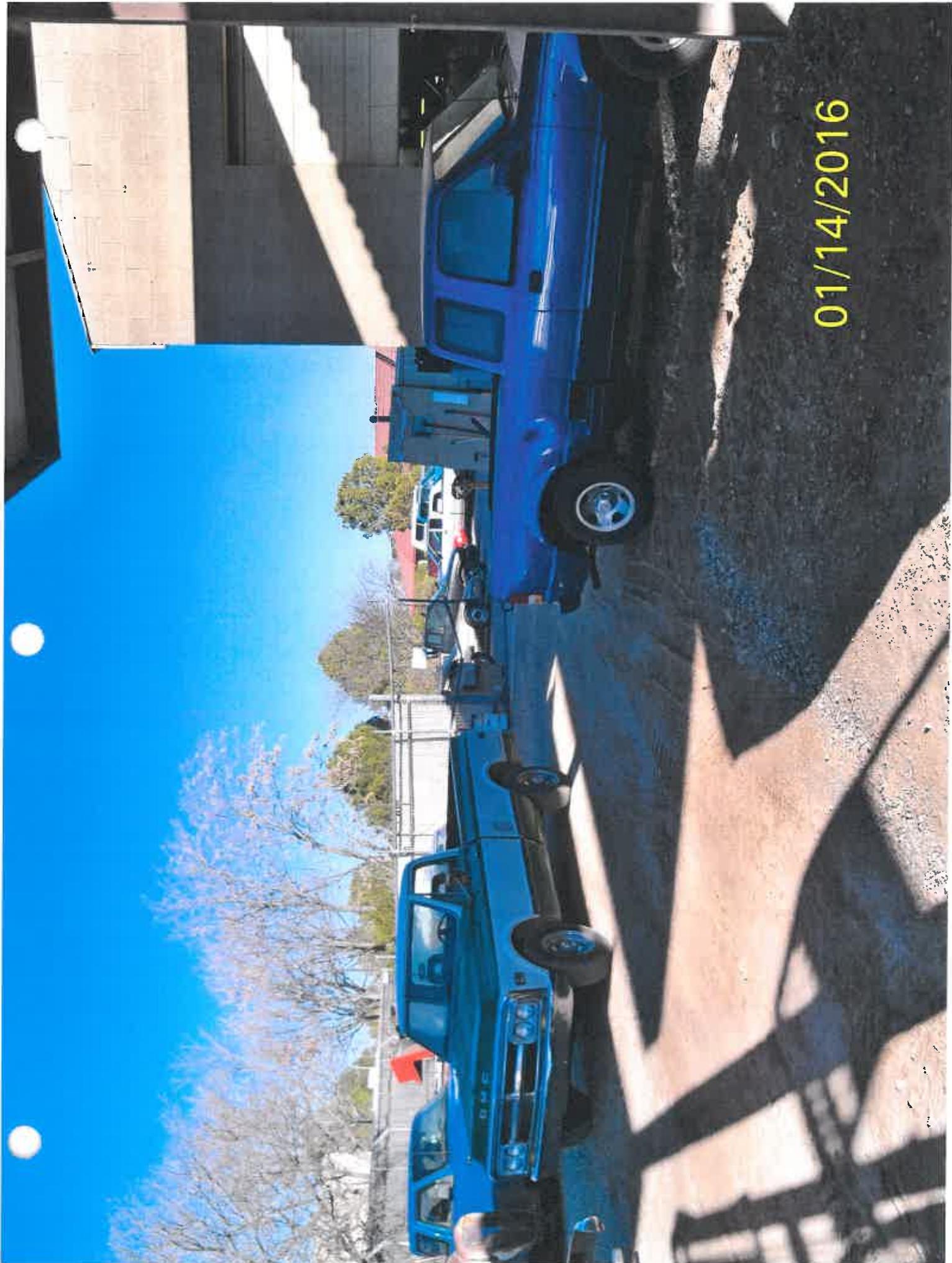


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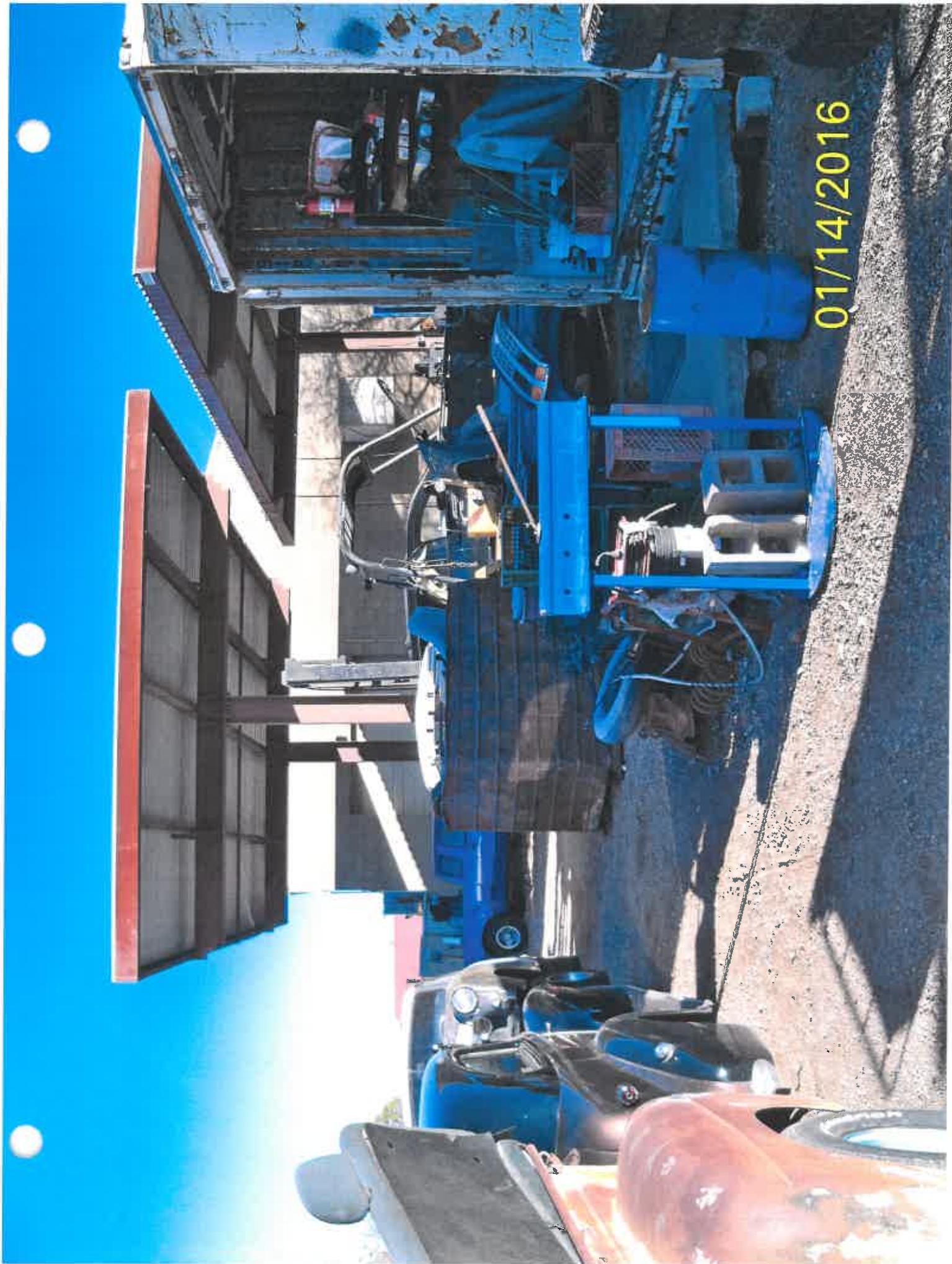


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**STORAGE
AREA**



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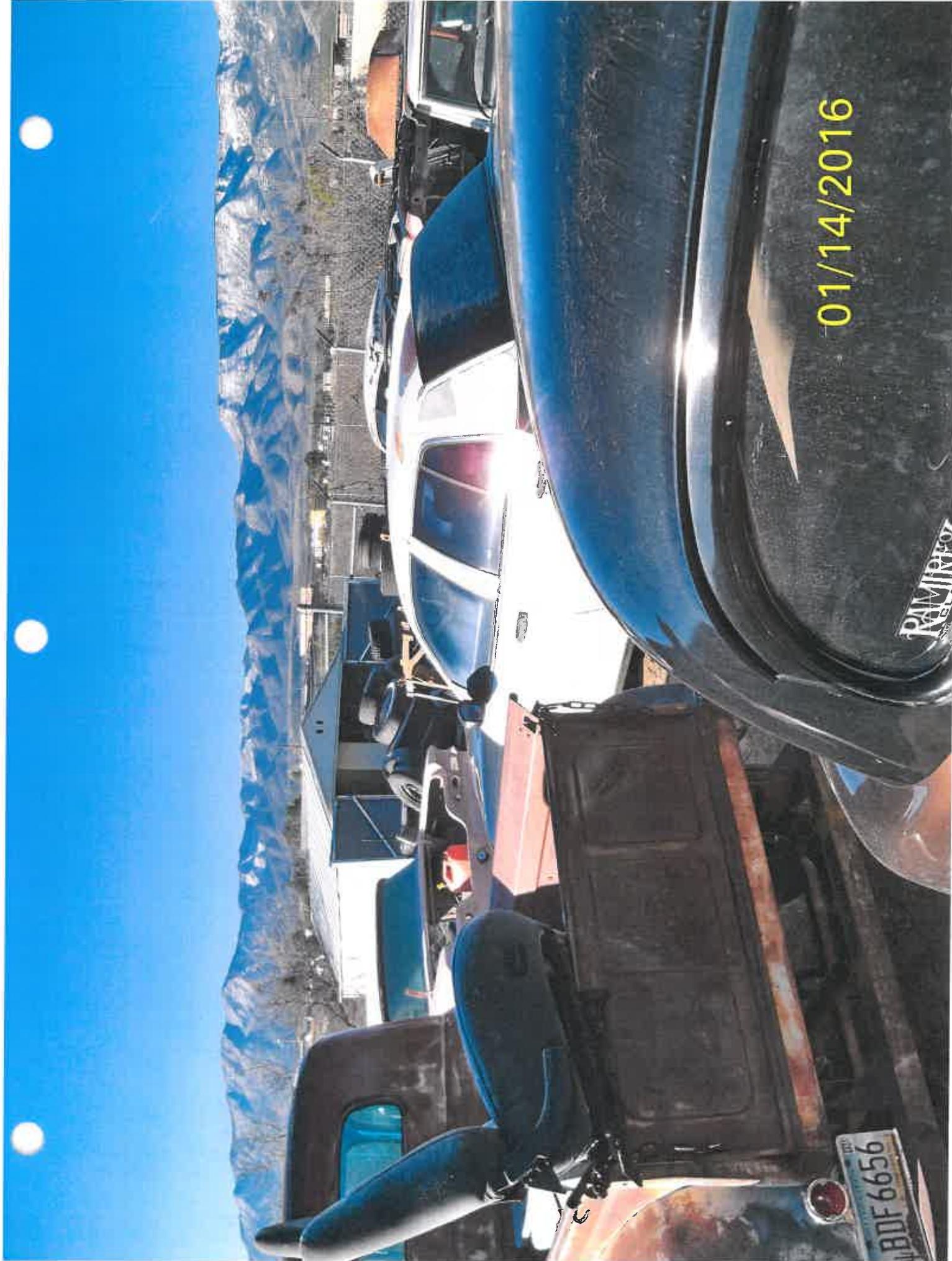


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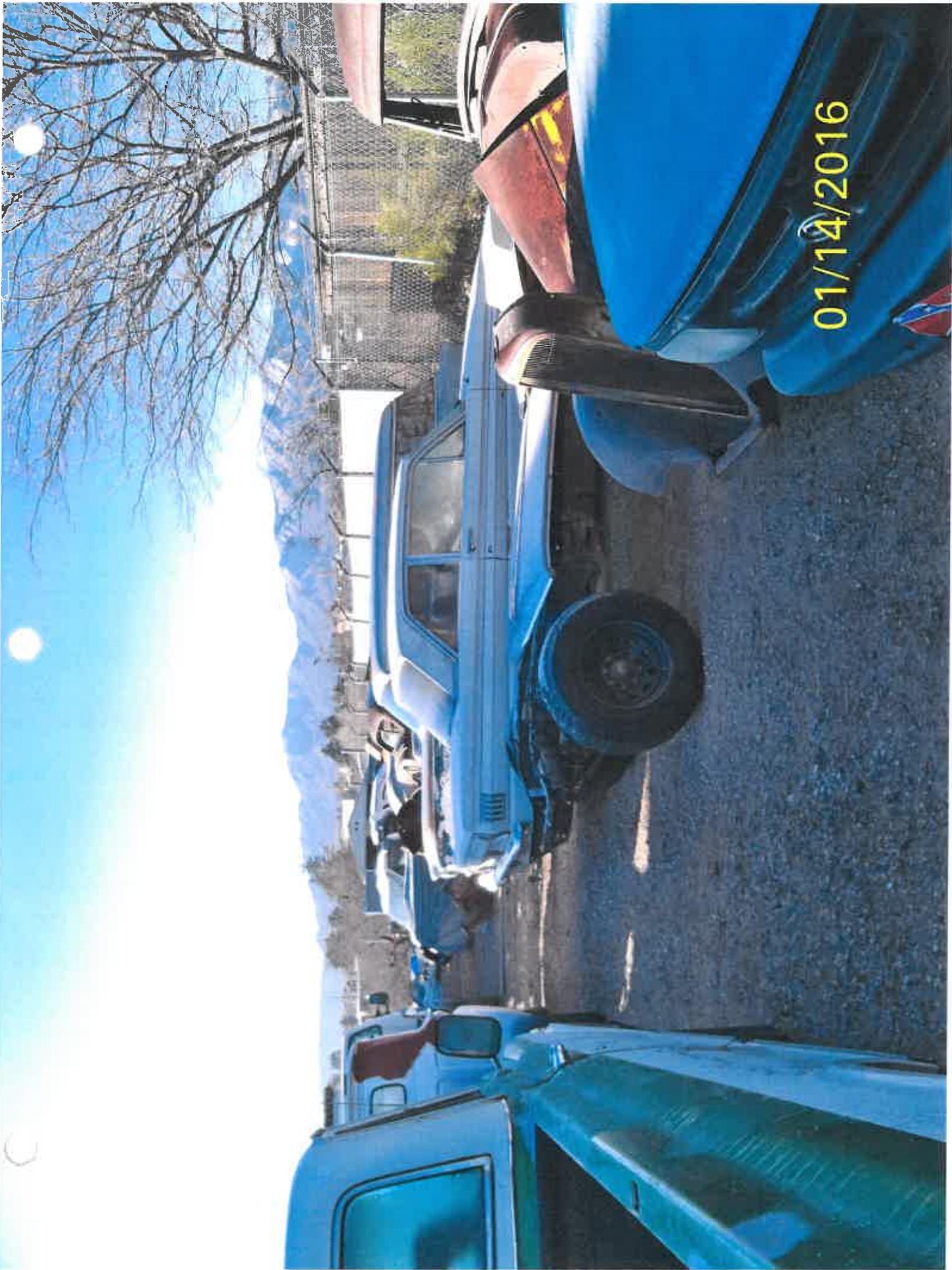
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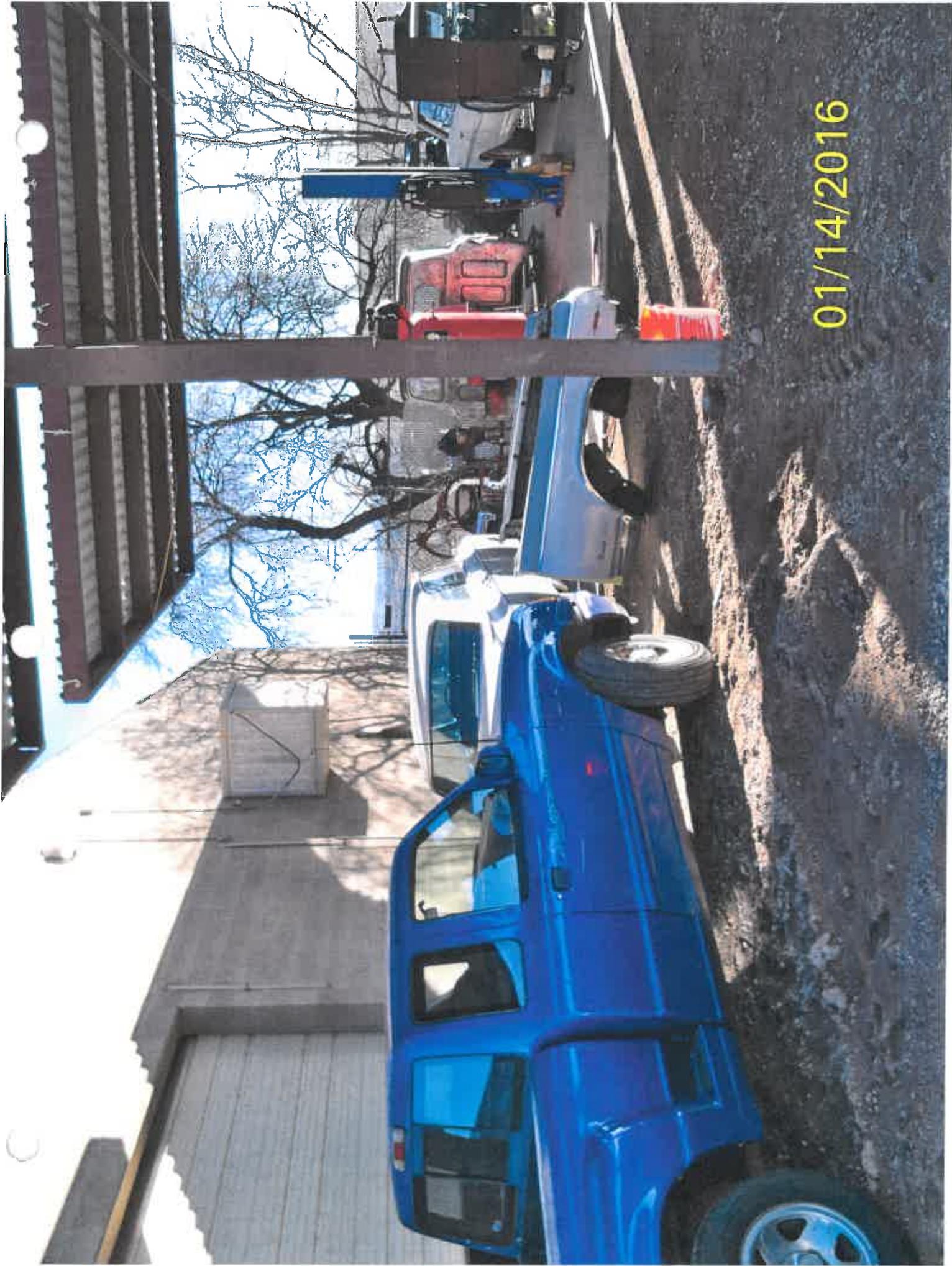
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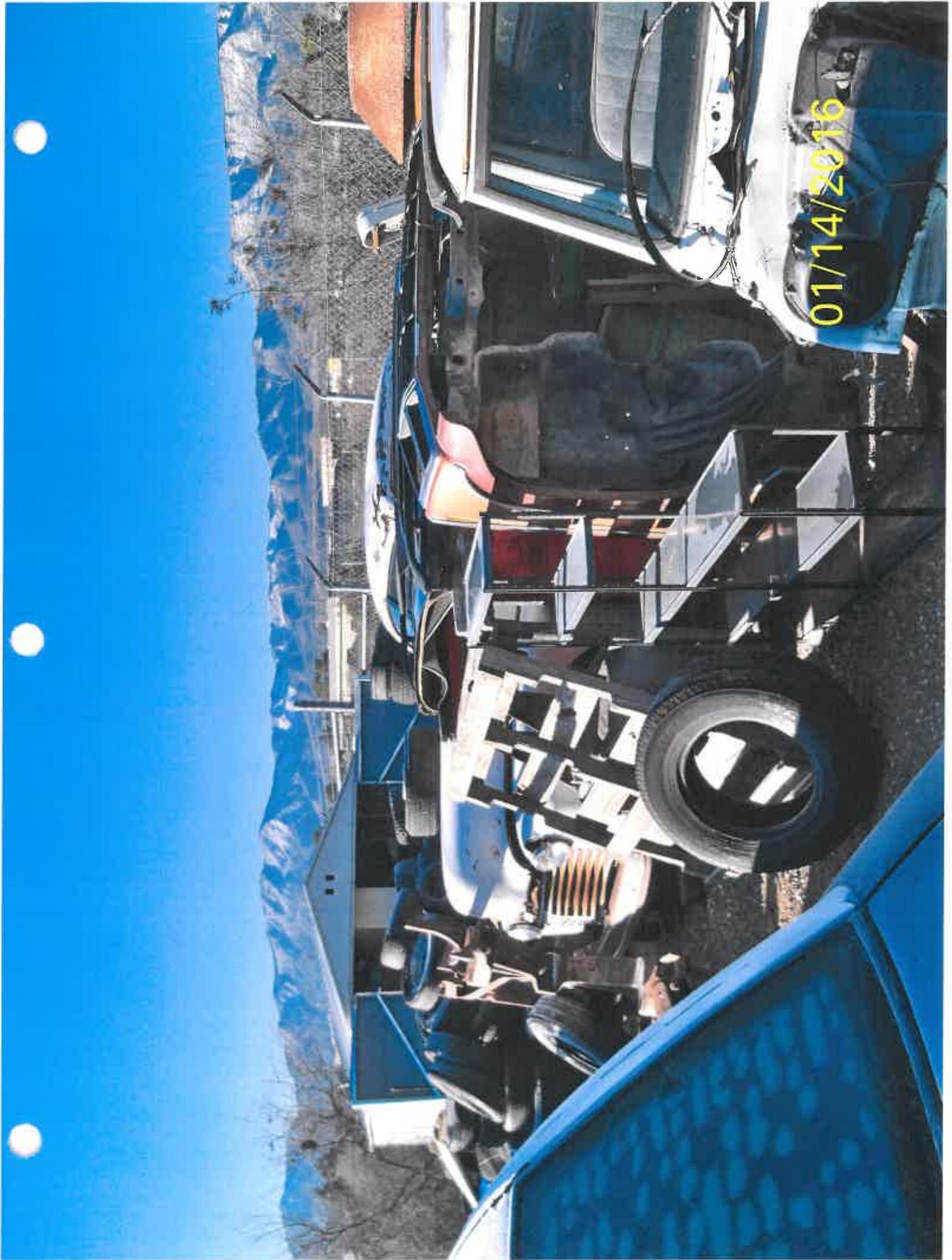
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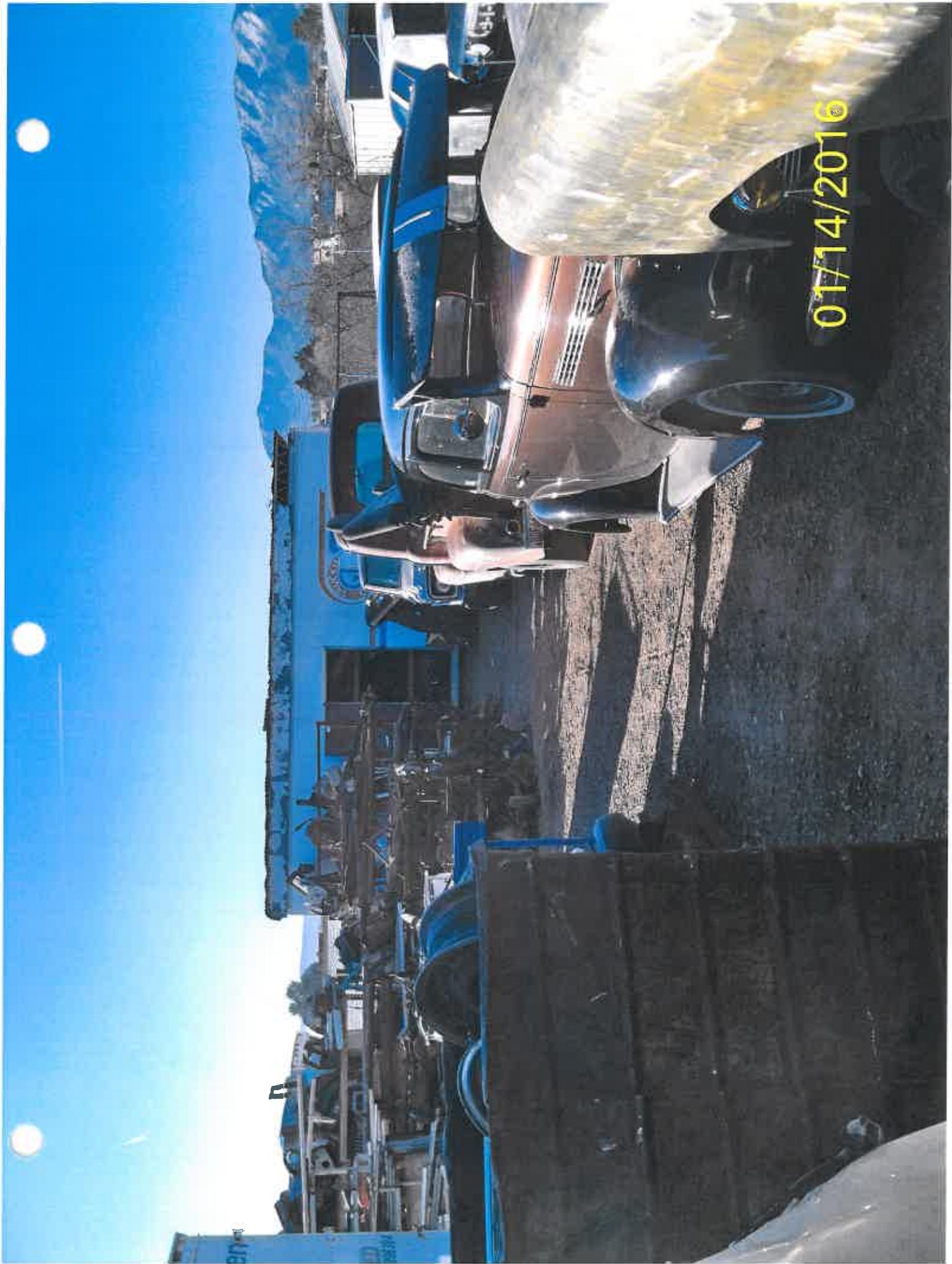


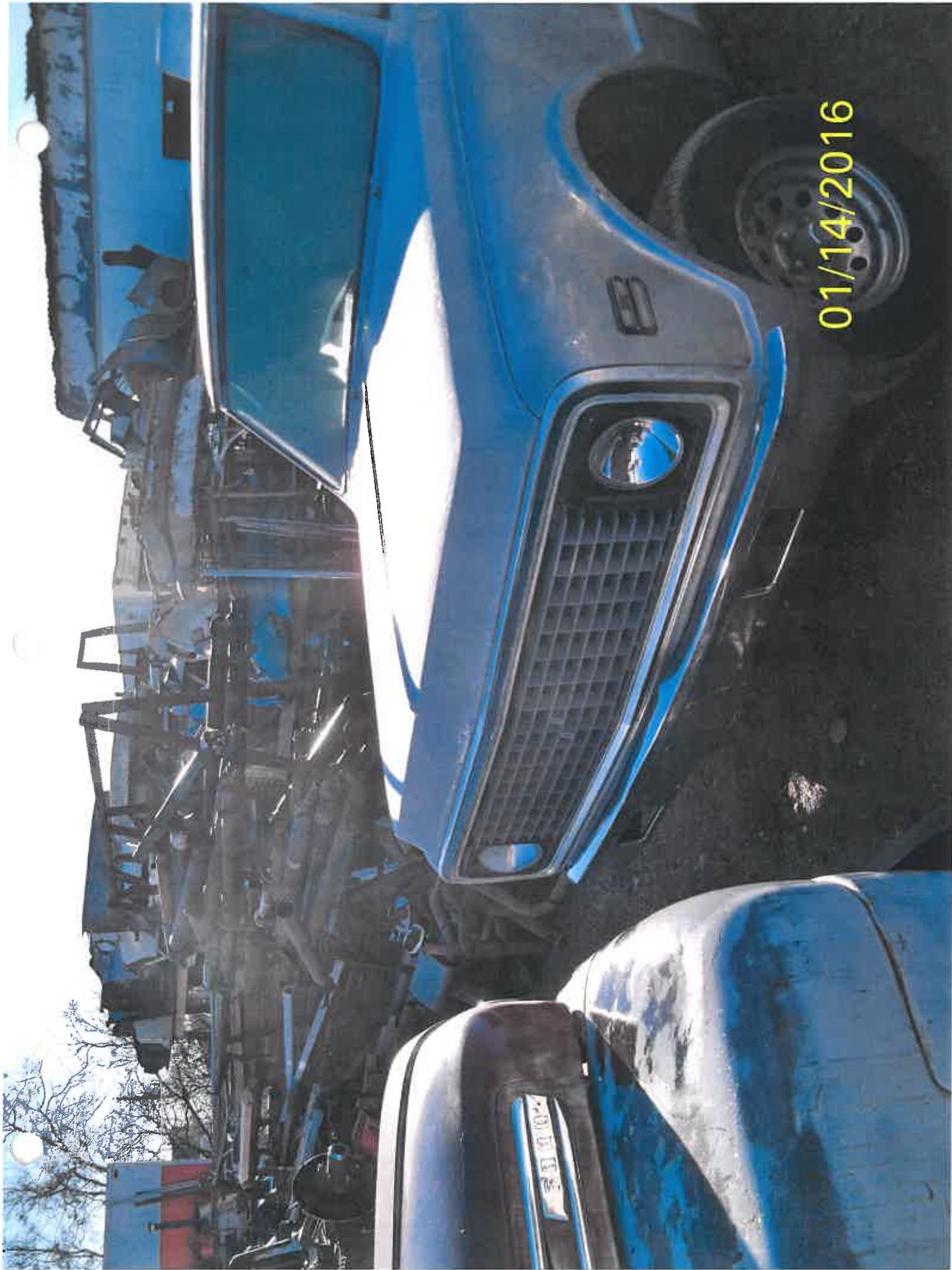


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U-HAUL



01/14/2016

**NEIGHBOR'S
DOCUMENTS**

January 9, 2016

Dear Commission,

My name is Sandra Trautman, my husband Steven and I purchased the Canine Country Club (CCC) in March, 2009. Prior to our offer on the property, we researched the property and the East Cherry Corporate Park's CLR's along with inner city regulations on businesses and junk yards. This information was extremely accessible at the Planning and Zoning Department and in the lobby of the Cottonwood Police Department.

Steven and I believed that we would be protected as property/business owners by the city guidelines and regulations on renters and incoming business being issued Certificate of Occupancy and Business licenses prior to the city code enforcement checking out the area/buildings requirements and use of property.

For the past Seven (7) years my staff and I have worked very hard to improve the property, business and community by giving the clients a sanitary, affordable, professional and safe place to leave their pets for pleasure or emergencies.

Since the Wesies Customs have moved in two (2) years ago we have been continuously bothered with cars burning rubber, loud engines revving, toxic orders and diesel clouds wafting through the property into the air vents which bothers my animals, staff and clients.

My clients ask us how we are doing with a junk yard next door and complain about the smoke and odors coming from their property. This has affected my business, animals and staffs health. I believe that it will affect the value of the property and the business if I choose to sell. Also, my building and property is designed for a kennel and grooming shop only, his business can be located anywhere.

This year was the first year that I have ever had a rodent problem, it is the second year that the junk yard (storage area) has been next door. I approached Bob the owner of Wesies Customs regarding this issue, and his idea of a solution was to poison the rodents, and have non neutered and non-spayed cats running around the property.

Unfortunately, this solution only compounds the problem for my business. When dying, animals usually run for water and what better place to look for water, but the animal hotel next door. If one of my animals were to happen to eat one of the poisoned mice, what would that do to my business and my reputation, how would I tell one of my clients that their pet died due to eating a poisoned rodent?

Every year I pay over \$1,000.00 a year to keep my land clean and clear so not to have any issues. Also this is the first year that my kennel dogs that live on property have gotten fleas this again can't be proven but rodents tend to carry fleas this makes it hard to run a professional business to function properly without using pesticides and other things that could harm my animals and hurts my profits of the business.

Please refer to the attached brochures and Web site or Face Book Wesies Customs. Com and watch the videos so you to may experience firsthand what wonderful neighbors that we have had for the past two years.

So in closing I am asking the Members of this Commission to put yourselves in my place as a property/business owner who belongs to the Chamber of Commerce, donates and contributes to the community and has put seven (7) years of blood sweat and tears along with a half a million dollars of loans and repairs into a business that is barley holding on in this economic disaster. A place that is supposed to be protected by the city and corporate park regulations, wouldn't you too be upset and disheartened after two (2) years of phone calls to the proper city agencies. Still, after two (2) years the business is running an illegal operation in a rented building. If Mr. Wesies license was vetted properly prior to moving in to a designated area and proper channels were followed, maybe my business wouldn't be suffering and relations between neighbors unbroken.

I am asking the Commission to help me fix this error and have the building code process begin from the beginning like everyone in the corporate park had to and does comply with. I would like to thank you for your attention to this matter and ask you to refer to Robbie from ABC Auto statement.

See attached



Sandra Trautman

Maintenance Requirements for Residential Rental Properties

In 2008, the Cottonwood City Council adopted a local ordinance regarding basic health and safety requirements for residential rental properties. The regulations require minimum standards for public health and safety and apply to both interior and exterior conditions of rental properties.

1. At the request of either the landlord or the tenant, authorized City officials may enter upon a rental property to inspect the interior and exterior conditions of the structure.
2. Landlords and property owners will be contacted by the City regarding unsafe and dangerous conditions identified.
3. Regulations are intended to ensure unsafe, unhealthy or dangerous conditions are removed or fixed.
4. Regulations apply to basic structural conditions of the building, as well as electrical, plumbing, mechanical, lighting, ventilation, heating and cooling, sanitation and fire safety.
5. Regulations do not apply to personal property or personal conditions within the structure.
6. The rental maintenance code applies to exterior conditions of the structure, such as walls, windows and roof. Exterior conditions of the property, including storage of junk, inoperable vehicles or excessive weeds are also subject to property nuisance codes which have been in effect many years.

See: Arizona Revised Statutes, Title 9, Chapter 12 (ARS § 9-1301), "Residential Rental Property Inspection Programs."



City Codes and Ordinances

Information regarding property maintenance regulations can be found in the Cottonwood Municipal Code and Zoning Ordinance.

City of Cottonwood website:
www.ci.cottonwood.az.us

Summary of Key Regulations

- Outdoor storage must be screened behind an approved six foot fence in the rear portion of lot.
- Remove junk automobiles or inoperable vehicles from front yard or areas of property visible from the street or adjacent properties. No more than two (2) such vehicles may be stored in the rear of yard behind approved fence or screening.
- Maintain landscaping. Remove all dead plants. Cut back all grass and weeds on property to help control fire hazard and unsightly conditions.
- Storage or accumulation of junk, trash, construction debris, discarded appliances, old furniture, household waste, landscape cuttings and similar materials is not permitted and is considered a violation of the "public nuisance" section of the Cottonwood Municipal Code.

City of
Cottonwood

Outdoor Storage, Weeds, Junk, Inoperable Autos



**Property Maintenance
Program**

For more information, please contact:
Community Development Department

Phone: (928) 634-5505

Address: 111 North Main Street
Cottonwood, AZ 86326

Web: www.ci.cottonwood.az.us

Outdoor Storage

Outdoor storage shall not be allowed in the required front yard of a lot with the exception of authorized automobiles, trailers, motorcycles, mobile homes, boats, motor homes, growing plants, nursery stock, Christmas trees, service stations displaying new automotive and related merchandise and landscaping items. Where allowed, outdoor storage shall be screened by a six (6) foot high solid masonry wall or a fence or screening of a height and material as allowed, or as required by the Planning and Zoning Commission. Requirements for storage of vehicles, trailers, outdoor retail or automobiles sales are addressed through other regulations. (*Zoning Ordinance Section 404. L Outdoor Storage*)

Trash Collection

Residential properties that are occupied by the owner are required to ensure proper removal of household garbage. The landlord or owners of Residential Rental properties are required to provide or cause to provide authorized trash collection for all residential rental units in the City of Cottonwood. Failure of the Landlord to provide, or cause to provide, trash collection for all rental units shall be a violation of the Cottonwood Municipal Code Title 8, and shall be subject to enforcement as necessary for compliance.

Weeds, Junk and Trash

Weeds and grasses. All premises shall be maintained so that grasses or weeds do not appear as uncontrolled growth lacking maintenance, or consist primarily of dead or damaged materials, or be of sufficient height to be deemed a fire hazard. This section shall not pertain to cultivated flowers and gardens.

All premises shall be kept free from dry bushes, trees, tumbleweeds or other vegetation which create a blighted condition, which may harbor insect or rodent infestations, or which is likely to become a fire hazard or result in a condition which may threaten the health, safety or welfare of the occupants or any adjacent property owners.

Junk, Trash, Debris. A "Public Nuisance" is defined in the Cottonwood Municipal Code as the existence of a dilapidated building or an accumulation of junk, trash, debris, rubbish, weeds, or other accumulations of material which constitute a hazard to public health and safety.

It is considered a violation of the Municipal Code when a landlord or tenant shall have created or allows such condition to remain on their property or adjacent streets, alleys or sidewalks.

All such junk, trash, debris, rubbish, weeds, filth or other accumulations of material that is considered a public nuisance or hazard to public safety must be removed and cleaned up or the owner or tenant may be subject to enforcement actions by the City. (*From the Cottonwood Municipal Code, Title 8, Health and Safety*)

Inoperable Vehicles

No more than 2 junk automobiles may be stored between the rear of the main structure and the rear lot line and shall not be visible from any public street. In no case shall junk automobiles be stored on a lot, tract or parcel unless screened from view from any public street by a screened fence in accordance with the screened fencing provisions of the Zoning Code pertaining to height and materials. (Permit required for new fence. Six foot maximum height for rear and side yards in most cases. Contact the Planning Division for more information.) No more than two (2) junk automobiles shall be stored on any lot, tract or parcel unless authorized by Conditional Use Permit granted by the Planning and Zoning Commission. (*Zoning Ordinance Section 404. L Junk Automobiles*)

Storage and Parking of Mobile Homes and Trailers

Mobile homes, house trailers, commercial trailers, boat trailers, campers or travel trailers shall not be stored, parked, or located in any zone other than as listed in the zone regulations or as otherwise provided herein, except that the storage of one (1) boat trailer and not more than one (1) uninhabited camper or uninhabited travel trailer shall be allowed for each residence. Such vehicles may not be located in the front yard of a residence. Exceptions allowed for construction trailers and security trailers for approved building projects during construction phase.

NOISE PROCEDURES

Responsible parties. Any contractor, subcontractor, tradesman, materials supplier, owner, or bona fide representative or employee who is present at the job site at the time of a violation of operating outside of authorized time periods will be held responsible.

Emergency exceptions. For cases of urgent necessity or emergency work which are in the interest of public health, safety and welfare, the Building Official may grant an exception for the hours of operation of construction activity. The permit may be granted for a period not to exceed thirty (30) days or less while the emergency exists and may be renewed for periods of thirty (30) days or less while the emergency continues.

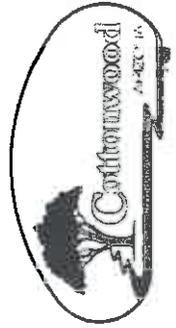
Noise resulting from emergencies, including but not limited to, repair of roofs, windows, doors, electrical, plumbing and mechanical (HVAC) shall be permitted whenever necessary. An emergency shall be defined as any situation where work must be performed in order to prevent serious injury to persons or property.

Stop orders. Whenever any work on a construction project is in violation of the provisions of this section, the Building Official may order the construction project stopped by notice in writing served on any persons responsible for the project, and any such persons shall forthwith stop work on the project

Exemptions. The following noises shall be exempt from the provisions of this section:

Official City activities. Any noise created by City of Cottonwood vehicles, equipment or facilities while being operated for necessary public business.

Official night time work. Excavations or repairs of bridges, streets or highways by or on behalf of the City or the State, at night, when the public welfare and convenience renders it disruptive or inconvenient to perform such work during the day.



City of
Cottonwood

NOISE REGULATIONS for Construction Activity

*Ordinance 547 amending Cottonwood Municipal Code,
Section 9.12.010 Noise Regulations, Adopted by the
Cottonwood City Council 3-17-2009*



**Construction
Noise Regulations**

For more information, please contact:
Community Development Department

Phone: (928) 634-5505

Address: 111 North Main Street
Cottonwood, AZ 86326

Web: www.ci.cottonwood.az.us

Residential zone construction activities. It shall be unlawful for any person within a residential zone or within a radius of five hundred feet (500') therefrom to operate construction, demolition, or excavation equipment; perform any outside construction or repair work on buildings, structures, or projects; or use any industrial power tools or landscaping and yard maintenance equipment, or operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or any other construction-type device in order to erect (including excavate), demolish, alter, or repair any building, street, or highway excluding emergency work, other than during the following time periods, unless allowed by this ordinance, as follows:

- Prior to **6:00 A.M.** and after **7:00 P.M.**
Monday through Friday from the first day of May through the first day of October.
- Prior to **7:00 A.M.** and after **7:00 P.M.**
Monday through Friday during the remainder of the year.
- Prior to **7:00 A.M.** and after **5:00 P.M.**
on Saturdays, Sundays and Legal Holidays throughout the year.

See: *Cottonwood Municipal Code, Section 9.12.010 Noise Regulations*

Non-residential construction activities. Except where restricted by this Ordinance, it shall be unlawful for any person within a non-residential zone to operate construction, demolition, or excavation equipment; perform any outside construction or repair work on buildings, structures, or projects; or use any industrial power tools or landscaping and yard maintenance equipment, or operate any pile driver, power shovel, pneumatic hammer, derrick, power hoist, or any other construction-type device in order to erect (including excavate), demolish, alter, or repair any building, street, or highway excluding emergency work, other than during the following time periods, unless allowed by this ordinance, as follows:

- Prior to **5:00 A.M.** and after **7:00 P.M.**
Monday through Friday from the first day of May through the first day of October.
- Prior to **6:00 A.M.** and after **7:00 P.M.**
Monday through Friday during the remainder of the year.
- Prior to **7:00 A.M.** and after **5:00 P.M.**
on Saturdays, Sundays and Legal Holidays throughout the year.

Permanent exceptions: If the Building Official should determine that the public health, safety and welfare will not be impaired by the erection, demolition, alteration, or repair (including excavation) of any building or the excavation of streets and highways at such times other than allowed by this ordinance, the Building Official may grant permission for such work to be done at times other than those permitted by this Ordinance upon application being made in writing at the time the permit for the work is awarded or during the progress of the work and such work may continue through the authorization of the construction permit provided there are no complaints from neighboring properties or the general public at which time said exception to the hours of operation will be reconsidered and may be revoked.

Mufflers. All engine driven equipment or motorized equipment used in construction and demolition activity shall be operated with a muffler. Construction tools or equipment shall be in good working condition and shall be operated properly according to the manufacturers' instructions and applicable federal and state regulations.

Robbie (928) 301-2434

(SAUDY)
(STEVE)

WESIE'S CUSTOMS

STATE OF ARIZONA, County of Yavapai—
I do hereby certify that the within instrument was filed and recorded at the request of Town of Cottonwood
on JUN 30 2000 11 50 AM o'clock Book 1275 Official Records Page 575-576-577
Records of Yavapai County, Arizona. WITNESS my hand and official seal the day and year first above written.

Wanda West Deputy
JENNIE County Recorder

CHERRY PARK DEED RESTRICTIONS

1. No operations shall emit noises which exceed levels established by appropriate authorities.
2. No operations of a nature which pollutes the environment shall be allowed.
3. No auto wrecking yards will be allowed.
4. No toxic or explosive materials which would endanger neighboring areas shall be used.
5. Construction shall be of new materials and no used buildings may be moved into the Park.
6. No mobile homes or mobile offices shall be located within the park.
7. Outdoor storage of raw materials, finished products or merchandise held for sale shall be allowed only within areas shielded by solid walls or fences, except limited front display areas may be allowed.
8. Fences and walls shall be constructed to observe the same setbacks as buildings except that fences or walls for architectural effect or traffic control may extend beyond the front of the building provided said fence or wall does not exceed three feet in height.
9. Walls and fences constructed to shield materials referred to in Covenant No. 7 shall be no less than six feet in height and no materials shall be stacked higher than the property fence.
10. Front of buildings shall be kept in good repair and maintained in such a way as to present an attractive appearance.
11. No accumulations of trash, debris or junk, including but not limited to junk cars, shall be allowed in view.
12. No easements through lots to properties outside Cherry Park shall be allowed without express written consent of the developers.
13. Building setbacks shall conform with Town of Cottonwood requirements.
14. Front parking areas shall be surfaced and dust free.



BOOK 1275 PAGE 575

15. All purchasers of lots along Cherry Street shall be entitled to a sign, design, position and size of which shall be prescribed by developers within the parameters of the Town of Cottonwood's sign ordinance, at the corner of Cherry Street and Main Street. Signing shall be at the expense of the lot owner.

16. Plans for building of any type shall be approved in writing by the architectural committee consisting of Dan F. Mabery, Doug Bergsma and Charles F. Mabery. Successors to members of the initial committee shall be named by members of the initial committee until such time as the developers determine otherwise.

17. In order to establish and maintain an attractive appearance, landscaping shall be established along the street frontage of each lot in the area lying between the curb (or sidewalk) and any buildings or loading and parking areas except for necessary driveways which shall be well defined.

All area within ten feet of the curb must be landscaped. No less than ten shrubs or trees of which at least three must be fifteen gallon size or larger shall be used in landscaping. No trees or shrubs, new or existing, over four feet in height shall be allowed within 20 feet of a front driveway. Any existing plants on the property at the time of original purchase which are retained by the buyer shall be trimmed and maintained.

18. Access drives on lots facing Cherry Street shall be well defined by landscaping borders. Driveways shall begin no closer to side lot lines than five feet and shall be no wider than 30 feet. Should more than one access driveway be established on the same lot, there shall be a minimum of five feet between them.

19. For purposes of garbage and trash pickup and emergency access to the rear of each lot, a 12-foot access shall be left vacant and unobstructed from front and back according to the following schedule:

- 1) Along the easterly boundary of Lot 9.
- 2) Along the easterly boundary of Lot 5.
- 3) Along the easterly boundary of Lot 3.
- 4) Along the westerly boundary of Lot 2.

These access designations may be altered in the event of lots being combined, with consent of the developers, but will revert to conformation of the above restrictions at such time as the lots are returned to use as originally platted.

MS 1275 MS 576

20. It is understood these covenants are drawn primarily for lots fronting on Cherry Street and that there may be some variations from these restrictions on lots fronting Main Street. Variations which do not detract from Cherry Park or adjoining properties may be negotiated with the developers.

Violators of these covenants shall be brought into compliance through whatever force of law, including injunctive action, may be required. If such effort to force compliance requires court action, violators shall be liable for attorney fees, court costs and any other expenses incurred in effecting compliance. Such action against violators may be initiated by the developers or any other owners of Cherry Park properties.

DATED: January 30, 1980

Ben F. Mabery President
WACI MAGANN CORPORATION

STATE OF ARIZONA)
COUNTY OF YAVAPAI) ss:

This instrument was acknowledged before me, Linda S. Weeden, this 30th day of January, 1980 by Ben F. Mabery, President of WACI MAGANN CORPORATION.

In witness whereof I have hereunto set my hand and official seal.



Linda S. Weeden
NOTARY PUBLIC

BOOK 1275 PAGE 577

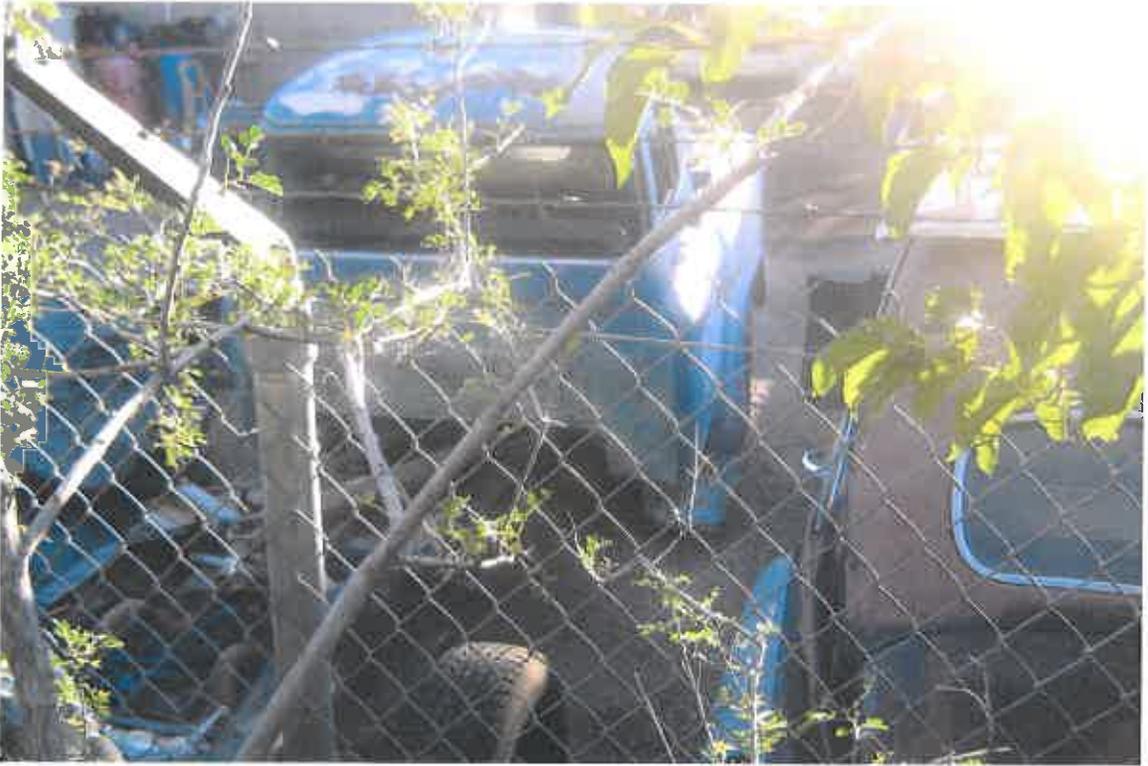






























STAFF MEMO

TO: Planning and Zoning Commission

FROM: Tyler Roberts, Assistant Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: February 22, 2016

PROJECT NUMBER: **PCU 16-005 VetraPlex**

The applicant is requesting approval of a Conditional Use Permit to allow a residential use inside an existing building. The proposed site is located at 125 South 6th Street, which is zoned C-1 (Light Commercial).

PROJECT DATA AND FACTS:

Applicant	Gary Rideout
Property Owner	VetraPlex, LLC
Location of Property	125 South 6th Street
Present Zoning and Land Use	C-1 (Light Commercial) – Office space for VetraPlex, LLC
Description of Applicant's Request	Allow residential housing within an existing building.

LAND USE:

Description and Character of Surrounding Area
The site is on the east side of South 6th Street, between 89A and Mingus Ave. The property is surrounded by apartments, vacant land, and public/community buildings including the Cottonwood Library, Recreation Center, and Public Safety Building.

Adjacent Land Uses and Zoning	
North:	C-1 – Light Commercial – Apartments
South:	R-3 – Multiple Family Residential – Public Safety Building
East:	R-3 – Multiple Family Residential – Vacant land which is part of the Public Safety Building’s parcel.
West: (across 6th Street)	R-1 – Single Family Residential – Cottonwood Library

PROJECT PROPOSAL:

Background:

There is only one building located on the site. It is currently used as office space for VetraPlex, LLC. VetraPlex is a licensed general contractor that hires veterans by providing handyman, landscaping, construction and moving services. The applicant would like to provide temporary housing to homeless veterans.

Parking:

Adequate parking already exists to accommodate the use as proposed. A total number of 19 spaces will be available.

Lighting:

No lighting changes are proposed.

Signage:

The applicant does not propose to have any signage at this time.

Access:

Two driveway entrances exist on the property allowing access off South 6th Street.

Landscape Plans:

No landscape plan has been submitted.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on January 5th, 2016 and the applicant will need to meet all requirements as indicated.

REQUIRED FINDINGS:

General Findings:

The current zoning of C-1 (Light Commercial) allows residences, subject to R-3 standards, given that a Conditional Use Permit is obtained. The use will not be detrimental to the health, safety, and well-being of surrounding properties.

Compatibility with Surrounding Uses:

The proposed use of this building would be compatible with the mixture of surrounding uses in the area, including public facilities, office spaces, and apartments.

Traffic and Circulation:

There are not any traffic or circulation issues associated with this project or property. The existing road is adequate to handle the traffic generated by this business.

Nuisance Activities:

No nuisance activities have been identified at this location for the existing or proposed use.

Buffering and Screening:

The use requested by this permit does not create the need for additional screening.

Staff Review:

Staff has reviewed this project and finds the activity is permitted, with the need to obtain a Conditional Use Permit for residential use. If approved, staff recommends the following stipulations:

1. That the project conforms to Code Review Board comments dated January 8, 2016.
2. The conditions of approval shall be completed by _____ months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.



vets4hire

RESIDENTIAL & COMMERCIAL SERVICES

January 26, 2016

City of Cottonwood
Letter of Intent

Re: Parcel #406-42-223A/125 S. 6th Street

We are the Vetraplex Vets4Hire. Owner – Gary Rideout. We are a licensed general contractor and a socially conscience company that hires Veterans to provide employment and income by providing handyman, landscaping, construction and moving services. Both residential and commercial.

We have recently purchased the property which is 3118 sf single story building. It was originally used as a charter school and was somewhat split in to 7 suites for classrooms. It has 2 separate outside entrance baths with toilet and sink/vanity and one inside bath with toilet and sink/vanity only. We have remodeled and are currently using approximately 700 sf as our business office space. For the remaining space we plan to create 2 full inside baths and a community kitchen/dining room along with 4 bedrooms as living space for the purpose of transitional housing for homeless Veterans. One additional outside entrance suite/room will be used for emergency short term shelter for anyone in need. Finally, one suite will be used for job training, computer use and meetings.

Regarding Conditional Use permits, Zone Changes and General Plan Amendment issues; This property is appropriate for the proposed use as it is located within a block of, as well as directly adjacent to 4+ apartment complexes. It is also directly across the street from public transit, the public library and Rec Center as well as County Medical Services.

Phase 1 will be remodeling to complete the interior community kitchen/dining area as well as the 2 interior full baths. The projected date for completion is July 1, 2016.

Phase 2 will be completing the outside improvements to the building including making all entrances and exits ADA compliant. The projected date for completion is July 1, 2016.

Phase 3 will be remodeling to complete the 4 separate sleeping/living quarters and hallways as well as the emergency shelter room, and the training/meeting room. The projected date of completion is July 1, 2016.

Thank you for your consideration of this worthy project.

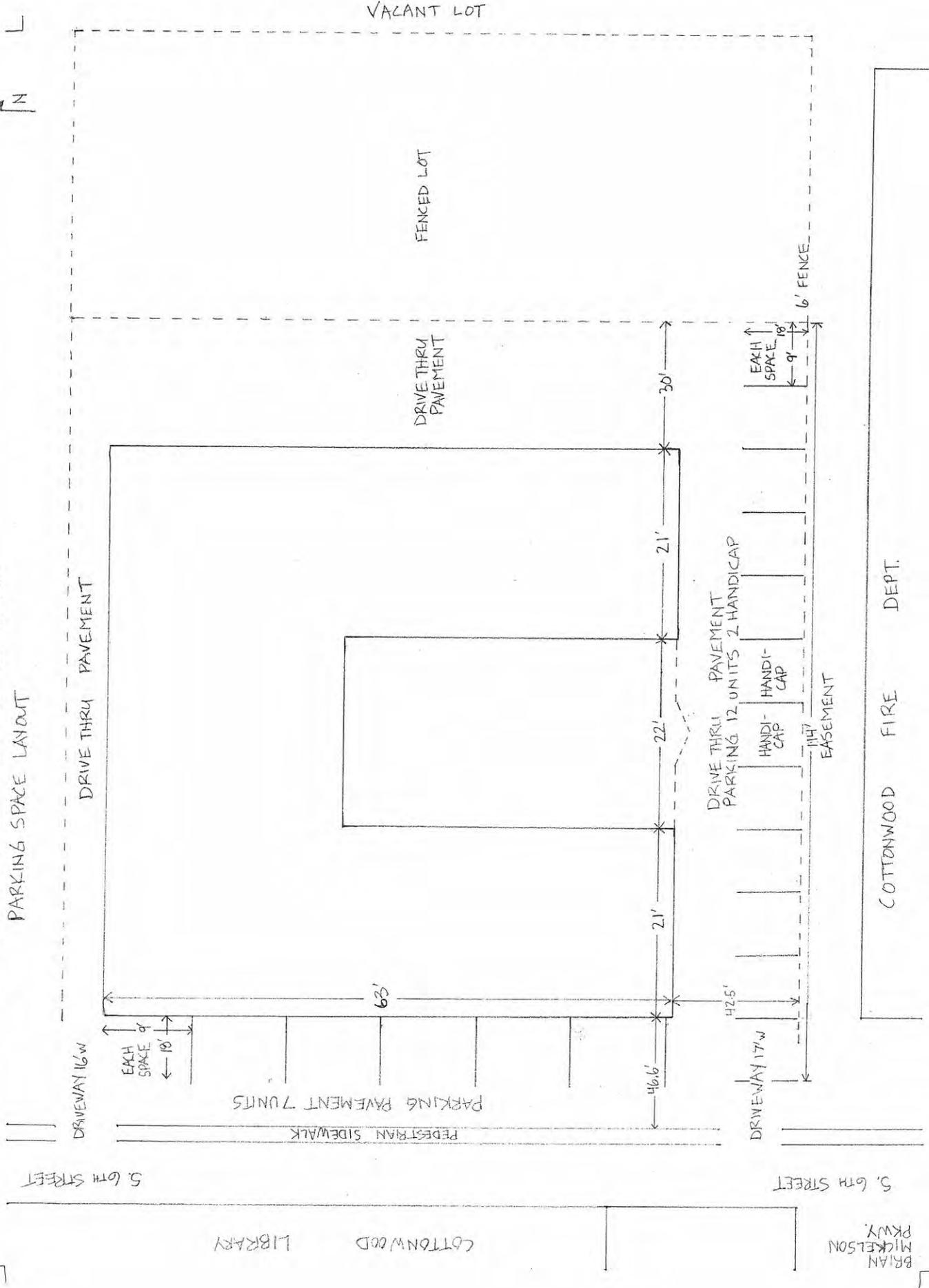


Gary Rideout
Owner, Vetraplex Vets4Hire
gary@vetraplex.org

26-01-16 P04:07 IN

27-01-16 P04:29 IN

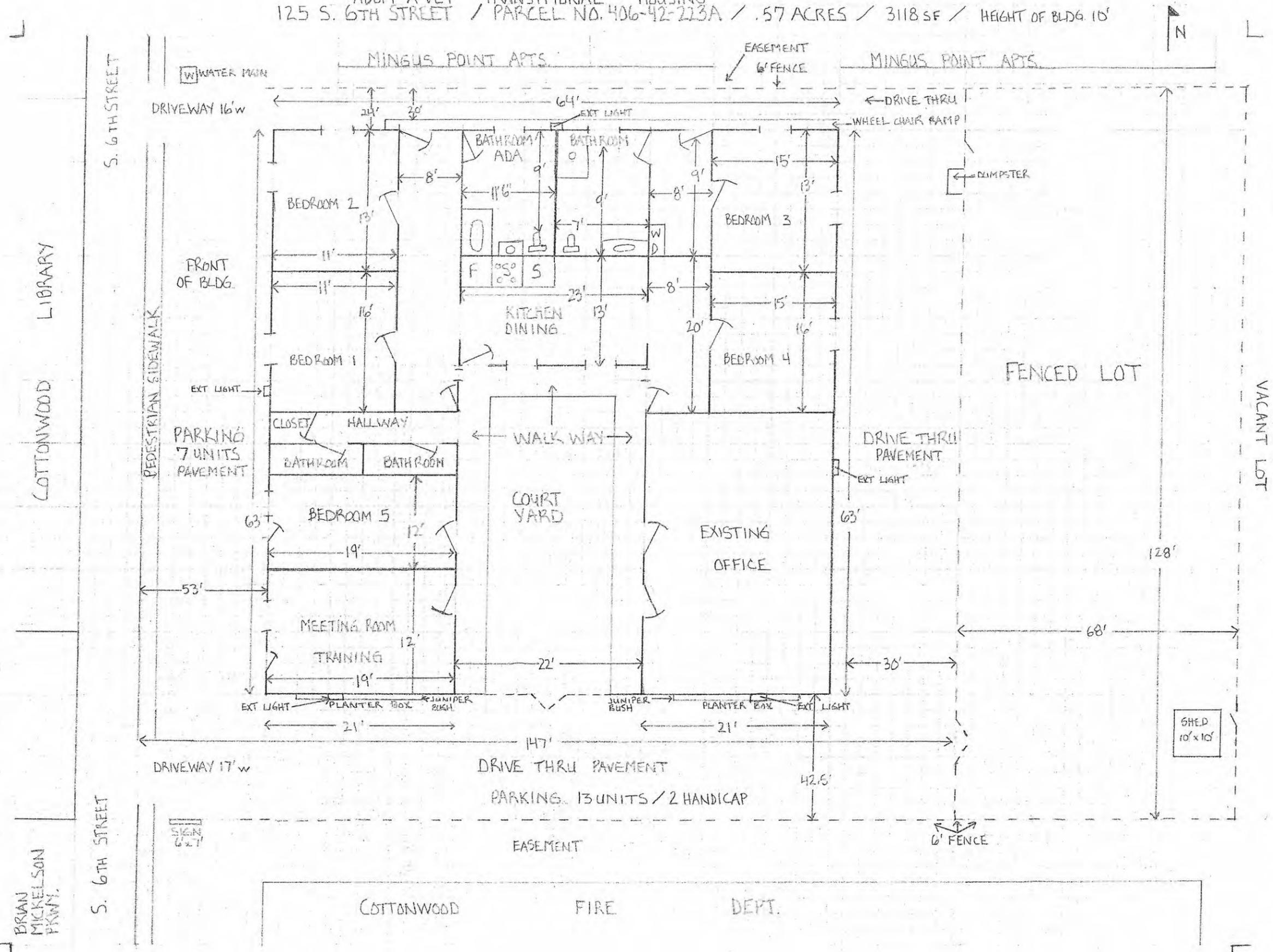
ADOPT A VET TRANSITIONAL HOUSING
125 S. 6TH STREET / PARCEL NO. H06-42-223A
PARKING SPACE LAYOUT



OWNER: GARY RIDEOUT P.O. BOX 1488 COTTONWOOD 928-284-2027

REVISION JAN 27 2016

ADOPT A VET TRANSITIONAL HOUSING
 125 S. 6TH STREET / PARCEL NO. 406-42-223A / .57 ACRES / 3118 SF / HEIGHT OF BLDG. 10'



OWNER: GARY RIDEOUT P.O. BOX 1488 COTTONWOOD 928-294-2022

REVISION JAN 25 2016

PPU18-8
PPU18-8

PPU18-8

Exterior
WALLS

Painter's White
PPU18-8^U



PPU18-11

Exterior
WALLS
TRIM

Ginsac Silver
PPU18-11^U



PPU18-19

Exterior
DOORS

Intellectual
PPU18-19^U





Project: ADAPT A VET TRANSITIONAL HOUSING Date: 1/26/16
 Site Address: 125 S. 6th St Cottonwood, AZ 86326
 Project Coordinator: Gary Rideout Phone: 908-284-2022

Lumen Calculation Sheet

Cottonwood Zoning Ordinance (Sec. 408), "Outdoor Lighting Code"

The information below is accurate (to be signed by Project Coordinator): Gary Rideout

PLEASE ATTACHE THE FOLLOWING:

- Photometric data sheets or manufacturer's product description for all "S" type (shielded) fixture combinations showing photometric description to verify upward light control characteristics, All other fixtures will be considered unshielded, or "U" class luminaries. Mercury vapor lamps are prohibited.
- Site plan indicating placement of each fixture.

SITE ACREAGE = 0.57
 LESS ACRES FOR RIGHTS-OF-WAY _____
 NET ACRES = 0.57
 SITE MAXIMUM FOR UNSHIELDED LUMEN [X 5,500]
 SITE MAXIMUM FOR ALL LUMEN [X 100,000]

LIGHTING INVENTORY

List information below for each fixture to be used for outdoor illumination (existing and proposed). Use the following Abbreviations:
 Lamp type: **S** Shielded
U Unshielded
 See "Definitions" under Sec. 408 for clarification regarding shielding.

LPS Low Press Sodium
 HPS High Press Sodium
 MH Metal Halide
 HL Halogen
 IN Incandescent
 FL Fluorescent

FIXTURE REFERENCE NUMBER (from attached site plan) AND USE/PURPOSE	CANOPY SIZE (if applicable)*	LAMP TYPE & SHIELDING	WATTS	MANUFACTURER'S MODEL AND CATALOG NO. (for shielded fixtures)	INITIAL LUMEN (see reverse)	QTY. UNITS	SUB-TOTALS		TOTALS*		
							S LUMEN	U LUMEN			
1 Exterior Light		Full	100	Hampton Bay	1500	1	7500		7500		
2 Exterior Light		Full	100	"	1500	1	1500				
3 Exterior Light		Full	100	"	1500	1	1500				
4 Exterior Light		Full	100	"	1500	1	1500				
5 Exterior Light		Full	100	"	1500	1	1500				
							5	7500		7500	
GRAND TOTALS											7500

*Gas St. Canopies: All fixtures to be flush mounted. Lumen SUBTOTALS not to exceed 40 lumen/sq. ft. Lumen TOTALS to be divided by 2 (count only 50%)

Ball fields and outdoor display areas which exceed 100,000 lumen per acre: I hereby certify that lighting associated with related facilities described above is no greater than minimum luminance levels for the activity recommended by the IESNA.

Staff Review

Approved By: _____
 Date: _____
 Sheet _____ of _____

Signature of Lighting Engineer _____
 Arizona Registrar's No. _____

hire
84-2022

lets hire
928-284-2022

02/05/2016 11:13





vets hire
AGRICULTURE & COMMERCIAL SERVICES
928-284-2022

vets hire
928-284-2022

NO PARKING
ANYTIME

02/05/2016 11:13



vets hire
928-284-2022

02/05/2016 11:13



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vets hire
MILITARY & VETERAN EMPLOYMENT
928-284-2022
www.vets-hire.com

02/05/2016 11:14

RESIDENTIAL & COMMERCIAL SERVICES

928-284-2022

Vetworks/dba/Vetraplex-Vets 4 Hire ROC-289693/296010

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02/05/2016 11:14



02/05/2016 11:15



COTTONWOOD
PUBLIC LIBRARY

02/05/2016 11:15



02/05/2016 11:15



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Charlie Scully, Planner

THROUGH: Berrin Nejad, Community Development Manager

HEARING DATE: February 22, 2016

PROJECT NUMBER: PCU 16-00 **Maverik Rebuild**

Approval of a Conditional Use Permit is requested to allow the new convenience store and redesigned fuel pump islands to locate on a portion of the expanded site plan zoned C-1 (Light Commercial.) The proposed site is located on State Route 89A south of W. Mingus Avenue, and south of the existing Maverik gas station and convenience store. The existing 3-parcel corner development was zoned C-2 (Heavy Commercial) in 1996 to accommodate the Maverik development. The 30,000 square foot parcel to the south that will be incorporated into the redevelopment of the site is currently zoned C-1 (Light Commercial)

PROJECT DATA AND FACTS:

Applicant/Agent	Elizabeth Hunt, Maverik
Property Owner	Maverik Country Stores, Inc.
Location of Property	690 W. State Route 89A State Route 89A southeast of W. Mingus Avenue
Present Zoning and Land Use	C-2 (Heavy Commercial) Existing gas station and store. C-1 (Light Commercial) vacant parcel
Description of Applicant’s Request	To expand and redevelop existing gas station and convenience store.

LAND USE:

Description and Character of Surrounding Area
Existing Maverik gas station and convenience store to be redeveloped with new larger convenience store and redesigned fuel dispenser layout with new canopy. Vacant parcels to the north and south. Medical offices and retail to the east. Retail and industrial to the west across state highway.

Adjacent Land Uses and Zoning	
North:	C-2 (Heavy Commercial) – current Maverik gas station and store; and vacant C-1 (Light Commercial) to the north of Mingus Ave.
South:	C-1 (Light Commercial) – vacant land.
East:	C-1 (Light Commercial) – Spectrum Healthcare; and retail on Mingus Ave.
West:	C-2 - Heavy Commercial – Tractor Supply Store and I-2 Industrial business park off Justin Drive.

PROJECT PROPOSAL:

Zoning Background:

The applicant, Maverik Country Stores, started the process in early November 2015 to obtain approval for the expansion of the current location at State Route 89A and W. Mingus Avenue so as to redevelop the site with a new, larger convenience store and reconfigured site layout. The process has included obtaining a portion of the adjacent property fronting on SR 89A from the Verde Valley Medical Center to accommodate the proposed site plan. A Lot Line Adjustment was completed to create a 30,000 square foot parcel, approximately 150 feet in width and just over 200 feet in depth.

For many years, the City Zoning map had incorrectly shown the corner property (three parcels) zoned as C-1 (Light Commercial.) Ordinance 335 was approved by the City Council on June 18, 1996, rezoning the corner property from C-1 (Light Commercial) to C-2 (Heavy Commercial) to allow development of a “Mini-Mart and Gas Station.” The existing Maverik Country Store and gas station was then constructed in 1997. The zoning error may have been on the Zoning map since 1996.

The existing C-2 Zone property on the corner allows a “gas service station” and retail store as a Permitted Use by right. The proposal to redevelop the site and construct a new upgraded store on a portion of the adjacent C-1 Zone property can be considered through the Conditional Use Permit process.

Parking:

38 parking spaces are proposed, which exceeds the calculations for the retail store usable area, gas pumps and employee parking.

Lighting:

Exterior lighting for the store, fuel area canopy and general site lighting will be in conformance with city dark sky lighting ordinance.

Signage:

Signage will be addressed through the Design Review process. The existing monument sign will be moved south closer to the relocated driveway. New building wall sign is shown.

Landscape Plans:

Landscaping will be addressed through the Design Review process. The new building, parking areas and expanded street frontage will have new drought-tolerant landscaping.

Access/Driveway:

Existing access from Mingus Avenue will remain. The applicant has proposed relocating the access from SR 89A to the south to accommodate the redeveloped site plan. Arizona Department of Transportation (ADOT) will need to approve relocated access plans from the state highway and Public Works will approve the design to City standards.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the CRB (Code Review Board) on November 17, 2015. The applicant will need to meet all code requirements, as indicated.

REQUIRED FINDINGS:

A Conditional Use Permit shall only be granted if the approving body determines that the project conforms to the required findings in this Section. (*Zoning Ordinance, Section 302.*) If it is determined that it is not possible to confirm the required findings for the proposed CUP, whether as submitted or through conditions that may be required, the application shall be denied. The specific basis for any decision shall be established in the record as findings of fact. The following criteria shall be considered as the basis for the findings to approve, approve with conditions or deny the Conditional Use Permit:

General Findings:

The principal use has been established at this location for almost twenty years. The expanded site plan is compatible with surrounding uses and is appropriate for the location at a major arterial highway intersection. The use will not be detrimental to the health, safety and well-being of surrounding properties.

Compatibility with Surroundings Uses:

The gas station and convenience store located on the state highway is compatible with the retail, medical offices, and industrial uses located in the general vicinity.

Traffic and Circulation:

The adjacent arterial roads provide adequate capacity to serve the use. The site is served by sidewalks on adjacent streets and a bicycle rack is also shown on the plan in front of the convenience store.

Infrastructure:

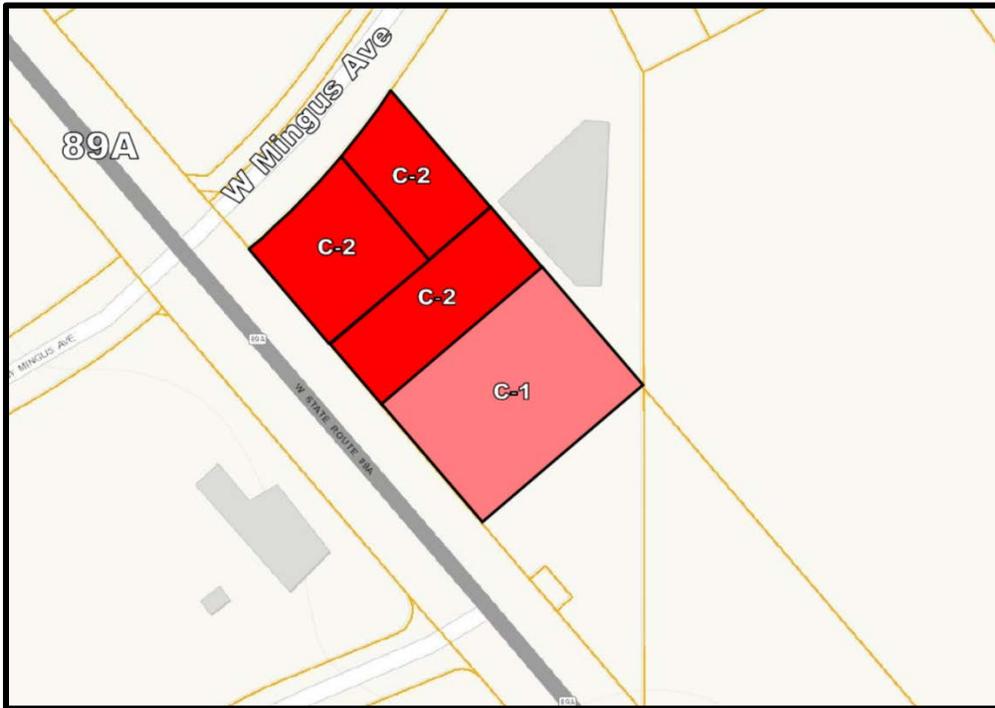
Infrastructure systems are adequate to serve the proposed use.

Nuisance Activities:

No nuisance activities have been identified at this location for the existing or proposed use.

Buffering and Screening:

No additional buffering is required



Stipulations:

A Conditional Use Permit is necessary to accommodate the expansion of the site plan to the adjacent C-1 property. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans submitted for the February 22, 2016 Planning and Zoning Commission meeting, and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated November 17, 2015.
3. That the project conforms to the Design Review requirements as approved separately by the Planning & Zoning Commission.
4. Building Permits shall be applied for by twelve (12) months from the date of approval by the Planning & Zoning Commission or the Conditional Use Permit shall be subject to revocation procedures.
5. A Certificate of Zoning Compliance documenting the completion of Conditional Use Permit conditions shall be issued prior to the Certificate of Occupancy.
6. Any other stipulations the Planning & Zoning Commission deems necessary.



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MAVERIK

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690

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2/25/16

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STAFF REPORT

TO: Planning and Zoning Commission

FROM: Charlie Scully, Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: February 22, 2016

PROJECT NUMBER: DR 16-003 **Maverik Rebuild**

The applicant is requesting approval of a Design Review application for the construction of a new convenience store with redesigned fuel dispenser layout and a new fuel area canopy. This project was initially reviewed by the Code Review Board on November 17, 2015.

PROJECT DATA AND FACTS:

Applicant/Agent	Todd Meyers, Maverik
Property Owner	Maverik Country Stores, Inc. North Salt Lake, Utah
Location of Property	690 W. State Route 89A SE Corner of SR 89A & Mingus Avenue
Present Zoning and Land Use	C-2 (Heavy Commercial) Maverik Store
Description of Applicant’s Request	Design Review for construction of new convenience store, redesign of fuel pumping stations and new fuel area canopy for the existing Maverik station at State Route 89A.

LAND USE:

Description and Character of Surrounding Area
<p>North: C-1 (Light Commercial) - Vacant.</p> <p>East: C-1 (Light Commercial) – Spectrum Healthcare; and vacant PAD Zoning.</p> <p>South: C-1 (Light Commercial) – Vacant fronting on SR 89A.</p> <p>West (Across 89A): C-2 (Heavy Commercial) - Tractor Supply Store.</p>

PROJECT PROPOSAL:

Background:

Maverik Country Stores intends to construct a new 5,046 square foot convenience store directly south of their existing store at 690 W. State Route 89A, at the southeast corner of W. State Route 89A and W. Mingus Avenue. In addition, the fuel dispenser area will be modified with a re-oriented layout. The existing fueling area canopy will be removed and replaced with a new canopy to accommodate the rearranged layout.

The current store will remain open during construction of the new store. Upon completion of the new store, the existing store will be demolished and a pedestrian plaza with picnic tables will be installed where the existing store is located. New landscaping will be included with the new building, extended street frontage, expanded parking area and treatment of the pedestrian plaza.

In order to accommodate the new store and site layout, 30,000 square feet of additional property was obtained from the adjacent vacant site to the south fronting on State Route 89A resulting in a total site area of 72,516 square feet (1.66 acres.)

BUILDING AND STRUCTURE DESIGN:

The existing 2,400 square foot convenience store building and gas station was constructed in 1997. The proposed new 5,046 square foot convenience store is typical of industry trends over recent years in which additional products and services are offered at convenience stores.

Building Height:

30' - 6 3/4" to top of front entrance projecting roof element.

22' to top of front roof parapet.

20' side roof parapet

Architecture, Materials, Colors:

The new convenience store provides a new and updated approach to the architecture, colors and design details with a heavy timber-style element on the front elevation and side canopies over the larger dual storefront entrances and windows. Color renderings have been provided.

Color Palette: As shown on the color renderings, the color palette includes primarily muted earth-tones with brown, beige, and cream colors with red and black accents.

Walls: Fiber cement panels with board and batten design finish.

Exterior Wainscot: 4' height stone veneer at base of walls and wrapping pilaster elements.

Cornice: The top of the parapet wall provides a decorative design element indicated as a metal covered coping detail.

Storefront Entrance: Two (2) storefront entrances on front elevation each side of large window.

Entry Design Element: Timber veneer on constructed frame includes decorative steel gusset plates painted black.

Roof Features: The front entrance element includes a gabled roof detail and two side canopy features with pitched roof above storefront entries. The exposed roof material is prefabricated metal roof panels.

Pilasters: Wall elements include stone veneer base and E.I.F.S. (Exterior Insulation and Finishing System) on upper portion.

FUEL CANOPY DESIGN:

The existing fuel dispenser canopy has three large support columns constructed of steel structures covered with a river rock stone veneer. The river rock is placed from the ground to the underside of the canopy structure creating a unique character that reflects the local setting.

There are currently three (3) fuel islands each with two (2) fuel dispensers that serve customers on each side for a total of twelve (12) outlets. The proposed new layout has six (6) fuel islands each with one 2-sided fuel dispenser for a total of twelve (12) customer outlets. A possible future expansion with one additional dispenser and island is shown on plans.

The proposed new layout has six (6) support columns. Each column is sixteen (16) feet in height from the base to the underside of the canopy with three (3) feet height of rock veneer at the base. The top 13-feet of each column are constructed with a standard painted square steel support column.

SITE PLAN:

Total parcel area with the new parcel added is 72,516 square feet (1.66 acres.)

Parking:

Currently, there are 18 parking spaces, including one (1) ADA accessible space.

The new site plan has 38 parking spaces, including two (2) ADA accessible spaces, where approximately 20 spaces would be required.

Lighting:

Exterior lighting fixtures on the new building and under fueling canopy shall meet the lighting ordinance requirements, including fully shielded lamps.

Signage:

Existing monument sign facing SR 89A will be relocated towards the new driveway. Signs are shown on the front elevation of the new store. Additional signage and messages are anticipated on and around the fuel dispensers. The canopy includes integrated signs, colors and striping.

Access/Driveways:

The existing driveway access at Mingus Avenue will remain the same. The existing driveway at SR 89A will be relocated to the south to accommodate the expanded site layout. Any proposed change with driveway access at the state highway will have to be approved by ADOT. All other driveway and sidewalk details will be reviewed and approved by City engineering staff.

Landscape Plan:

New landscaping is required for the building, expanded parking, and street frontage. Landscaping in proximity to parking next to building can count for both. Landscaping will also be provided at the new pedestrian courtyard. The proposed plant list has appropriate drought tolerant varieties.

Utilities:

All necessary utilities for the site are existing.

Plant Table

TREES

Quantity	Symbol	Scientific Name	Common Name	Planting Size
3		Fraxinus oxycarpa 'Raywood'	Raywood Ash	1 1/2" cal.
5		Pistache chinensis 'Red Push'	Red Push Chinese Pistache	1 1/2" cal.

SHRUBS

Quantity	Symbol	Scientific Name	Common Name	Planting Size
34		Ilex vomitoria nana 'Stokes'	Stokes Dwarf Yaupon Holly	5 gal.
32		Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal.
12		Leucophyllum 'Green Cloud'	Green Cloud Texas Sage	5 gal.
19		Rosa x noare	Red Flower Carpet Rose	5 gal.

PERENNIALS

Quantity	Symbol	Scientific Name	Common Name	Planting Size
27		Chrysactina mexicana	Desert Daisy	1 gal.
7		Hesperaloe parvifolia	Red Yucca	5 gal.
13		Muhlenbergia cappilaris 'Regal Mist'	Pink Muhly Grass	5 gal.



Decorative Boulders



Existing landscape - to remain.



1" Minus Rock Mulch over Dewitt Pro 5 Weed Barrier Cloth, or equal. Match to existing rock mulch.

STIPULATIONS:

If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans submitted for the February 22, 2016 meeting and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated November 17, 2015.
3. A Certificate of Zoning Compliance documenting the completion of Design Review conditions shall be issued prior to the Certificate of Occupancy.
4. Any future expansion of the fuel dispenser islands and related canopy for one additional dispenser island shall be reviewed by the Code Review Board; and Design Review may be considered administratively if in conformance with the original plans approved herein.
5. Any other stipulations the Planning & Zoning Commission deems necessary.

LETTER OF INTENT

November 3, 2015

Maverik Convenience Stores has entered into a purchase agreement to purchase additional property its current store located at 690 West Highway 89A. Maverik intends to construct a new 5046 square foot convenience store directly East of the existing store. The current store will remain operational during the construction of the new store. The fueling area will be modified and expanded as shown on the submitted plans. Upon completion of the new store, the existing store will be demolished and a pedestrian plaza will be installed.

Maverik is proposing that the current access on Highway 89A be relocated to the location shown on the plans and that the new access become a full-access approach. Maverik will work with the City of Cottonwood and Arizona Department of Transportation to develop the new access for the store. We will also work closely with the City to design the building, fuel operation, landscaping and parking in compliance with City codes.

Don Lilyquist



Permits Manager, Maverik, Inc.

Project Narrative/Notes/Revisions

1) 12/24/15 RH - COMPLETED DESIGN FOR MAVERIK/CITY REVIEW.

MAVERIK, INC.

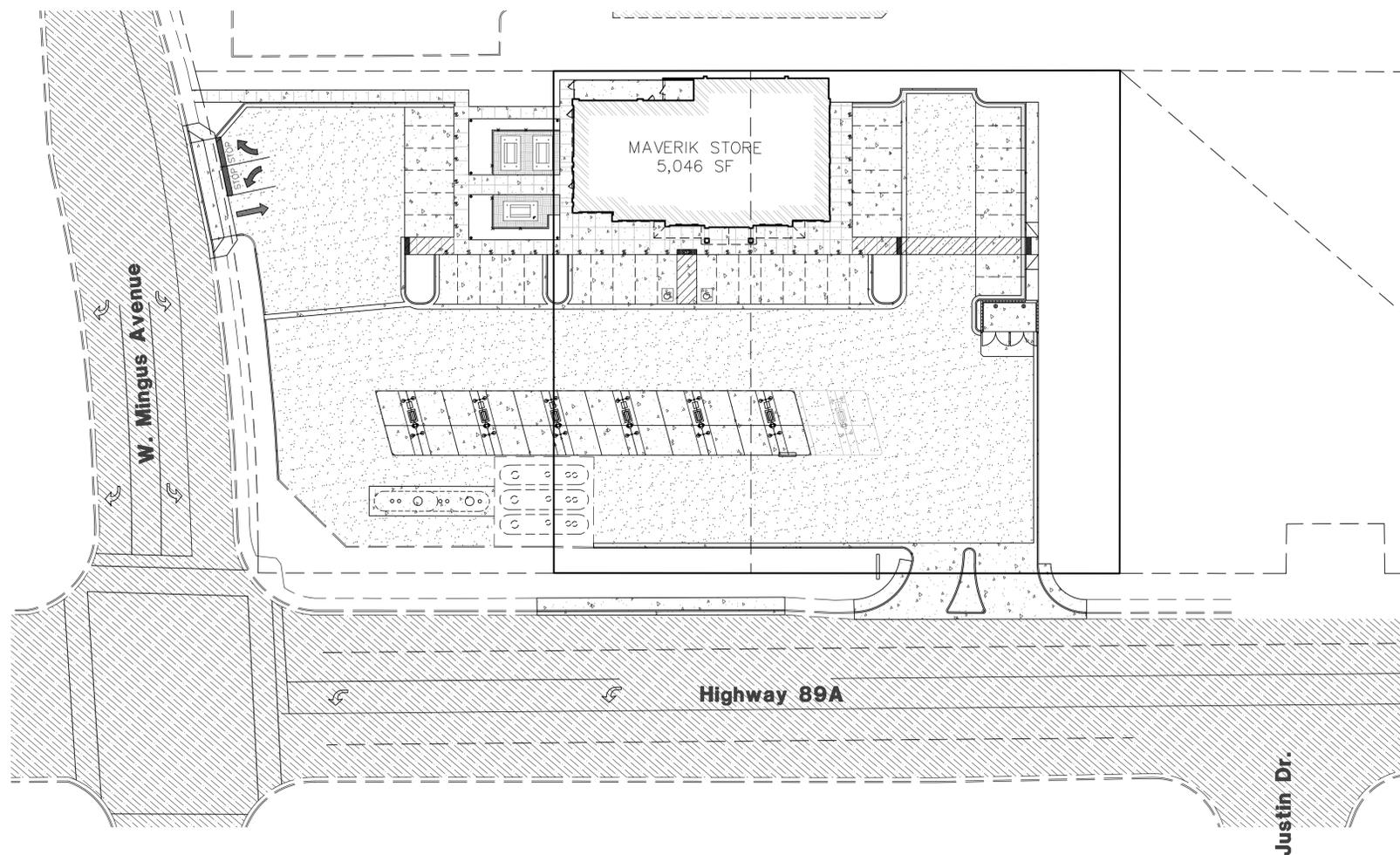
HIGHWAY 89A & MINGUS AVENUE

Site Plans

COTTONWOOD, YAVAPAI COUNTY, ARIZONA
DECEMBER 2015



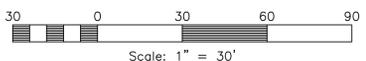
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Sheet Index

- Sheet C1 - Cover/Index Sheet
- Sheet C2 - Notes & Legend Sheet
- Sheet C3 - Existing Site Plan
- Sheet C4 - Demolition Plan
- Sheet C5 - Proposed Site Plan
- Sheet C6 - Grading Plan
- Sheet C7 - Utility Plan
- Sheet C8 - Civil Details
- Sheet C9 - Drainage Details
- Sheet C10 - Drainage Details
- Sheet C11 - Underground Storage Tank Details
- Sheet C12 - Storm Water Pollution Prevention Plan
- Sheet C13 - Storm Water Pollution Prevention Plan Details
- Sheet L1 - Landscape Plan
- Sheet L2 - Irrigation Plan

Site Information	
APN#	406-33-014Z, 406-33-082A, 406-33-051A
ADDRESS	HIGHWAY 89A & MINGUS AVENUE COTTONWOOD, YAVAPAI COUNTY, ARIZONA
PROPERTY ZONE	C-1
PARKING STALLS	38
TOTAL PARCEL AREA	72,516 s.f.
BUILDING AREA	5,046 s.f. 7.0%
HARD SURFACED AREA	51,866 s.f. 71.5%
LANDSCAPE AREA	15,604 s.f. 21.5%



Flood Information Data

F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 04025C1756G DATED SEPTEMBER 3, 2010.

ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. (ALL AREAS NOT DESIGNATED ON PLAT AS ZONE X 0.2% OR ZONE AE FLOODWAY AREA)

(THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THE SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP OR THE LOCATION OF THE FLOOD ZONE BOUNDARY. IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THE SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.)

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Contact:
Jim Child - Maverik, Inc
880 West Center Street
N. Salt Lake City, Ut. 84054
PH: (801) 936-5557

Call Underground Locating Service Prior to Construction

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OGDEN, UTAH 84403
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PROJECT NUMBER: 5799-160
DRAWN BY: RWH
ENGINEER: JNR

FFKR
ARCHITECTS

bogue building
730 pacific avenue
salt lake city
Utah 84104

• 801-521-6186
• 801-539-1916
ffkr.com



COTTONWOOD MAVERIK STORE #272 - Rebuild
HIGHWAY 89A & MINGUS AVENUE
COTTONWOOD, ARIZONA
PRELIMINARY SET



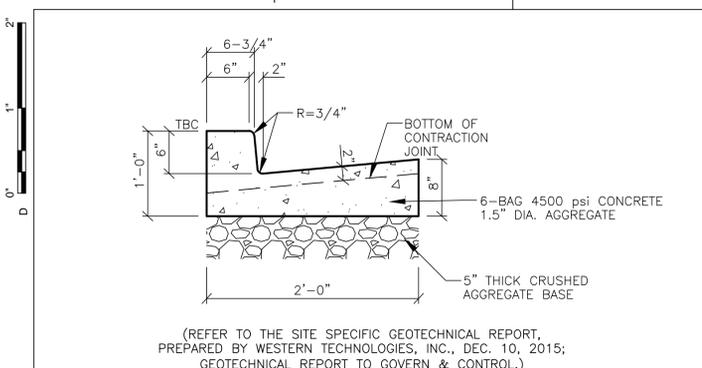
DATE	REVISION

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DRAWN BY: R. Hansen
CHECKED BY: J.Nate Reeve, P.E.
SCALE: As indicated

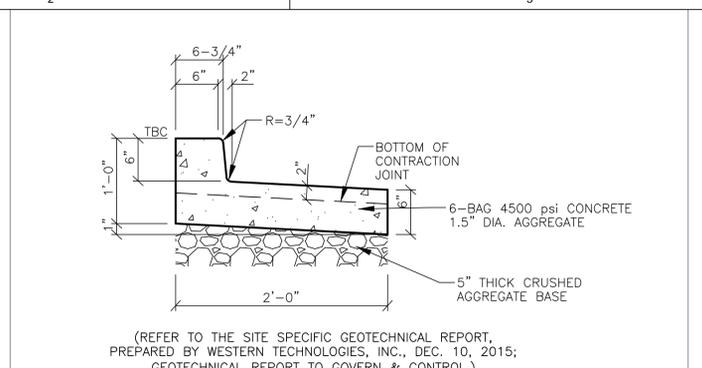
COVER/INDEX SHEET

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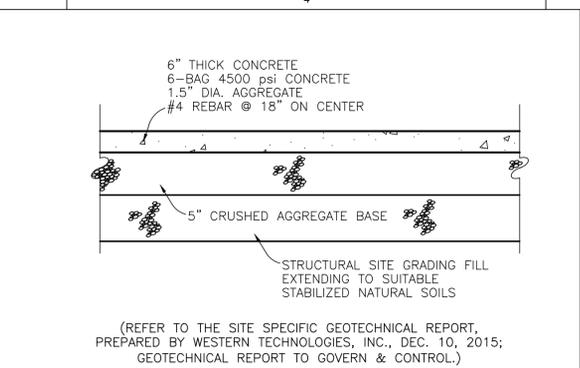
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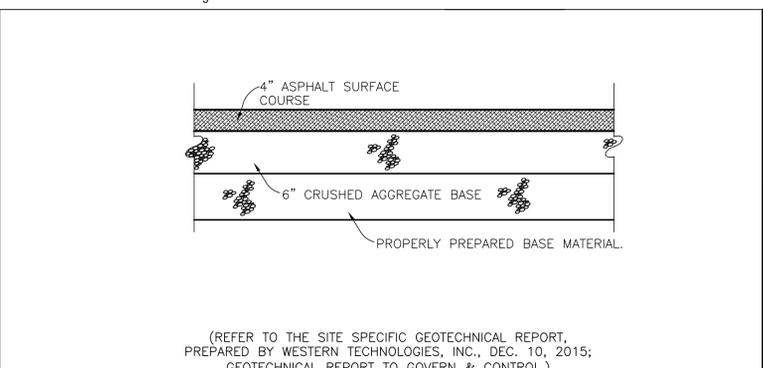
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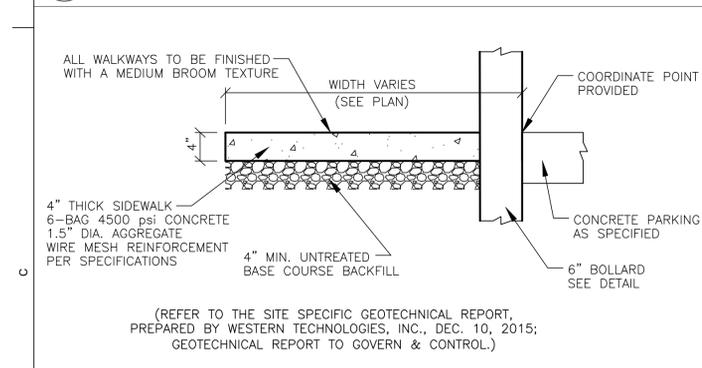
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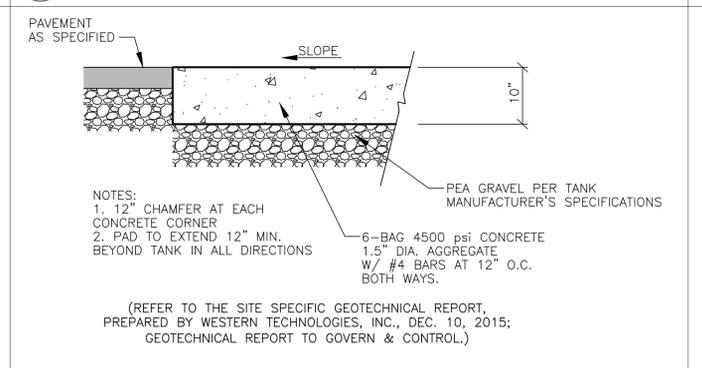
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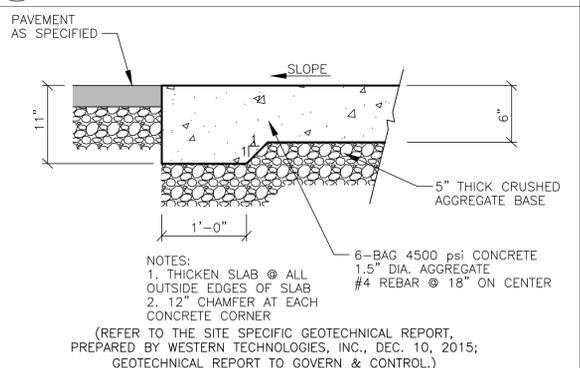
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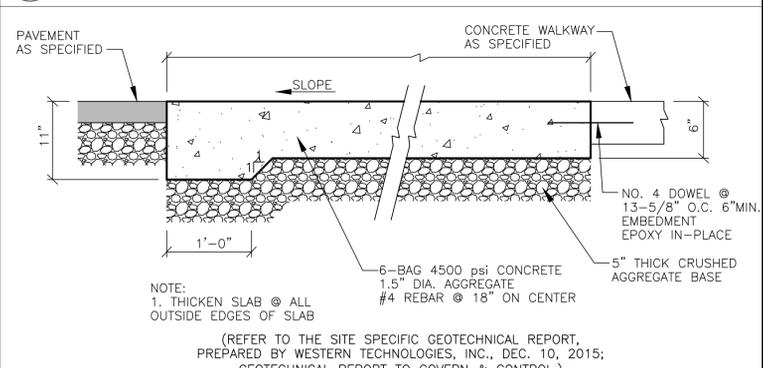
5 Concrete Walkway
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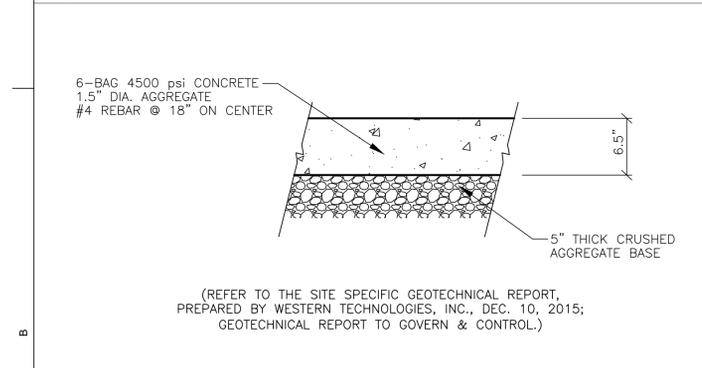
6 Concrete Pad over Underground Fuel Tanks
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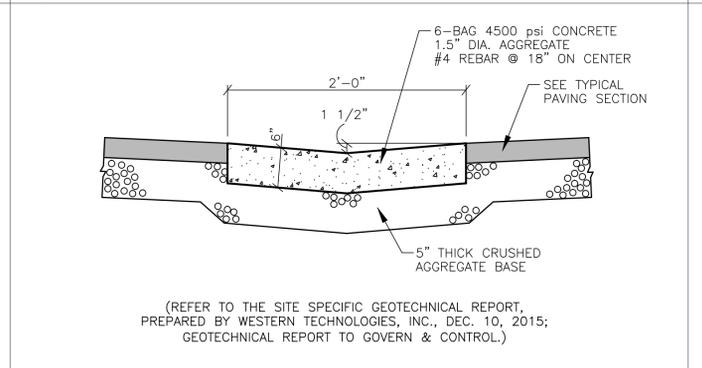
7 Concrete Pad under Fuel Canopy
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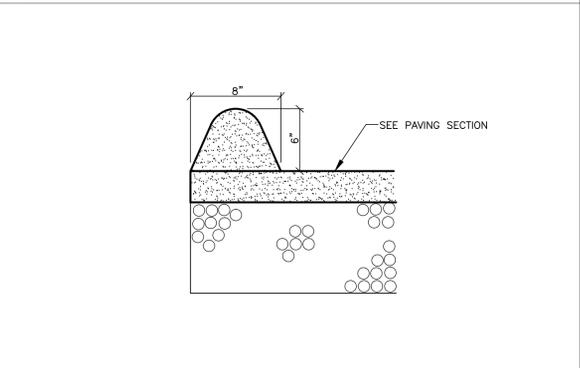
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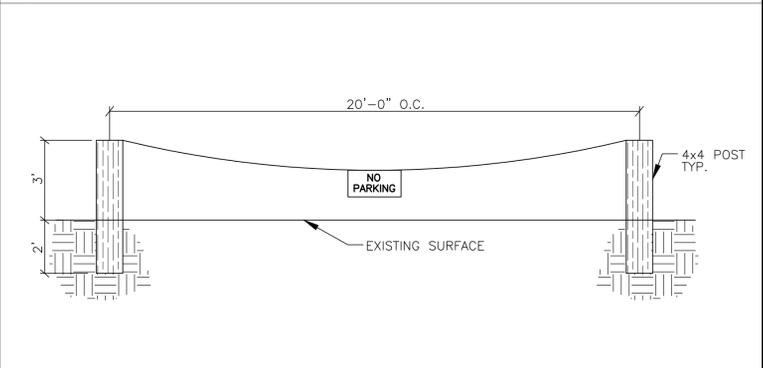
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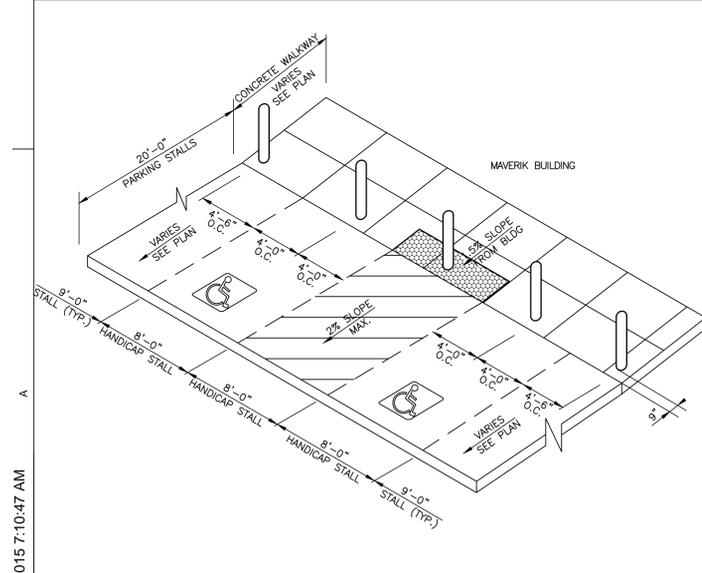
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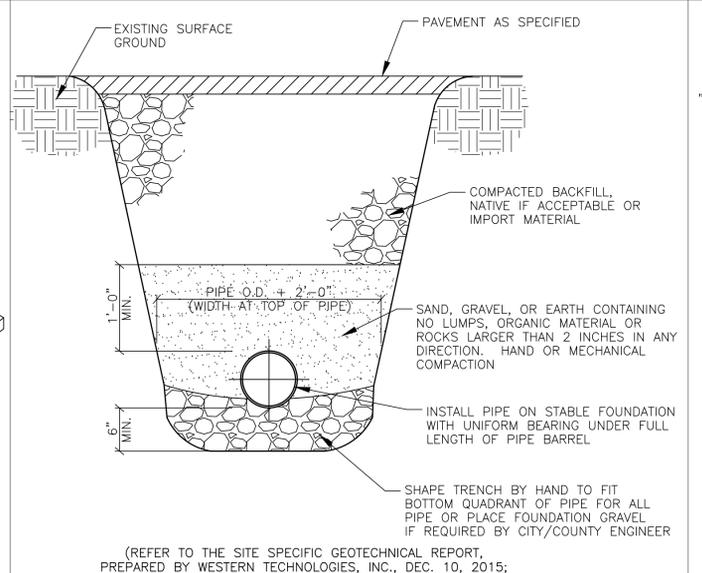
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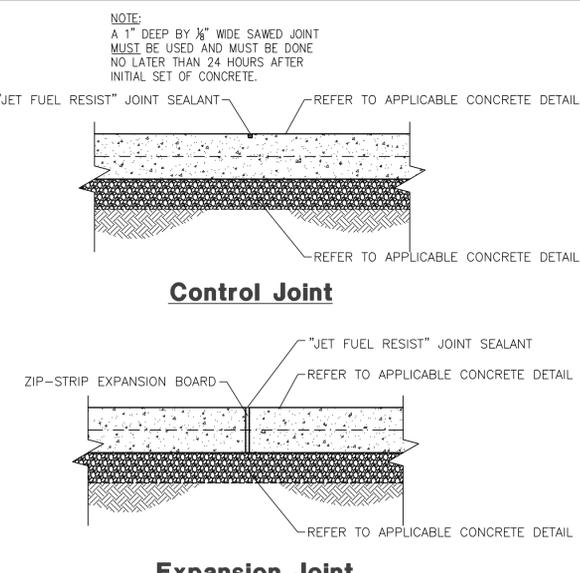
12 Perimeter 'No Parking' Barrier
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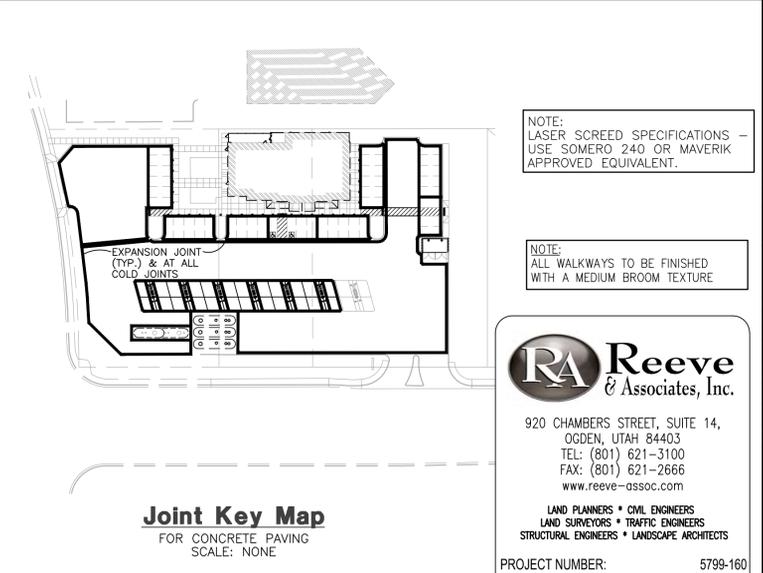
13 Typical Bollard Spacing
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14 Typical On-Site Pipe Bed Section
SCALE: NONE



15 Typical On-Site Concrete Joints
SCALE: NONE



Joint Key Map
FOR CONCRETE PAVING
SCALE: NONE

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salt lake city
Utah 84104
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801-539-1916
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ADVENTURE'S FIRST STOP MAVERIK

COTTONWOOD MAVERIK STORE #272 - Rebuild
HIGHWAY 89A & MINGUS AVENUE
COTTONWOOD, ARIZONA
PRELIMINARY SET

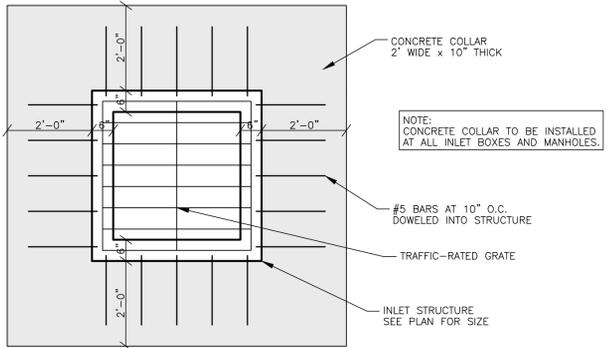
SEAL
Professional Engineer
51201
JOHN NATHAN REEVE
Arizona U.S.A.

EXPIRES 9-30-16
DATE STATUS
DATE REVISION
PROJECT NUMBER ??????
FILE
DRAWN BY R. Hansen
CHECKED BY J.Nate Reeve, P.E.
SCALE As indicated
CIVIL DETAILS
PROJECT NUMBER: 5799-160
DRAWN BY: RWH
ENGINEER: JNR

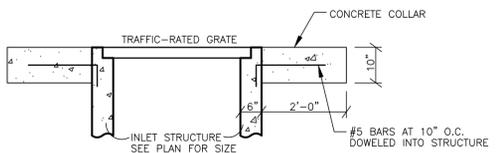
RA Reeve & Associates, Inc.
920 CHAMBERS STREET, SUITE 14,
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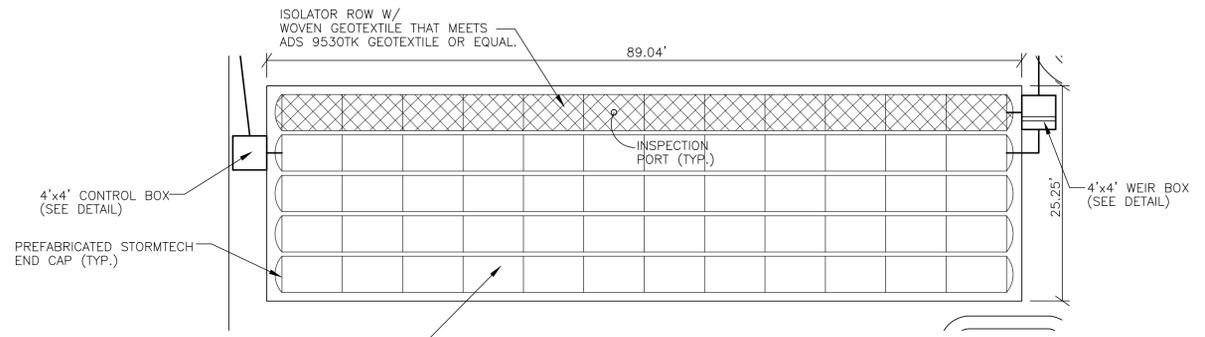


Plan

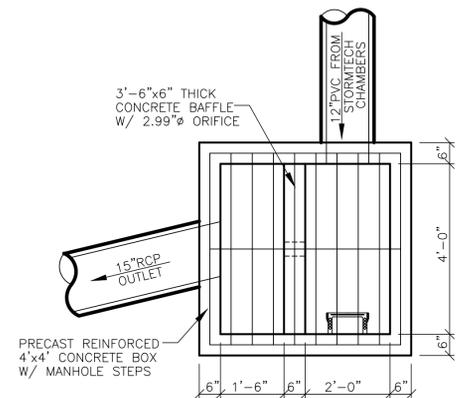


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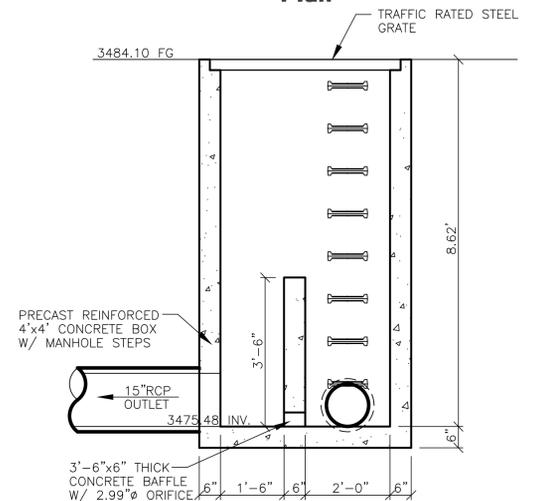
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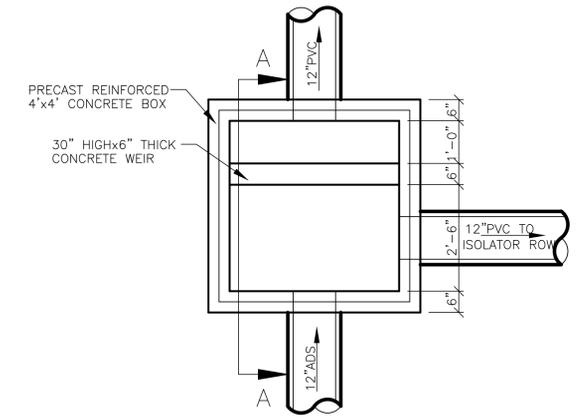
StormTech Chamber Layout
SCALE: 1"=10'



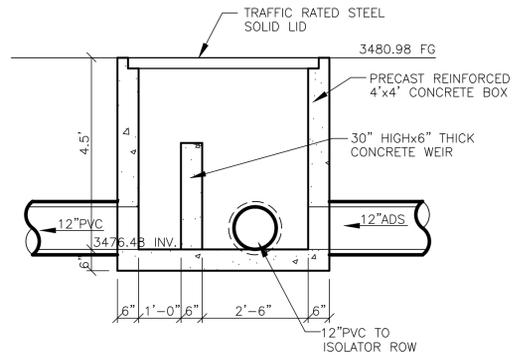
Plan



**Section
Control Box Detail**
SCALE: 1"=2'



**Section A-A
4'x4' Weir Box**
SCALE: 1"=2'



H-8030 Cleanout Frame and Cover

10 3/4"

1"

6"

9 1/2"

17"

CAST IRON to conform to ASTM A-48, CLASS 35B H-20 Wheel Loading	D&L No. H-8030 Est. Weight 77 lbs.	D&L D&L Supply 20, Box 119 Mound, LAKE, MN 55037 763-7552 763-8124
Manufacturer: H-8030	Date of Design: Oct. 1994	Scale: 1"=6, 1/4"

RA Reeve & Associates, Inc.

920 CHAMBERS STREET, SUITE 14,
OGDEN, UTAH 84403
TEL: (801) 621-3100
FAX: (801) 621-2666
www.reeve-assoc.com

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PROJECT NUMBER: 5799-160
DRAWN BY: RWH
ENGINEER: JNR

FFKR ARCHITECTS

bogue building
730 pacific avenue
salt lake city
Utah 84104

• 801-521-6186
• 801-539-1916
ffkr.com

ADVENTURE'S FIRST STOP
MAVERIK

COTTONWOOD MAVERIK STORE #272 - Rebuild
HIGHWAY 89A & MINGUS AVENUE
COTTONWOOD, ARIZONA
PRELIMINARY SET

SEAL
Professional Engineer
51201
JOHN NATHAN REEVE
Checked
ARIZONA U.S.A.

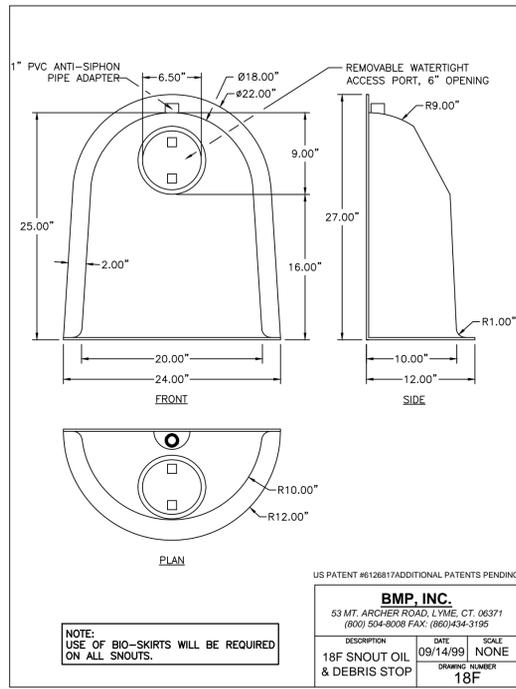
EXPIRES 9-30-16

DATE	REVISION

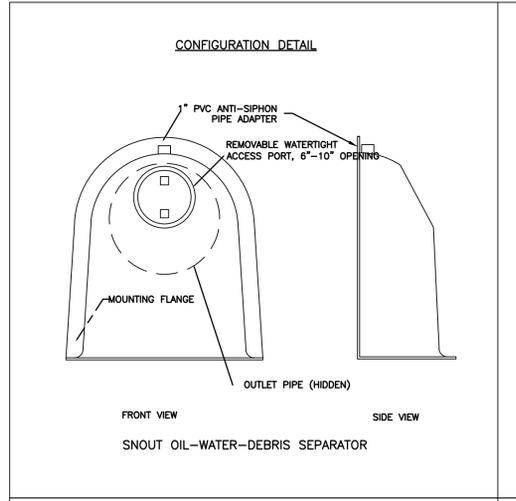
PROJECT NUMBER: ?????
FILE: R. Hansen
DRAWN BY: R. Hansen
CHECKED BY: J.Nate Reeve, P.E.
SCALE: As indicated

DRAINAGE DETAILS

C9



Snout Detail
SCALE: NONE

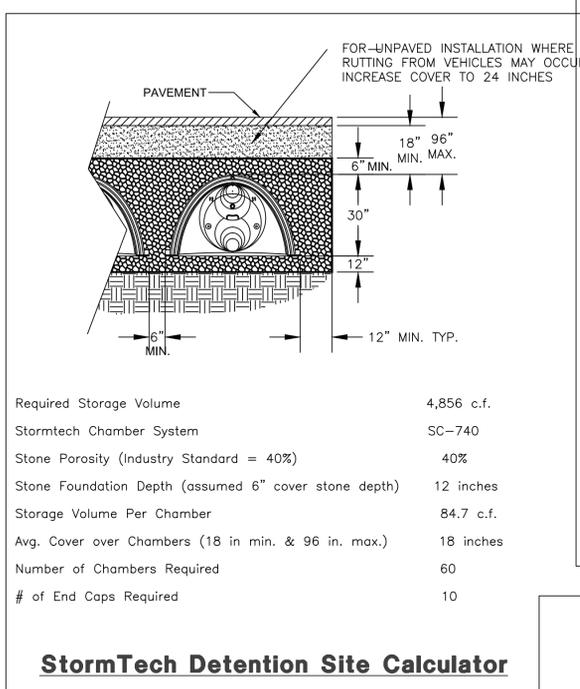


Configuration Detail
SCALE: NONE

NOTES:

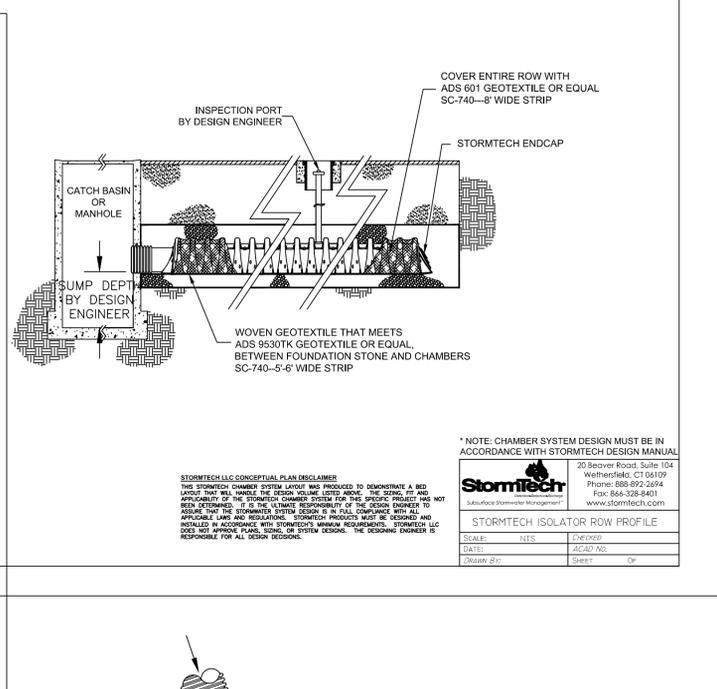
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 MT. ARCHER RD. LYME, CT 06371 (860) 434-0277, (860) 434-3185 FAX. TOLL FREE: (800) 504-8008 OR (888) 354-7585 WEB SITE: www.bestmp.com OR PRE-APPROVED EQUAL
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATERTIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 6" FOR PIPES <12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER. (SEE INSTALLATION DETAIL)
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE: A. INSTALLATION INSTRUCTIONS B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING D. 3/8" STAINLESS STEEL BOLTS E. ANCHOR SHIELDS

US Patent # 6126817



Required Storage Volume	4,856 c.f.
Stormtech Chamber System	SC-740
Stone Porosity (Industry Standard = 40%)	40%
Stone Foundation Depth (assumed 6" cover stone depth)	12 inches
Storage Volume Per Chamber	84.7 c.f.
Avg. Cover over Chambers (18 in min. & 96 in. max.)	18 inches
Number of Chambers Required	60
# of End Caps Required	10

StormTech Detention Site Calculator



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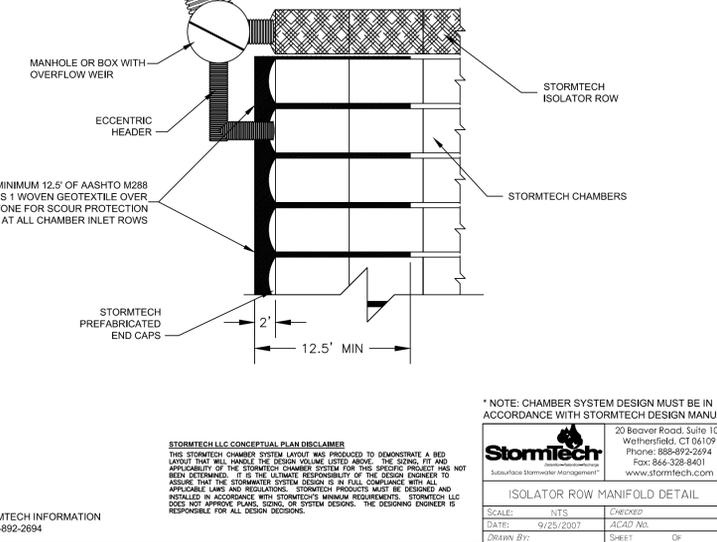
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StormTech
Subsurface Stormwater Management

20 Beaver Road, Suite 104
Wethersfield, CT 06109
Phone: 888-892-2694
Fax: 866-328-8401
www.stormtech.com

STORMTECH ISOLATOR ROW PROFILE

SCALE:	NTS	CHECKED
DATE:	9/25/2007	ACAD No.
DRAWN BY:	Sheet	OF



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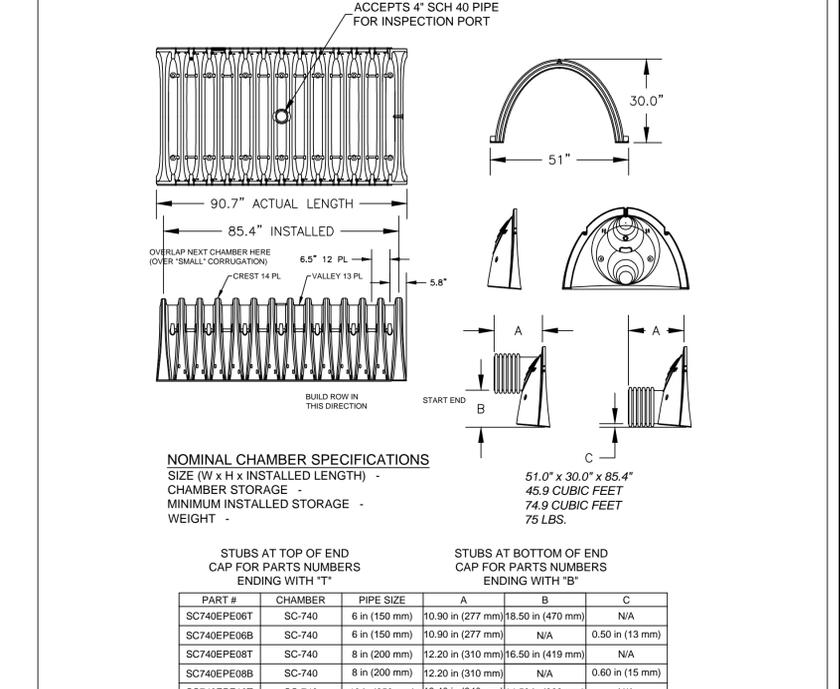
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ISOLATOR ROW MANIFOLD DETAIL

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DATE:	9/25/2007	ACAD No.
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NOMINAL CHAMBER SPECIFICATIONS

SIZE (W x H x INSTALLED LENGTH) - 51.0" x 30.0" x 85.4"
CHAMBER STORAGE - 45.9 CUBIC FEET
MINIMUM INSTALLED STORAGE - 74.9 CUBIC FEET
WEIGHT - 75 LBS.

STUBS AT TOP OF END CAP FOR PARTS NUMBERS ENDING WITH "T"

PART #	CHAMBER	PIPE SIZE	A	B	C
SC740EPE06T	SC-740	6 in (150 mm)	10.90 in (277 mm)	18.50 in (470 mm)	N/A
SC740EPE06B	SC-740	6 in (150 mm)	10.90 in (277 mm)	N/A	0.50 in (13 mm)
SC740EPE08T	SC-740	8 in (200 mm)	12.20 in (310 mm)	16.50 in (419 mm)	N/A
SC740EPE08B	SC-740	8 in (200 mm)	12.20 in (310 mm)	N/A	0.60 in (15 mm)
SC740EPE10T	SC-740	10 in (250 mm)	13.40 in (340 mm)	14.50 in (368 mm)	N/A
SC740EPE10B	SC-740	10 in (250 mm)	13.40 in (340 mm)	N/A	0.70 in (18 mm)
SC740EPE12T	SC-740	12 in (300 mm)	14.70 in (373 mm)	12.50 in (318 mm)	N/A
SC740EPE12B	SC-740	12 in (300 mm)	14.70 in (373 mm)	N/A	1.20 in (30 mm)
SC740EPE15T	SC-740	15 in (375 mm)	18.40 in (467 mm)	9.00 in (229 mm)	N/A
SC740EPE15B	SC-740	15 in (375 mm)	18.40 in (467 mm)	N/A	1.30 in (33 mm)
SC740EPE18T	SC-740	18 in (450 mm)	19.70 in (500 mm)	5.00 in (127 mm)	N/A
SC740EPE18B	SC-740	18 in (450 mm)	19.70 in (500 mm)	N/A	1.60 in (41 mm)
SC740EPE24B	SC-740	24 in (600 mm)	18.50 in (470 mm)	N/A	0.10 in (3 mm)

* NOTE: ALL DIMENSIONS ARE NOMINAL

ALL STUBS, EXCEPT FOR THE SC740EPE24B ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-892-2694.

* FOR THE SC740EPE24B THE 24" STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75". BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE N-12 STUB SO THAT THE FITTING SETS LEVEL.

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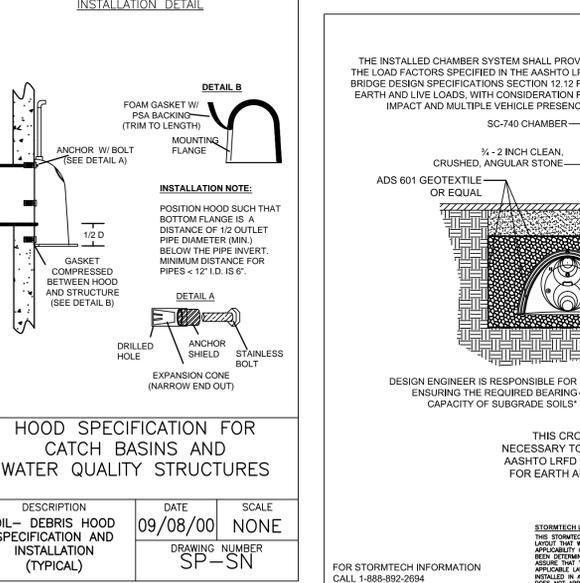
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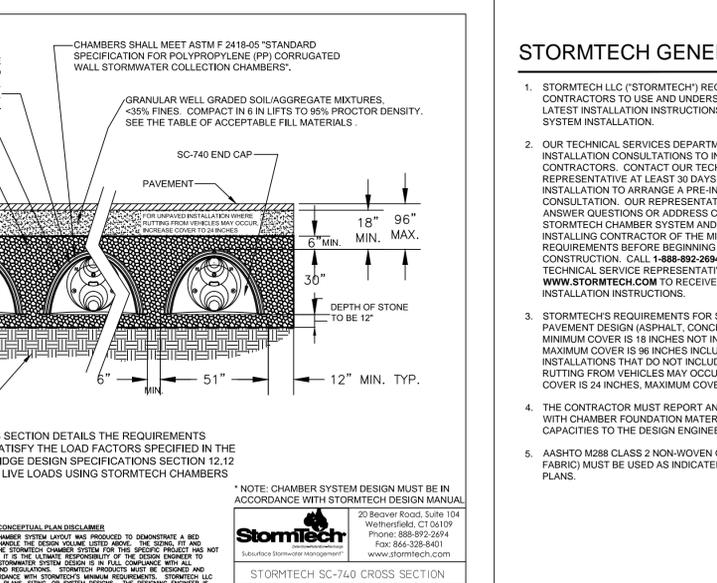
SC-740 TECHNICAL SPECIFICATIONS

SCALE:	NTS	CHECKED
DATE:		ACAD No.
DRAWN BY:		SHEET OF



HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

DESCRIPTION	DATE	SCALE
OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	09/08/00	NONE
	DRAWING NUMBER	
	SP-SN	



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STORMTECH SC-740 CROSS SECTION

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STORMTECH GENERAL NOTES

- STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
- OUR TECHNICAL SERVICES DEPARTMENT OFFERS INSTALLATION CONSULTATIONS TO INSTALLING CONTRACTORS. CONTACT OUR TECHNICAL SERVICES REPRESENTATIVE AT LEAST 30 DAYS PRIOR TO SYSTEM INSTALLATION TO ARRANGE A PRE-INSTALLATION CONSULTATION. OUR REPRESENTATIVES CAN THEN ANSWER QUESTIONS OR ADDRESS COMMENTS ON THE STORMTECH CHAMBER SYSTEM AND INFORM THE INSTALLING CONTRACTOR OF THE MINIMUM INSTALLATION REQUIREMENTS BEFORE BEGINNING THE SYSTEM'S CONSTRUCTION. CALL 1-888-892-2694 TO SPEAK TO A TECHNICAL SERVICE REPRESENTATIVE OR VISIT WWW.STORMTECH.COM TO RECEIVE A COPY OF OUR INSTALLATION INSTRUCTIONS.
- STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.): MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT; MAXIMUM COVER IS 96 INCHES INCLUDING PAVEMENT. FOR INSTALLATIONS THAT DO NOT INCLUDE PAVEMENT, WHERE RUTTING FROM VEHICLES MAY OCCUR, MINIMUM REQUIRED COVER IS 24 INCHES, MAXIMUM COVER IS 96 INCHES.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
- AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
- STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER. THIS INFORMATION IS ALSO AVAILABLE AT STORMTECH'S WEBSITE: WWW.STORMTECH.COM. THE CONTRACTOR IS RESPONSIBLE FOR PREVENTING VEHICLES THAT EXCEED STORMTECH'S REQUIREMENTS FROM TRAVELING ACROSS OR PARKING OVER THE STORMWATER SYSTEM. TEMPORARY FENCING, WARNING TAPE AND APPROPRIATELY LOCATED SIGNS ARE COMMONLY USED TO PREVENT UNAUTHORIZED VEHICLES FROM ENTERING SENSITIVE CONSTRUCTION AREAS.
- THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.
- STORMTECH PRODUCT WARRANTY IS LIMITED. SEE CURRENT PRODUCT WARRANTY FOR DETAILS. TO ACQUIRE A COPY CALL STORMTECH AT 1-888-892-2694 OR VISIT WWW.STORMTECH.COM.

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MAVERIK

COTTONWOOD MAVERIK STORE #272 - Rebuild
HIGHWAY 89A & MINGUS AVENUE
COTTONWOOD, ARIZONA
PRELIMINARY SET

SEAL

Professional Engineer
51201
JOHN MATTHEW
REEVE
The State of
ARIZONA U.S.A.

EXPIRES 9-30-16

DATE STATUS

PROJECT NUMBER ??????

FILE

DRAWN BY R. Hansen

CHECKED BY J. Nate Reeve, P.E.

SCALE As indicated

DRAINAGE DETAILS

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PROJECT NUMBER: 5799-160
DRAWN BY: RWH
ENGINEER: JNR

C10

6/2/2015 7:10:47 AM

MAVERIK, INC.

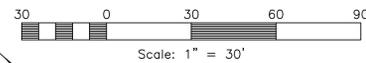
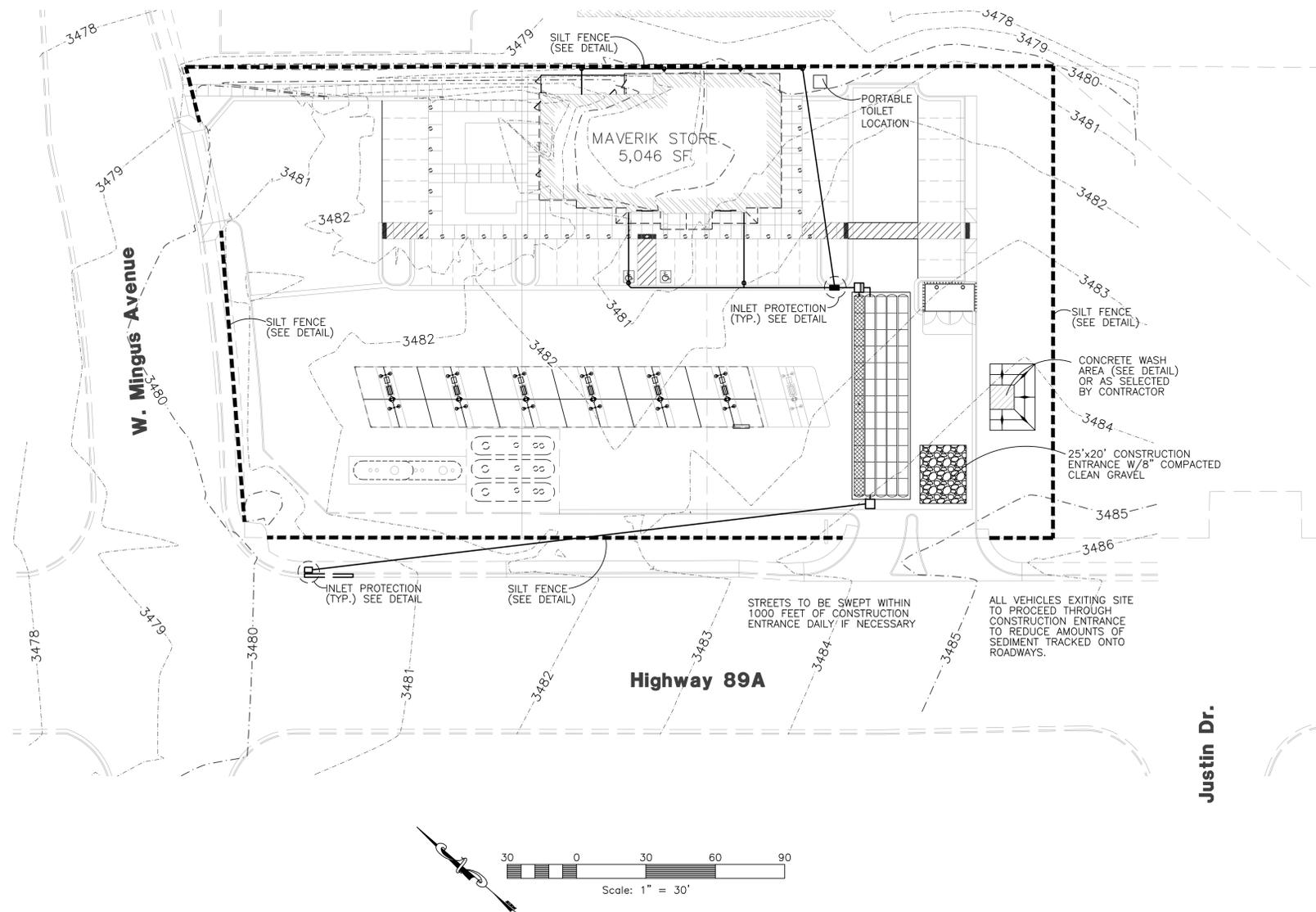
HIGHWAY 89A & MINGUS AVENUE

Storm Water Pollution Prevention Plan Exhibit

COTTONWOOD, YAVAPAI COUNTY, ARIZONA
DECEMBER 2015



Vicinity Map
NOT TO SCALE



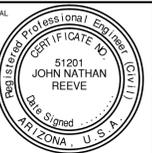
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HIGHWAY 89A & MINGUS AVENUE
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PRELIMINARY SET



EXPIRES 9-30-16

DATE STATUS

DATE REVISION

PROJECT NUMBER ??????

FILE R. Hansen

DRAWN BY J.Nate Reeve, P.E.

CHECKED BY

SCALE As indicated

**STORM WATER
POLLUTION
PREVENTION
PLAN EXHIBIT**



920 CHAMBERS STREET, SUITE 14,
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TEL: (801) 621-3100
FAX: (801) 621-2666
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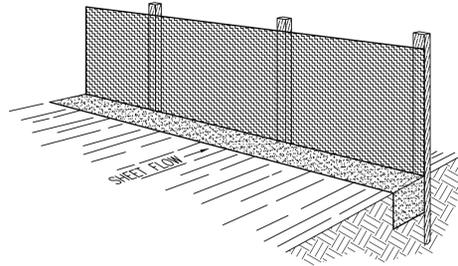
PROJECT NUMBER: 5799-160
DRAWN BY: RWH
ENGINEER: JNR

Construction Activity Schedule

- PROJECT LOCATION.....COTTONWOOD, YAVAPAI COUNTY, AZ
- PROJECT BEGINNING DATE.....DECEMBER 2015
- BMP'S DEPLOYMENT DATE.....DECEMBER 2015
- STORM WATER MANAGEMENT CONTACT / INSPECTOR.....JIM CHILD @ MAVERIK (877) 936-5557 UNTIL GENERAL CONTRACTOR IS HIRED
- SPECIFIC CONSTRUCTION SCHEDULE INCLUDING BMP CONSTRUCTION SCHEDULE TO BE INCLUDED WITH SWPPP BY OWNER/DEVELOPER

6/2/2015 7:10:47 AM

1. Describe all BMP's to protect storm water inlets:
All storm water inlets to be protected by straw wattle barriers, or gravel bags (see detail).
2. Describe BMP's to eliminate/reduce contamination of storm water from:
 - a. Equipment / building / concrete wash areas:
To be performed in designated areas only and surrounded with silt fence barriers.
 - b. Soil contaminated by soil amendments:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - c. Areas of contaminated soil:
If any contaminants are found or generated, contact environmental engineer and contacts listed.
 - d. Fueling area:
To be performed in designated areas only and surrounded with silt fence.
 - e. Vehicle maintenance areas:
To be performed in designated areas only and surrounded with silt fence.
 - f. Vehicle parking areas:
To be performed in designated areas only and surrounded with silt fence.
 - g. Equipment storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - h. Materials storage areas:
To be performed in designated areas only and surrounded with silt fence.
 - i. Waste containment areas:
To be performed in designated areas only and surrounded with silt fence.
 - j. Service areas:
To be performed in designated areas only and surrounded with silt fence.
3. Construction Vehicles and Equipment:
 - a. Maintenance
 - Maintain all construction equipment to prevent oil or other fluid leaks.
 - Keep vehicles and equipment clean, prevent excessive build-up of oil and grease.
 - Regularly inspect on-site vehicles and equipment for leaks, and repair immediately.
 - Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment on-site.
 - Segregate and recycle wastes, such as greases, used oil or oil filters, antifreeze, cleaning solutions, automotive batteries, hydraulic, and transmission fluids.
 - b. Fueling
 - If fueling must occur on-site, use designated areas away from drainage.
 - Locate on-site fuel storage tanks within a bermed area designed to hold the tank volume.
 - Cover retention area with an impervious material and install in a manner to ensure that any spills will be contained in the retention area. To catch spills or leaks when removing or changing fluids.
 - Use drip pans for any oil or fluid changes.
 - c. Washing
 - Use as little water as possible to avoid installing erosion and sediment controls for the wash area.
 - If washing must occur on-site, use designated, bermed wash areas to prevent waste water discharge into storm water, creeks, rivers, and other water bodies.
 - Use phosphate-free, biodegradable soaps.
 - Do not permit steam cleaning on-site.
5. Spill Prevention and Control
 - a. Minor Spills:
Minor spills are those which are likely to be controlled by on-site personnel. After contacting local emergency response agencies, the following actions should occur upon discovery of a minor spill:
 - Contain the spread of the spill.
 - If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (i.e. absorbent materials, cat litter, and / or rags).
 - If the spill occurs in dirt areas, immediately contain the spill by constructing an earth dike. Dig up properly dispose of contaminated soil.
 - If the spill occurs during rain, cover the impacted area to avoid runoff.
 - Record all steps taken to report and contain spill.
 - b. Major Spills:
On-site personnel should not attempt to control major spills until the appropriate and qualified emergency response staff have arrived at the site. For spills of federal reportable quantities, also notify the National Response Center at (800) 424-8802. A written report should be sent to all notified authorities. Failure to report major spills can result in significant fines and penalties.
6. Post Roadway / Utility Construction
 - a. Maintain good housekeeping practices.
 - b. Enclose or cover building material storage areas.
 - c. Properly store materials such as paints and solvents.
 - d. Store dry and wet materials under cover, away from drainage areas.
 - e. Avoid mixing excess amounts of fresh concrete or cement on-site.
 - f. Perform washout of concrete trucks offsite or in designated areas only.
 - g. Do not wash out concrete trucks into storm drains, open ditches, streets or streams.
 - h. Do not place material or debris into streams, gutters or catch basins that stop or reduce the flow of runoff water.
 - i. All public streets and storm drain facilities shall be maintained free of building materials, mud and debris caused by grading or construction operations. Roads will be swept within 1000' of construction entrance daily, if necessary.
 - j. Install straw wattle around all inlets contained within the development and all others that receive runoff from the development.
7. Erosion Control Plan Notes
 - a. The contractor will designate an emergency contact that can be reached 24 hours a day 7 days a week.
 - b. A stand-by crew for emergency work shall be available at all times during potential rain or snow runoff events. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of emergency devices when rain or runoff is eminent.
 - c. Erosion control devices shown on the plans and approved for the project may not be removed without approval of the engineer of record. If devices are removed, no work may continue that have the potential of erosion without consulting the engineer of record. If deemed necessary erosion control should be reestablished before this work begins.
 - d. Graded areas adjacent to fill slopes located at the site perimeter must drain away from the top of the slope at the conclusion of each working day. This should be confirmed by survey or other means acceptable to the engineer of record.
 - e. All silt and debris shall be removed from all devices within 24 hours after each rain or runoff event.
 - f. Except as otherwise approved by the inspector, all removable protective devices shown shall be in place at the end of each working day and through weekends until removal of the system is approved.
 - g. All loose soil and debris, which may create a potential hazard to offsite property, shall be removed from the site as directed by the Engineer of record of the governing agency.
 - h. The placement of additional devices to reduce erosion damage within the site is left to the discretion of the Engineer of record.
 - i. Desilting basins may not be removed or made inoperable without the approval of the engineer of record and the governing agency.
 - j. Erosion control devices will be modified as need as the project progresses, and plans of these changes submitted for approval by the engineer of record and the governing agency.
8. Conduct a minimum of one inspection of the erosion and sediment controls every two weeks. Maintain documentation on site.



Perspective View

INSTALLATION
The silt fence should be installed prior to major soil disturbances in the drainage area. The fence should be placed across the slope along a line of uniform elevation wherever flow of sediment is anticipated. Table 1 shows generally-recommended maximum slope lengths (slope spacing between fences) at various site grades for most silt fence applications.

Slope Steepness (%)	Max. Slope Length m (ft)
<2%	30.5m (100ft)
2-5%	22.9m (75ft)
5-10%	15.2m (50ft)
10-20%	7.6m (25ft)
>20%	4.5m (15ft)

PREFABRICATED SILT FENCE ROLLS

*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.

*Unroll the silt fence, positioning the post against the downstream wall of the trench.

*Adjacent rolls of silt fence should be joined by nesting the end post of one fence into the other. Before nesting the end posts, rotate each post until the geotextile is wrapped completely around the post, then about the end posts to create a tight seal as shown in Figure 1.

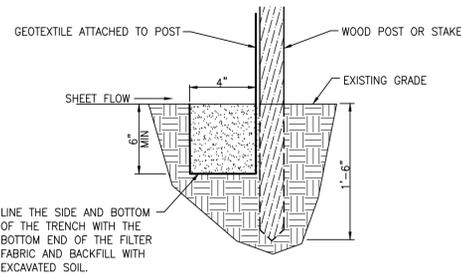
*Drive posts into the ground until the required fence height and/or anchorage depth is obtained.

*Bury the loose geotextile at the bottom of the fence in the upstream trench and backfill with natural soil, tamping the backfill to provide good compaction and anchorage. Figure 2 illustrates a typical silt fence installation and anchor trench placement.

FIELD ASSEMBLY:

*Excavate a minimum 15.2cm x 15.2cm (6"x6") trench at the desired location.

*Drive wooden posts, or steel posts with fastening projections, against the downstream wall of the trench. Maximum post spacing should be 2.4-3.0m (8-10ft). Post spacing



Section

LINE THE SIDE AND BOTTOM OF THE TRENCH WITH THE BOTTOM END OF THE FILTER FABRIC AND BACKFILL WITH EXCAVATED SOIL.

INSPECTION
*Inspect the silt fence daily during periods of rainfall, immediately after significant rainfall event and weekly during periods of no rainfall. Make any repairs immediately.
*When sediment deposits behind the silt fence are one-third of the fence height, remove and properly dispose of the silt accumulations. Avoid damage to the fabric during cleanup.

REMOVAL
*Silt fence should not be removed until construction ceases and the upslope area has been properly stabilized and/or revegetated.

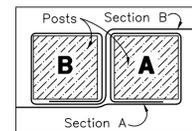
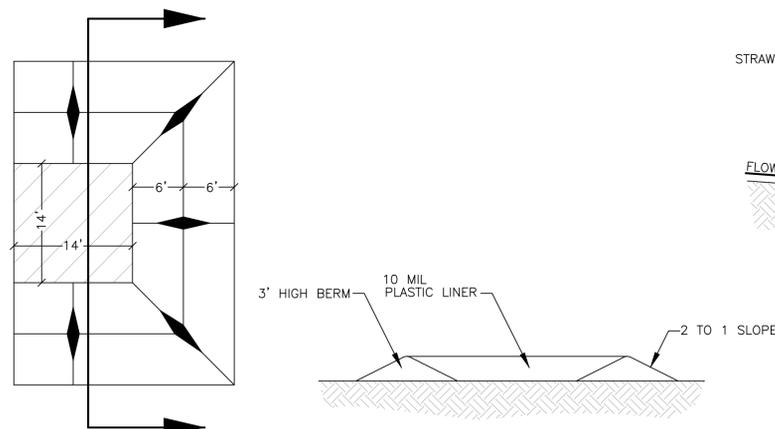


Figure 1:
Top View of Roll-to-Roll Connection

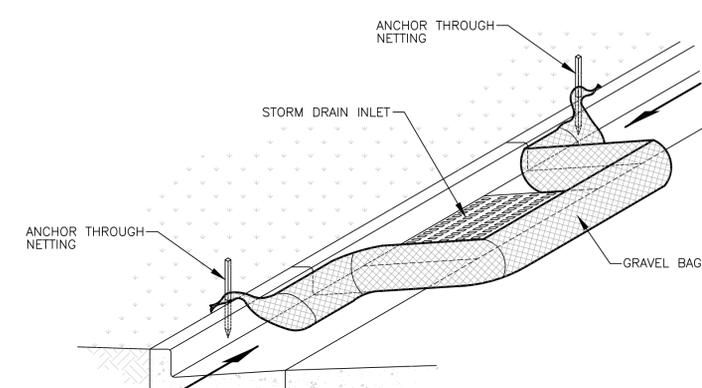
Silt Fence Detail

SCALE: NONE

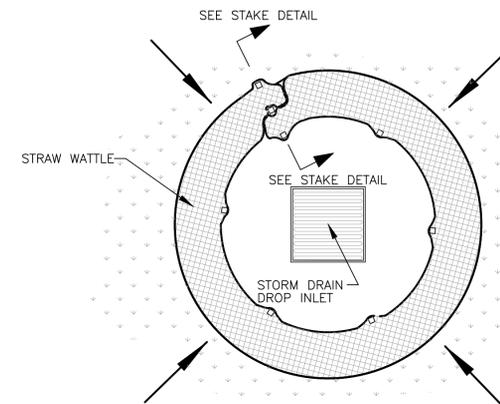


Concrete Washout Area w/ 10 mil Plastic Liner

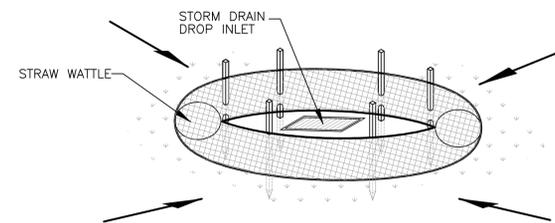
SCALE: NONE



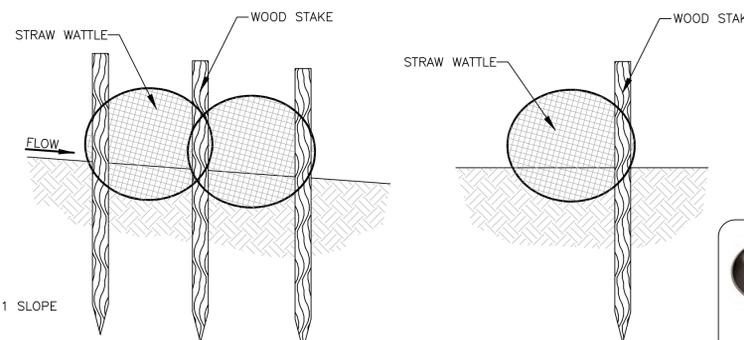
Inlet Box Protection



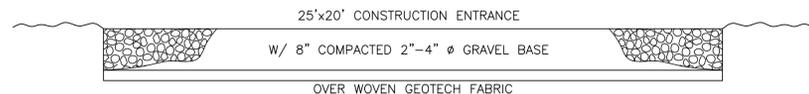
Plan View



Drop Inlet Protection



Stake Detail



Cross Section 25' x 20' Construction Entrance

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MAVERIK

COTTONWOOD MAVERIK STORE #272 - Rebuild
HIGHWAY 89A & MINGUS AVENUE
COTTONWOOD, ARIZONA
PRELIMINARY SET



EXPIRES 9-30-16

DATE STATUS

DATE REVISION

PROJECT NUMBER: ?????

FILE

DRAWN BY: R. Hansen

CHECKED BY: J.Nate Reeve, P.E.

SCALE: As indicated

STORM WATER POLLUTION PREVENTION PLAN DETAILS



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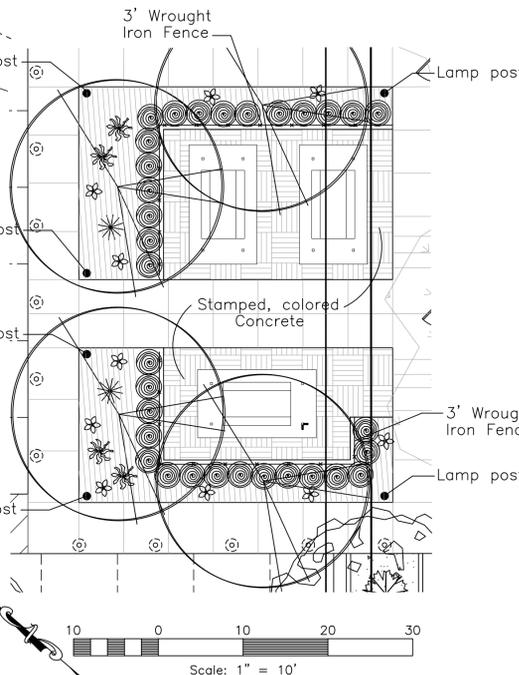
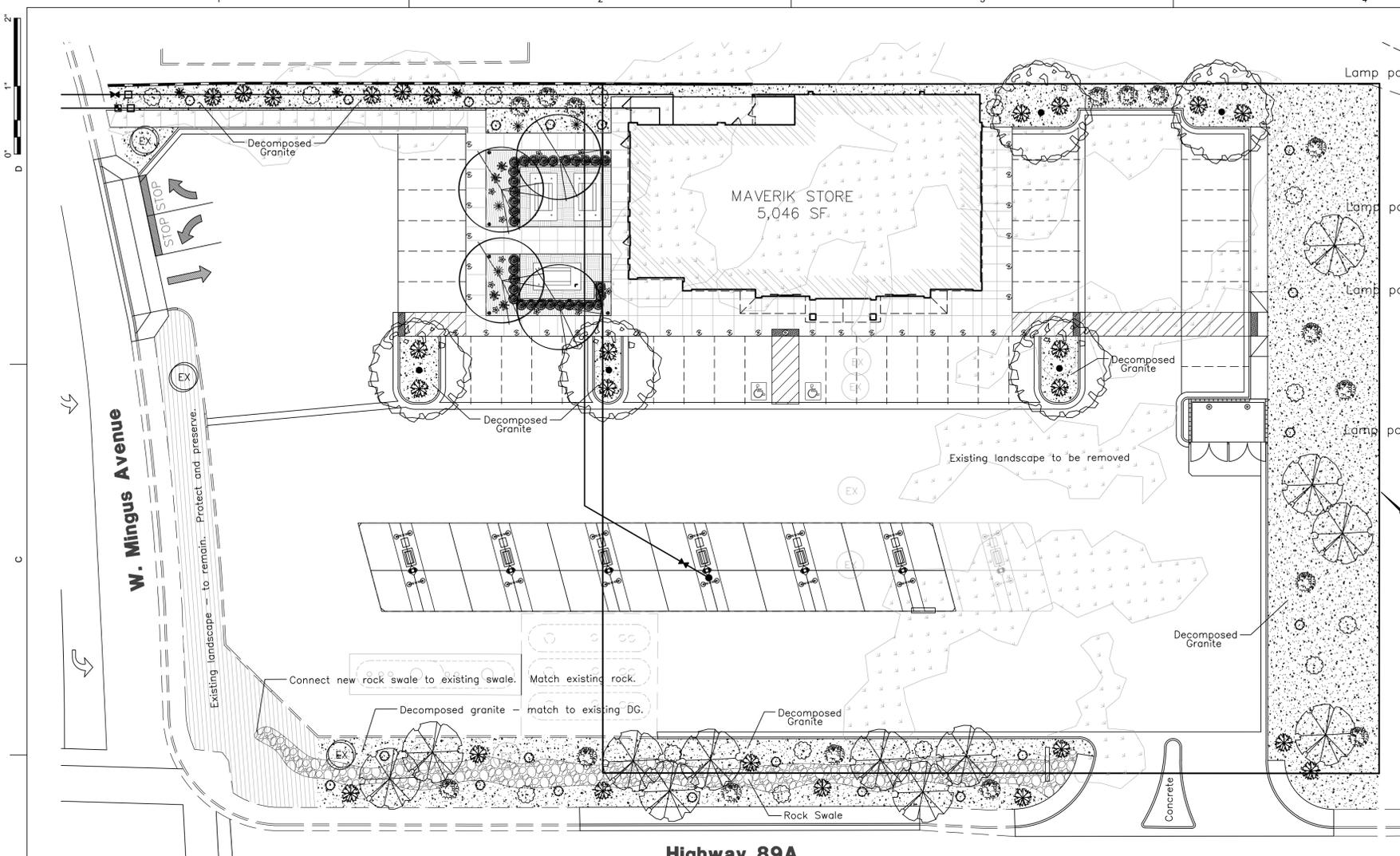
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PROJECT NUMBER: 5799-160

DRAWN BY: RWH

ENGINEER: JNR

C13



PICNIC AREA DETAIL

Decomposed granite in all picnic area beds
 Lamp posts have hanging flower baskets
 Stamped, colored concrete in picnic area
 Interplant annual flowers in picnic area beds

General Notes

- A) The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction. The contractor shall coordinate his work with the project manager and all other contractors working on this site.
- B) The finish grade of all planting area shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 3/4" below the top of all surrounding walks, curbs, etc.
- C) The contractor shall stake the location of all plants for approval prior to planting. Trees shall be located equidistant from all surrounding plant material. Shrubs and ground covers shall be triangular and equally spaced.
- D) The plant materials list is provided as an indication of the specific requirements of the plants specified, wherever in conflict with the planting plan, the planting plan shall govern.
- E) The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- F) All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications. The Owner/Landscape Architect decision will be final.
- G) The contractor shall keep the premises, storage areas and paving areas neat and orderly at all times. Remove trash, sweep, clean, hose, etc. daily.
- H) The contractor shall plant all plants per the planting details, stake/guy as shown. Top of root balls shall be planted flush with grade.
- I) The contractor shall not impede drainage in any way. The contractor shall always maintain positive drainage away from the building, walls, etc.
- J) The contractor shall maintain all work until ALL work is complete and accepted by the Owner. In addition, the contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing, cleaning, insecticides, herbicides, etc.
- K) Maverik Corporation shall be responsible for landscape maintenance beyond construction period.

Landscape Calculations

TOTAL Site = 72,591 SF. TOTAL Landscape Area = 17,991 SF (25%)
 On-Site Landscape = 14,950 SF
 Off-Site Landscape = 3,041 SF
 CODE: One tree, 3 shrubs/25 LF of street frontage. Plants may be clustered.
 W. Mingus Ave. - Existing landscape to remain.
 Highway 89A - 257 LF/25 = 10 trees, 30 shrubs req/10 trees, 30 shrubs provided.
 (1 Existing tree, 9 new trees)
 CODE: Parking Islands - 1 tree, 2 shrubs required in each island.
 3 Parking Islands - 3 trees, 6 shrubs req/3 trees, 6 shrubs provided.

Plant Table

All plants selected from Cottonwood Area Plant List

TREES

Quantity	Symbol	Scientific Name	Common Name	Planting Size	Water Needs
5		Fraxinus velutina	Modesto Ash	15 gal.	low
4		Pistache chinensis 'Red Push'	Red Push Chinese Pistache	15 gal.	low
12		Proposis velutina	Velvet Mesquite	15 gal.	very low

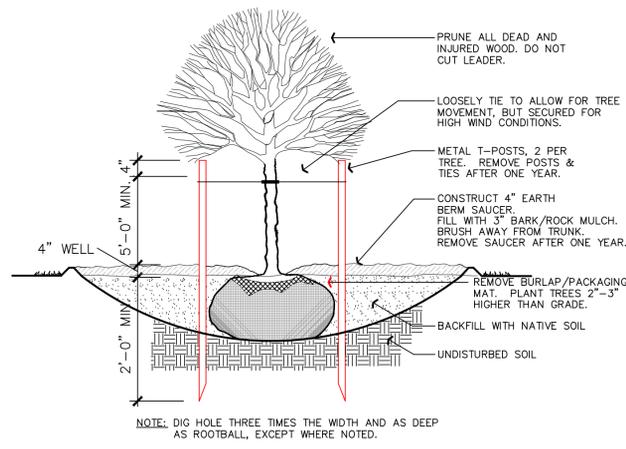
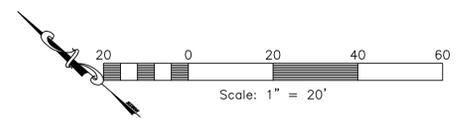
SHRUBS

Quantity	Symbol	Scientific Name	Common Name	Planting Size	Water Needs
16		Caesalpinia gilliesii	Yellow Bird of Paradise	5 gal.	low
25		Juniperus sabina 'Buffalo'	Buffalo Juniper	1 gal.	very low
14		Leucophyllum 'Green Cloud'	Green Cloud Texas Sage	1 gal.	very low
32		Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum	1 gal.	low
20		Salvia greggii	Autumn Sage	1 gal.	very low

PERENNIALS

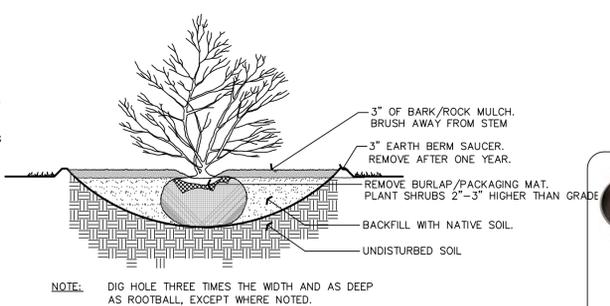
Quantity	Symbol	Scientific Name	Common Name	Planting Size	Water Needs
11		Chrysactina mexicana	Desert Daisy	1 gal.	very low
7		Hesperaloe parvifolia	Red Yucca	1 gal.	very low
4		Muhlenbergia capparis 'Regal Mist'	Pink Muhly Grass	1 gal.	very low

- Decorative Boulders
- Existing trees to be removed
- Existing trees to remain. Protect and preserve.
- Existing landscape to be removed.
- Existing landscape to remain. Protect and preserve.
- Decomposed granite - match to existing. Place over DeWitt Pro 5 Weed Barrier Cloth, or equal.
- Crushed rock mulch in swales - match to existing. Place over DeWitt Pro 5 Weed Barrier Cloth, or equal.



DECIDUOUS TREE PLANTING

SCALE: NOT TO SCALE



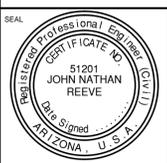
SHRUB PLANTING

SCALE: NOT TO SCALE

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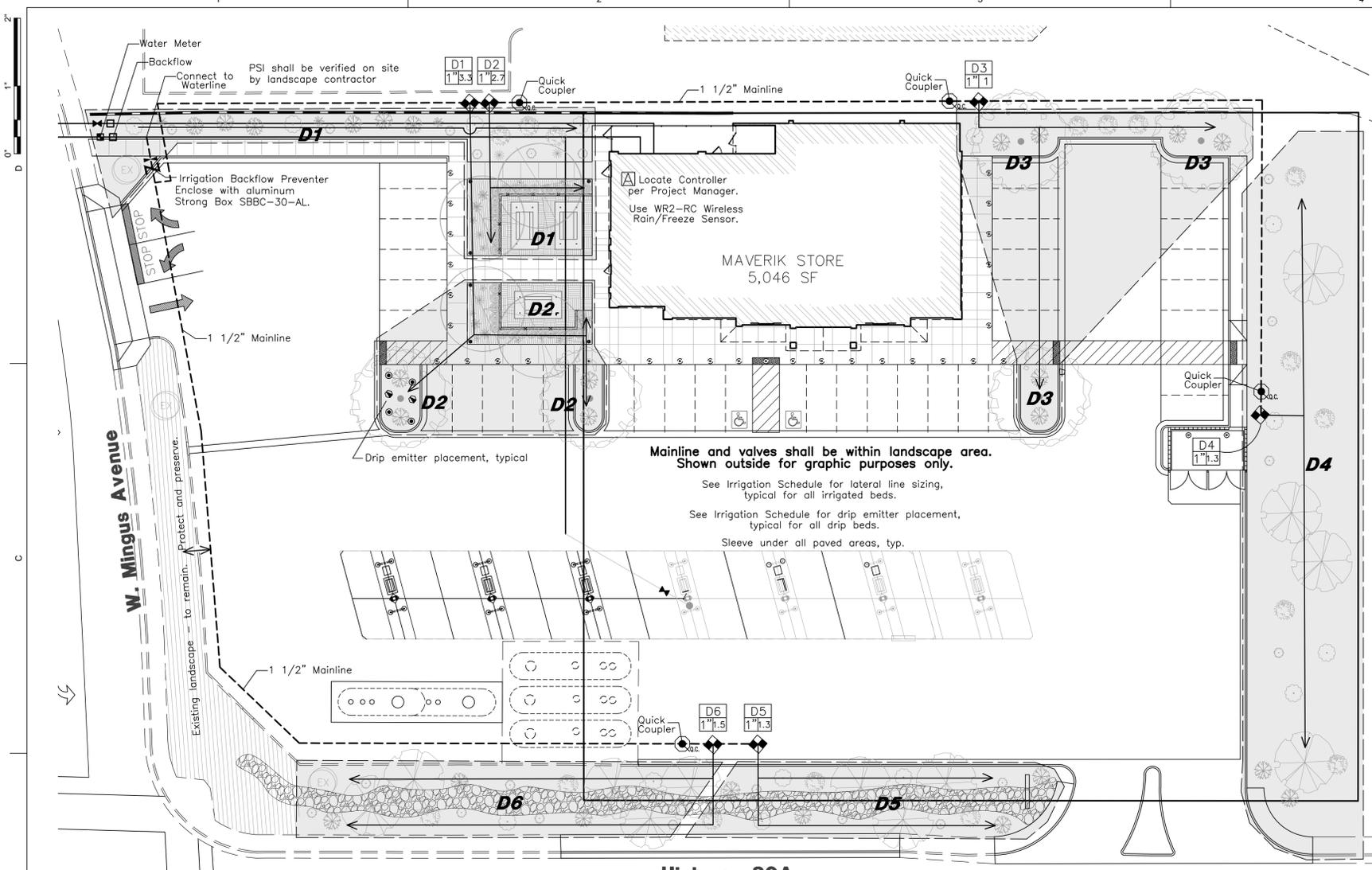


DATE	REVISION



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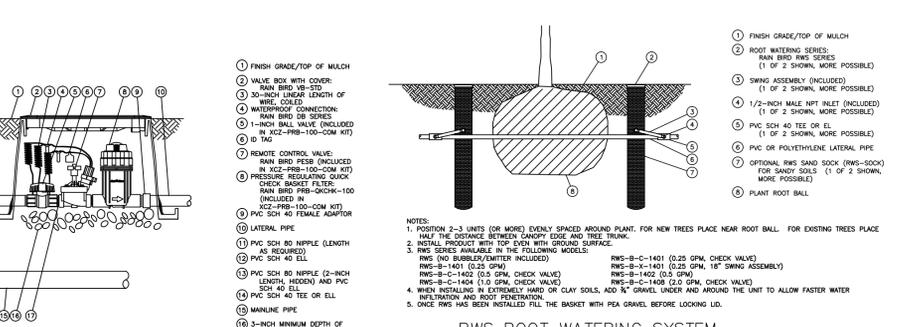
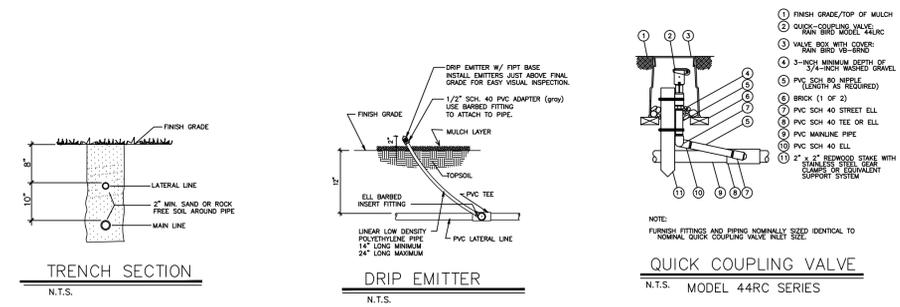
PROJECT NUMBER: 5799-160
 DRAWN BY: RWH
 ENGINEER: JNR



SPRINKLER NOTE

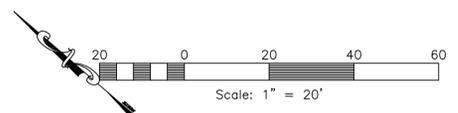
All Plant Material shown on the drawing shall be serviced by an Automatic Underground Irrigation System. The Contractor is to have a qualified Irrigation specialist prepare a design for an Automatic Underground Irrigation System and submit drawings to the Engineer for approval at least 30 days prior to the system installation. Underground Irrigation System Drawings shall be prepared on 24"x36" sheet, neatly drawn and very legible. Drawings are to include head spacing, types of heads, piping with sizes, valves, fittings and all other items required for proper installation of the system.

The Landscape Contractor shall be responsible for the installation of all irrigation sleeves prior to placement of hard improvements. Coordinate with the General Contractor. The Landscape Contractor is to provide an Irrigation System connection (meter and backflow preventer assembly) to the waterline, as applicable, within State and Local jurisdictional codes. The Irrigation Contractor is responsible to coordinate this item with the Utility Contractor. The Irrigation Control Box shall be located at the direction of the Project Manager.



IRRIGATION SCHEDULE

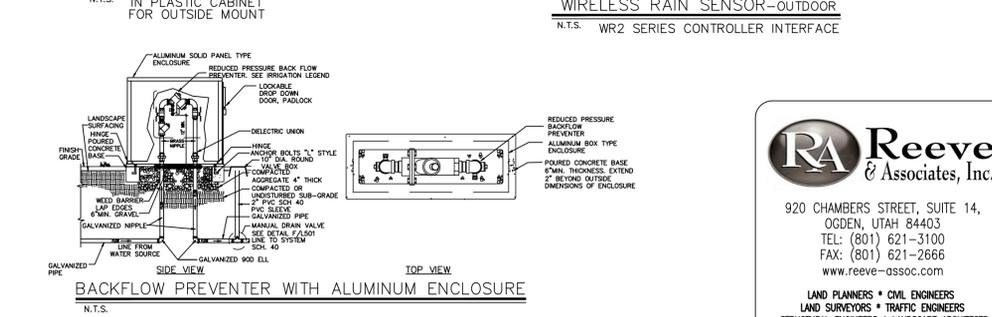
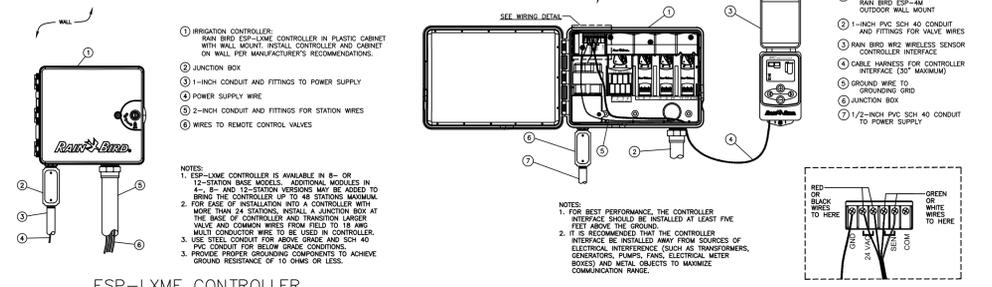
SYMBOL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION
	RAINBIRD	RWS-B-C-1401	ROOT WATERING SERIES, 0.25 GPM, 2 EMITTERS/TREE
	RAINBIRD	XB-T-20-PC	XERIBUG THREADED DRIP EMITTERS, 2 GAL/HOUR 1 EMITTER/1 GAL. PLANT, 2 EMITTERS/5 GAL. PLANT.
	RAINBIRD	XCZ-100-PRB-COM	COMMERCIAL CONTROL ZONE KIT DRIP VALVE
	VALVE NO & CONTROLLER		VALVE ID BOX
			1-1/2" MAINLINE - SCHEDULE 40 PVC
			LATERAL LINE - CLASS 200 PVC, SIZED AS FOLLOWS 3/4" (0-10 gpm), 1" (10-16 gpm), 1 1/4" (16-26 gpm), 1 1/2" (26-35 gpm), 2" (35-55 gpm)
	RAINBIRD	ESP 8 LXME:120 VAC	INDOOR/OUTDOOR MOUNT BASE CONTROLLER.
			SLEEVING - SCHEDULE 40 PVC, 2 SIZES GREATER THAN INTERIOR PIPE SLEEVING USED WHENEVER IRRIGATION IS PLACED UNDER PAVED AREAS.
			GATE VALVE - SIZE PER PIPE - PLACE SLEEVE OVER VALVE
	WILKENS	MODEL 375 OR EQUAL	BACKFLOW PREVENTION, SIZE AS PER CITY/COUNTY REGULATIONS.
	RAINBIRD	MODEL 44LRC	1" QUICK COUPLING VALVE
			IRRIGATION ZONES



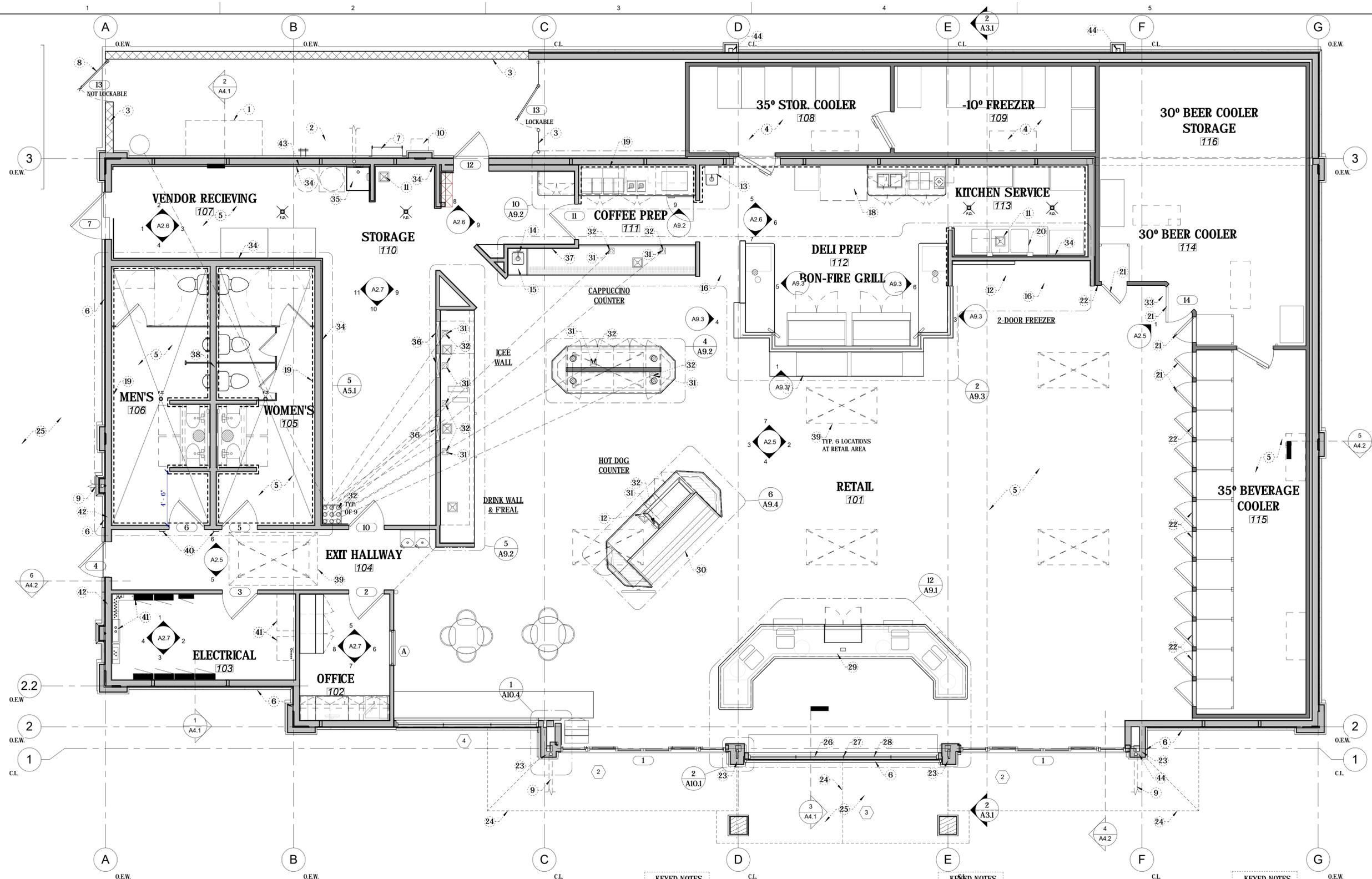
NOTE: USE RAINBIRD HE-VAN SERIES VARIABLE ARC NOZZLES WHERE NECESSARY, FOR AREAS LESS THAN 15' RADIUS, TO MAINTAIN PROPER COVERAGE. USE R-VAN ROTARY NOZZLES FOR AREAS UP TO 24' RADIUS. DO NOT USE BOTH HE-VAN AND R-VAN NOZZLES IN THE SAME IRRIGATION ZONE.

NOTE: USE STRONG BOX SBBC 30 AL ALUMINUM BOX TO ENCLOSE BACKFLOW PREVENTER.

NOTE: USE WR2-RC WIRELESS RAIN/FREEZE SENSOR.



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FLOOR PLAN
1/4" = 1'-0"

GENERAL NOTES

- (A) ALL PENETRATIONS IN CABINETS TO BE CAULKED AND SEALED.
- (B) CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE CONCRETE FLOOR AND GLASS DURING CONSTRUCTION.
- (C) SEE EQUIPMENT PLAN - SHEET A1.5 WALL TYPES AND PLAN ON SHEETS A8.2, A8.3, A8.4, & A1.8.
- (D) G.C. TO DIRECT STRUCTURAL QUESTIONS TO ARCHITECT.
- (E) TAPE ONLY ON GYPSUM BOARD ON UNEXPOSED WALL BETWEEN REFRIGERATION PANEL WALLS AND EXTERIOR BEARING WALL.
- (F) DO NOT SEAL THE FLOOR IN THE BEVERAGE COOLER AND THE BEER COOLER AREAS.

ABBREVIATIONS:
C.L. - CENTER LINE OF STRUCTURAL COLUMN.
O.E.W. - OUTSIDE EDGE OF WALL.

KEYED NOTES.

- 1 MAIN DISTRIBUTION PANEL ON TOP OF A CONCRETE SLAB (ELEV. = 99'-11 1/2") 4'-0" X 8'-6". VERIFY SIZE WITH ELECTRICAL CONTRACTOR.
- 2 CO2 CANISTER/TANK. SEE PLUMBING DRAWINGS.
- 3 8'-0" HIGH FENCE OR WALL. SEE ELEVATIONS.
- 4 WALK-IN COOLER/FREEZER. AS NOTED, BY OTHER. SEE EQUIPMENT PLAN A1.5.
- 5 TILE FLOOR. SEE FINISH/COLOR SCHEDULE AND SHEET A1.8 FOR TILE PATTERN LAYOUT.
- 6 FOUNDATION WALL SHALL ALIGN WITH STONE VENEER TO SUPPORT THE STONE. SEE STRUCTURAL AND SLAB PLAN.
- 7 ROOF ACCESS LADDER - SEE DETAIL 12/A10.2.
- 8 8'-0" HIGH GATE. SEE DOOR SCHEDULE.
- 9 CANOPY ROOF DRAIN. NO PIPE JOINTS BELOW FINISHED FLOOR. SEE CIVIL DRAWINGS. PROVIDE HEAT TRACE THRU PIPE. SEE ELECTRICAL & PLUMBING DRAWINGS.
- 10 GAS METER. SEE CIVIL, UTILITY, MECHANICAL & PLUMBING DRAWINGS.
- 11 FLOOR SINK WITH GRATE. SEE PLUMBING AND MECHANICAL DRAWINGS.
- 12 STAINLESS STEEL FLOOR SINK SURROUND WITH CROSS BAR OVER FLOOR SINK. SEE DETAIL 8/A9.5 TYP. AND PLUMBING DRAWINGS.
- 13 HAND SINK. SEE PLUMBING DRAWINGS.
- 14 RINSE SINK. SEE PLUMBING DRAWINGS.
- 15 THIS SINK IS PROVIDED BY THE MILLWORK OR COUNTER TOP CONTRACTOR.
- 16 LINE OF VALANCE ABOVE. SEE DETAILS 4 AND 6/A3.1.

KEYED NOTES.

- 17 MILLWORK. REFERENCE INTERIOR ELEVATIONS.
- 18 STAINLESS STEEL EXHAUST HOOD AND SKIRT. SEE HVAC DRAWINGS FOR FABRICATOR. ALIGN WITH TOP OF TILE.
- 19 THICK DASHED LINES REPRESENT CERAMIC TILE WALL OVER GREEN BOARD GYP BOARD. SEE INTERIOR ELEVATIONS.
- 20 COMPARTMENT SINK. SEE EQUIPMENT PLAN.
- 21 THESE DOORS SHALL HAVE LOCKS.
- 22 5/8" TYPE "X" GYP. BOARD SURFACE ATTACHED TO COOLER WALL, CONTINUOUS TO DECK SEE 7/A10.1.
- 23 METAL STUD FRAMING FURR OUT (FROM TOP OF FOUNDATION WALL TO TOP OF PARAPET WALLS).
- 24 LINE OF CANOPY ROOF ABOVE (SEE A1.6).
- 25 EXTERIOR CONCRETE SIDEWALK SEE SITE PLAN, AND CIVIL DRAWINGS.
- 26 TUBULAR STEEL BETWEEN COLUMNS. SEE STRUCTURAL DRAWINGS.
- 27 SOLID SURFACE SILL. SEE 1/A7.1.
- 28 STOREFRONT WINDOW FRAMING SYSTEM. SEE WINDOW SCHEDULE ON SHEET A7.1.
- 29 STUB UP P.O.S. CABLING FROM OFFICE TO P.O.S. STATION.
- 30 4" CONDUIT TO REMOTE CONDENSERS WITH LONG SWEEP.

KEYED NOTES.

- 31 STAINLESS STEEL APRON. SEE PLUMBING AND 10/A9.5.
- 32 4" DIAMETER UNDERFLOOR CONDUIT FOR WATER AND CARBONATED BEVERAGE LINES (SEE MECHANICAL DRAWINGS).
- 33 TV ABOVE. PROVIDE 2X WOOD BLOCKING BEHIND GRP BOARD ATTACHED TO STUDS. (VERIFY WITH TV MOUNT MANUFACTURER). PLACE BLOCKING 8'-0" ABOVE FINISH FLOOR TO 10'-0" ABOVE FINISH FLOOR. BOTTOM OF TV SHOULD BE LOCATED 9'-0" ABOVE FINISHED FLOOR.
- 34 FIBERGLASS REINFORCED PANEL (REFLECTED CEILING PLAN) . 12" VERTICAL. SEE FINISH SCHEDULE. SHOWN AS A THICK LINE.
- 35 SEAL AROUND THE MOP SINK WITH WHITE PLUMBING CAULK AS REQUIRED.
- 36 PROVIDE ACCESS PANELS - SEE INTERIOR ELEVATIONS ON PAGES A2.4 AND A2.6.
- 37 CLEAR PROTECTIVE COATING OVER GRAPHICS BEHIND COFFEE WALLS EQUIPMENT AS PER OWNER.
- 38 2X SUPPORT BLOCKING, CONT. AS REQUIRED FOR FIXTURES.
- 39 DASHED LINE INDICATES SKYLIGHT ABOVE. SEE REFLECTED CEILING PLAN.
- 40 RESTROOM (MENS' AND WOMENS') WALL MOUNTED SIGN WITH ACCESSIBILITY SYMBOL.
- 41 ELECTRICAL PANELS. SEE ELECTRICAL DRAWINGS AND ELECTRICAL ROOM ELEVATIONS.
- 42 STEEL COLUMNS. SEE STRUCTURAL.
- 43 FURR OUT WALL 2" FOR ROOF DRAIN PIPE.
- 44 ROOF DRAIN TO TIE INTO STORM DRAIN SYSTEM.

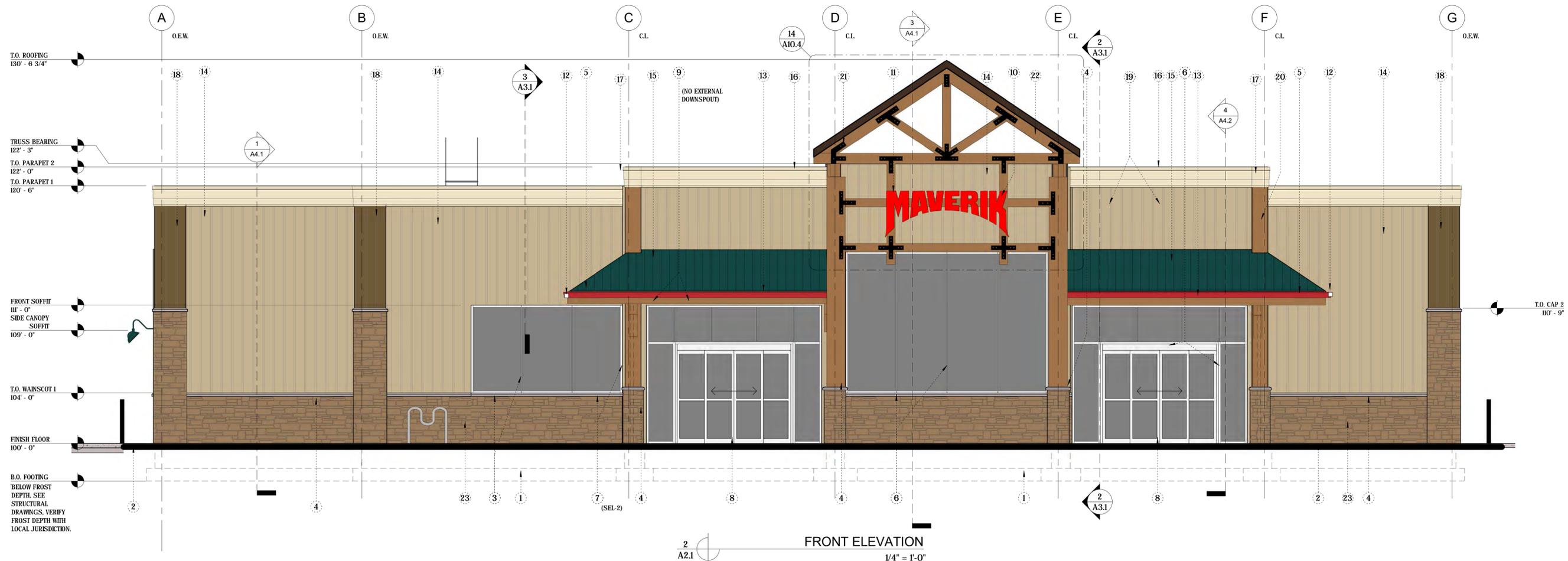


1
A2.1 BUILDING PERSPECTIVE

KEYED NOTES.

- 1 CONCRETE FOOTINGS AND FOUNDATIONS, SEE STRUCTURAL DRAWINGS.
- 2 EXTERIOR CONCRETE WALK WITH SAW CUT JOINTS ONLY. SLOPE 1:48 AWAY FROM THE BUILDING. SEE SITE PLAN FOR REINFORCEMENT AND LOCATION.
- 3 SILKON GLAZING SEALANT.
- 4 STONE VENEER SILL CAP (SEE COLOR SCHEDULE BR-1). SEE DETAIL 3/A-10.4 AND 1/A-7.1
- 5 PRE-FINISHED METAL FASCIA, COLOR C-1
- 6 STOREFRONT WINDOW FRAMING SYSTEM.
- 7 CAULK ALONG DISSIMILAR MATERIALS.
- 8 ALUMINUM ENTRY DOOR.
- 9 PRE-FINISHED METAL SOFFIT, COLOR C-3
- 10 OWNER SUPPLIED AND CONTRACTOR/VENDOR INSTALLED ICONS.
- 11 SEE ELECTRICAL PLANS
- 12 HEAT TRACE THRU DRAIN PIPE, SEE ELECTRICAL PLAN. CONTROL BOX ON FACADE TO BE CENTERED OVER GUTTER, PAINT TO MATCH E.F.S.
- 13 26 GAUGE PRE-FINISHED METAL GUTTER (COLOR C-2). NO EXTERNAL DOWNSPOUTS. GUTTER SHALL ATTACH TO INTERNAL DOWNSPOUT WITH PREFRUSHED METAL REDUCER STEM TO ATTACH TO 3" ABS PIPE WITHIN COLUMN, WITH NO-HUM CONNECTOR, AND OUT FRONT OF STORE UNDER FRONT SIDEWALK. HEAT TRACE THRU DRAIN PIPE. SEE ELECTRICAL PLAN SEE ARCHITECTURAL SITE PLAN TO SEE WHERE IT TERMINATES. SEE CIVIL AND PLUMBING DRAWINGS.
- 14 FIBER CEMENT BOARD AND BATTEN BR-1. SEE FINISH SCHEDULE
- 15 MBCI PRE-FAB, PRE-FINISHED ROOF PANELS, COLOR C-1
- 16 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUE CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET WITH GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET WITH NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM. NO LAPS ALLOWED.
- 17 MITER AND RETURN TO PARAPET WALL. SEE DETAIL 5/A-10.3
- 18 FIBER CEMENT BOARD AND BATTEN BR-2. SEE FINISH SCHEDULE
- 19 SURFACE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL
- 20 HEAVY TIMBER VENEER OVER LIQUID APPLIED AIR BARRIER OVER SHEATHING OVER METAL FURRING.
- 21 STEEL GUSSET PLATES. TYPICAL FOR TIMBER CONNECTIONS. PAINTED (VERIFY WITH ARCHITECT). SEE STRUCTURAL
- 22 WOOD TIMBER COLUMNS AND BEAMS. STAIN BEFORE ASSEMBLING. SEE ELEVATIONS AND STRUCTURAL DRAWINGS.
- 23 STONE VENEER (BR-1 SEE COLOR SCHEDULE), SEE DETAIL 3/A-10.4 AND 1/A-7.1

ABBREVIATIONS:
C.L. - CENTER LINE OF STRUCTURAL COLUMN.
O.E.M. - OUTSIDE EDGE OF WALL.



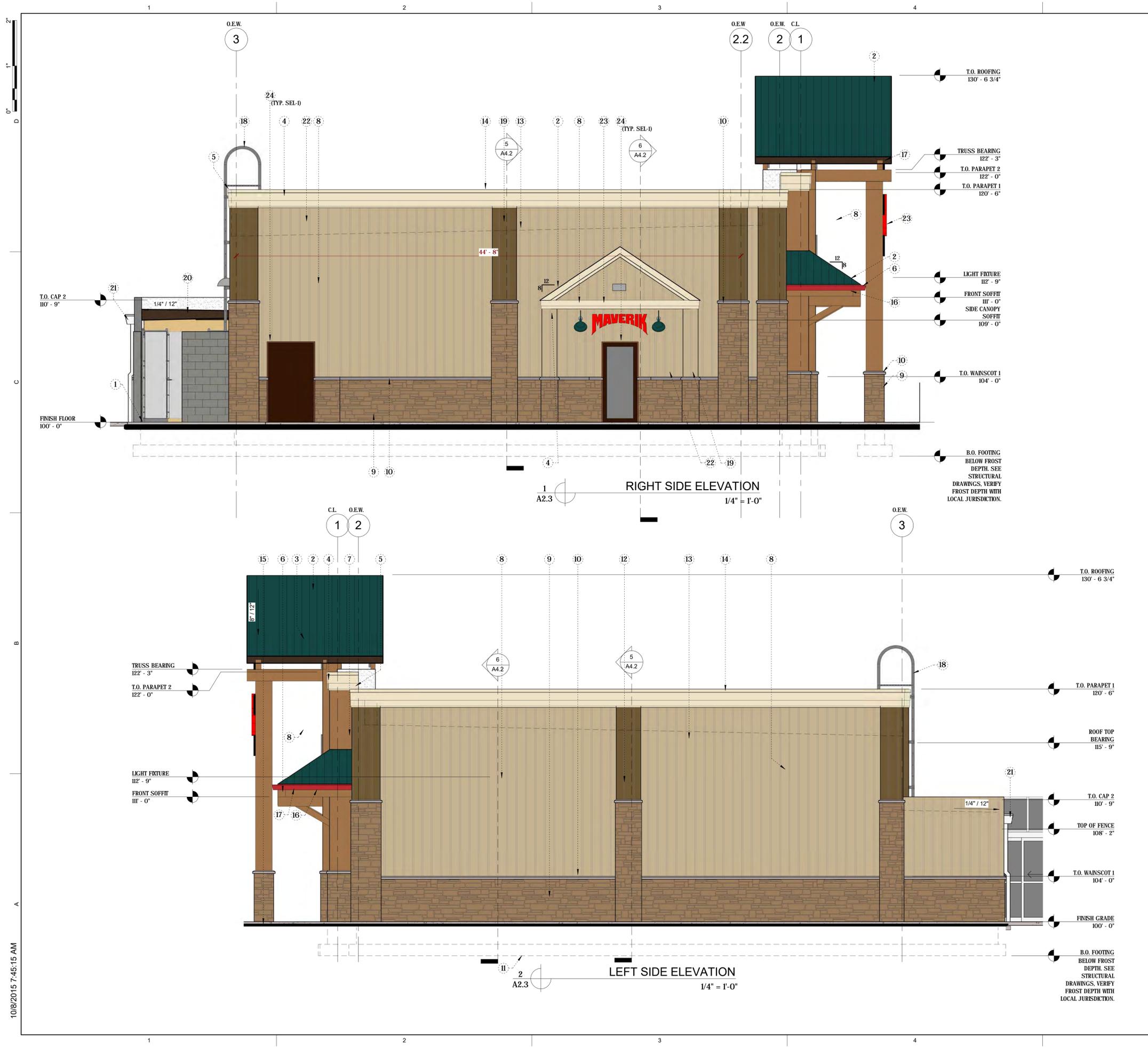
2
A2.1 FRONT ELEVATION
1/4" = 1'-0"

DATE	STATUS
10/08/2015	PERMIT SET

DATE	REVISION

PROJECT NUMBER	15107
FILE	
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1/4" = 1'-0"

ARCHITECTURAL ELEVATIONS



- KEYED NOTES**
- CONCRETE SLAB AT HOUSEKEEPING BEYOND. SLOPE AWAY FROM BUILDING AT 1:48 SLOPE. SEE CIVIL FOR GRADES.
 - MBCI PRE-FAB. PRE-FINISHED ROOF PANELS. COLOR C-1
 - PRE-FINISHED METAL EAVE FLASHING BY ROOF MANUFACTURER COLOR C-1
 - COLOR TO BE BB-3. SEE COLOR SCHEDULE ON SHEET A-8.1
 - MITER AND RETURN TO PARAPET WALL. SEE DETAIL 5/A-10.3
 - 26 GAUGE PRE-FINISHED METAL GUTTER (COLOR C-2). NO EXTERNAL DOWNSPOUTS. GUTTER SHALL ATTACH TO INTERNAL DOWNSPOUT WITH PREFINISHED METAL REDUCER STEM TO ATTACH TO 3" ABS PIPE WITHIN COLUMN. WITH NO-HUM CONNECTOR. AND OUT FRONT OF STORE UNDER FRONT SIDEWALK. HEAT TRACE THRU DRAIN PIPE. SEE ELECTRICAL PLAN SEE ARCHITECTURAL SITE PLAN TO SEE WHERE IT TERMINATES. SEE CIVIL AND PLUMBING DRAWINGS.
 - WHERE COLUMNS APPEAR AT ELEVATION ABOVE CANOPY. EL.F.S. OVER LIQUID APPLIED AIR BARRIER OVER SHEATHING OVER METAL FURRING.
 - SURFACE MOUNTED LIGHT FIXTURE. SEE ELECTRICAL.
 - STONE VENEER (BR-1 SEE COLOR SCHEDULE). SEE DETAIL 3/A-10.4 AND 1/A-7.1
 - STONE VENEER SILL CAP (SEE COLOR SCHEDULE BR-0). SEE DETAIL 3/A-10.4 AND 1/A-7.1
 - CONCRETE FOOTINGS AND FOUNDATIONS. SEE STRUCTURAL DRAWINGS.
 - BATT AND BOARD. SEE COLOR SCHEDULE.
 - DASHED LINE IS LINE OF ROOF BEYOND.
 - 24 GAUGE PRE-FINISHED COPING SECURED TO 24 GAUGE PRE-FINISHED CONTINUE CONCEALED CLEAT ON OUTSIDE OF PARAPET. FASTEN CLEAT ON OUTSIDE OF PARAPET WITH GALVANIZED ROOFING NAIL AT 6" O.C. FASTEN INSIDE LEG OF COPING TO PARAPET WITH NEOPRENE GASKETED FASTENERS. ALL SEAMS TO BE STANDING SEAM. NO LAPS ALLOWED.
 - EXTERIOR CONCRETE WALK WITH SAW CUT JOINTS ONLY. SLOPE 1:48 AWAY FROM THE BUILDING. SEE SITE PLAN FOR REINFORCEMENT AND LOCATION.
 - PRE-FINISHED METAL SOFFIT. COLOR C-3
 - PRE-FINISHED METAL FASCIA. COLOR C-1
 - ROOF ACCESS LADDER WITH LOCKED SECURITY GATE. BLOCKING REQUIRED. SEE DETAIL 8/A-10.2
 - FIBER CEMENT BOARD AND BATTEN BB-2. SEE FINISH SCHEDULE
 - OWNER SUPPLIED/INSTALLED FREEZER/COOLER UNIT - METAL ROOF COLOR TO MATCH EL.F.S-1
 - PROVIDE SCUPPER THROUGH PARAPET WALL FOR ROOF DRAINAGE.
 - FIBER CEMENT BOARD AND BATTEN BB-1. SEE FINISH SCHEDULE
 - MAVERIK SIGN BY YES CO. PERMITTED UNDER SEPARATE PERMIT. SEE ELECTRICAL DRAWINGS.
 - CAULK ALONG DISSIMILAR MATERIALS.
- ABBREVIATIONS:**
 C.L. - CENTER LINE OF STRUCTURAL COLUMN.
 O.E.M. - OUTSIDE EDGE OF WALL.

FFKR ARCHITECTS

bogue building
 730 pacific avenue
 salt lake city
 Utah 84104

• 801-521-6186
 • 801-539-1916
 fkr.com

MAVERIK

COTTONWOOD MAVERIK
 COTTONWOOD, ARIZONA
 PLANNING AND ZONING REVIEW

DATE	STATUS
10/08/2015	PERMIT SET

DATE	REVISION

PROJECT NUMBER 15107

FILE

DRAWN BY Author

CHECKED BY Checker

SCALE 1/4" = 1'-0"

ARCHITECTURAL ELEVATIONS

A2.3

10/8/2015 7:46:15 AM



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: February 22, 2016

PROJECT NUMBER: **DR 16-005 Main Street Plaza**

The applicant is requesting approval of a Design Review application for the construction of a new single story retail building along Main Street in Old Town.

PROJECT DATA AND FACTS:

Applicant/Agent	Thomas Valentine
Owner	Copper State Land, LLC. Mike & Victoria Clark
Location of Property	802 N. Main Street
Present Zoning and Land Use	C-1 (Light Commercial)
Description of Applicant’s Request	Construct a new one story, 1,755 square foot retail building.

LAND USE:

Description and Character of Surrounding Area
The site is located at 802 N. Main Street, on the curve going into Old Town, across from the Civic Center. The property is currently vacant with the exception of a small shed in the southwest corner.
North: C-1 - Light Commercial – Retail/Office building.
East (across Main Street): C-1 – Light Commercial – Parking lot/Cottonwood Civic Center.
South: C-1 – Light Commercial – Retail.
West: R-1 – Single Family Residential – Single Family home.

PROJECT PROPOSAL:

Background:

Currently the site is undeveloped and mostly vacant, except for a small 525 square foot shed in the southwest corner of the property. The property owner would like to do an infill development at the site by constructing a new retail building with a courtyard to attract pedestrians into the Old Town area.

The proposed development fits within the General Plan designation for this area and the Land Use Map showing General Commercial development.

STRUCTURE DESIGN:

Number and Proposed Use of Building	1 Retail Building
Number of Stories	1
Square Footage	1,755

Parking:

This property is located within the Cottonwood Historic District and is exempt from all parking requirements.

Lighting:

Exterior lighting will meet all Dark Sky and lighting code requirements.

Signage:

Sign details have not been submitted at this time. Any signage will depend on the occupancy of the building.

Access:

Due to the exemption from parking regulations, vehicle access will not be available. Pedestrian access will be available via N. Main Street on the east side of the property. Customers will enter the property into a courtyard before entering the building.

Landscape Plan:

A detailed landscape plan has been submitted and meets all code requirements. Some existing landscaping will be removed, and some will be left in place along the front of the property. Pave stones will be laid out throughout the courtyard area and other ground cover will consist of ¾" minus Apache Pink Gravel. All plant materials meet drought tolerant requirements for the city.

Utilities:

All necessary utilities are available to the site.

Architecture, Materials, Colors:

The building will be one story with a stucco finish and metal roof. The stucco finish will consist of Valspar Chocolate Milk, with a Classic Green roof. The architectural style and colors were chosen to complement the surrounding buildings.

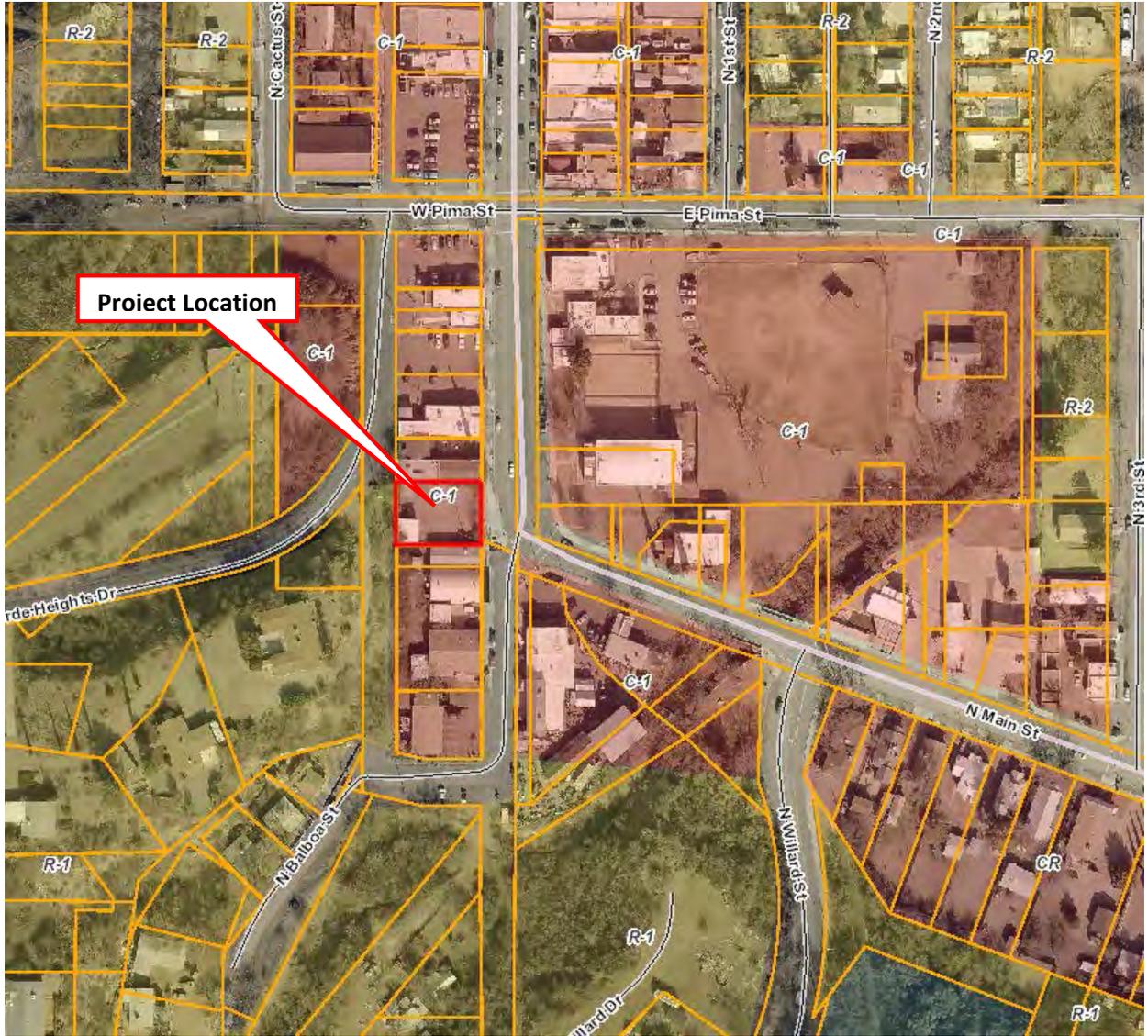
CRB Review:

This project was reviewed by the Code Review Board on December 8, 2015 and the applicant will meet all requirements from staff.

Staff Review:

Staff has reviewed this project and finds it fits within the General Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the site plans submitted January 22, 2016 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated December 14, 2015.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.



18 November, 2015

City of Cottonwood
Community Development Department
111 N. Main Street
Cottonwood, AZ 86326

RE: Letter of Intent for new construction at 802 N. Main, Old Town Cottonwood
Parcel #406-32-049
Owners of Copper State Land, LLC (Michael and Victoria Clark)
We purchased the lot in November of 2014 to be used for retail outlets.

Build a one story, tan color, stucco structure with a green metal roof to compliment the other buildings in the surrounding area. The building is 24 ft. wide in the front and would extend for 70 ft. to the rear of the lot. The square footage will be 1755 sq. ft.

Possible uses: antiques, clothing, books, crafts, cards/gifts, wine tasting, art gallery ice cream, jewelry or small offices.

Topographical plan and architectural drawings are enclosed.

Plans include an allowance for run off water.

Would be in compliance with the Old Town Cottonwood Master Plan

Would be in compliance with Old Town regulations and variances.

Upon completion of the building we would expect an employment of 5 workers.

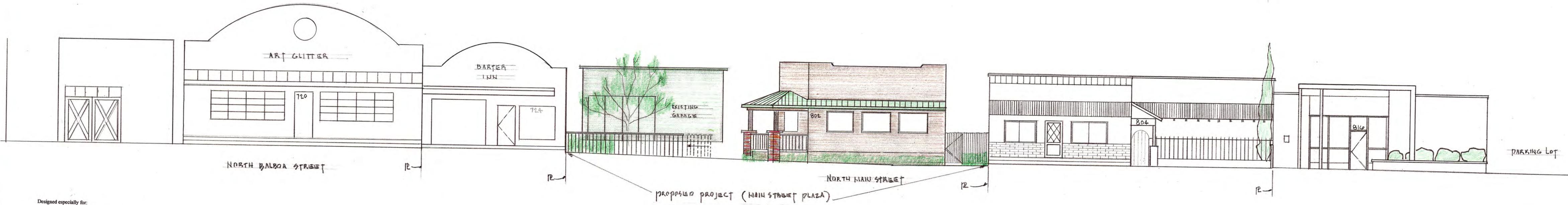
A substantial amount of time and effort have gone into creating an eye pleasing architectural design that would enhance the beauty and charm to the Old Town Cottonwood area.

We would like to have the building completed by June of 2016.

Sincerely,

Mike & Victoria
Mike and Victoria Clark
Copper State Land, LLC
180 Indian Ruin Road
Sedona, AZ 86351 928-284-3120

By *Thomas D. Valentine*
THOMAS D. VALENTINE
115 WHITE HORSE WAY
SEDONA, AZ 86351 (928) 284-1959



Designed especially for:
 Copper State Land, L.L.C.
 Mike and Victoria Clark
 180 Indian Ruin Road
 Sedona, AZ 86351-7345
 (928) 284-3120
 Fax: (928) 284-3122

STREET ELEVATION SCALE 1/8" = 1'-0"

ELEVATIONS

Thomas D. Valentine
 Professional Building Design
 Fine Homes for Over 30 Years
 115 White Horse Way
 Sedona, AZ 86351
 928-284-1959 Fax: 928-282-3488



Project: MAIN STREET PLN LA

Date: JANUARY 19, 2016

Site Address: 802 NORTH MAIN STREET

Project Coordinator: THOMAS D. VALENTINE

Phone: (928) 284-1959

Lumen Calculation Sheet

Cottonwood Zoning Ordinance (Sec. 408), "Outdoor Lighting Code"

The information below is accurate (to be signed by Project Coordinator):

Thomas D. Valentine

PLEASE ATTACHE THE FOLLOWING:

- Photometric data sheets or manufacturer's product description for all "S" type (shielded) fixture combinations showing photometric description to verify upward light control characteristics, All other fixtures will be considered unshielded, or "U" class luminaries. Mercury vapor lamps are prohibited.
- Site plan indicating placement of each fixture.

SITE ACREAGE = 0.17 ACRES 7345 SQ FT

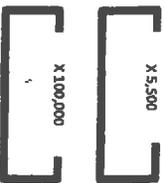
LESS ACRES FOR

RIGHTS-OF-WAY: N/A

NET ACRES = 0.17 ACRES

SITE MAXIMUM FOR UNSHIELDED LUMEN

SITE MAXIMUM FOR ALL LUMEN



LIGHTING INVENTORY

List information below for each fixture to be used for outdoor illumination (existing and proposed). Use the following Abbreviations:

Lamp type:

Shielding Type:

- LPS Low Press Sodium
 - HPS High Press Sodium
 - MH Metal Halide
 - HL Halogen
 - IN Incandescent
 - FL Fluorescent
 - S Shielded
 - U Unshielded
- See "Definitions" under Sec. 408 for clarification regarding shielding.

FIXTURE REFERENCE NUMBER (from attached site plan) AND USE/PURPOSE	CANOPY SIZE (if applicable)*	LAMP TYPE & SHIELDING	WATTS	MANUFACTURER'S MODEL AND CATALOG NO. (for shielded fixtures)	INITIAL LUMEN (see reverse)	QTY. UNITS	S LUMEN	U LUMEN	TOTALS*	
1. Commercial/Office, STREET FRONT, MAIN DRIVE		S	100	564-J CRYSTAL TOP		1	5985	N/A		
2. LIGHT POLE, TRUNK SIDE, FRONT PARKING		S	100	HILITE MFG. CO. INC. H-18-110-6N20		2	1710	N/A		
SUB-TOTALS										
GRAND TOTALS										7695

*Gas St. Canopies: All fixtures to be flush mounted. Lumen SUBTOTALS not to exceed 40 lumens/sq. ft. Lumen TOTALS to be divided by 2 (count only 50%)

NOT TO EXCEED SITE MAXIMUMS ABOVE

Ball fields and outdoor display areas which exceed 100,000 lumen per acre: I hereby certify that lighting associated with related facilities described above is no greater than minimum luminance levels for the activity recommended by the IESNA.

Approved By: _____
Date: _____ of _____
Sheet _____ of _____

Signature of Lighting Engineer

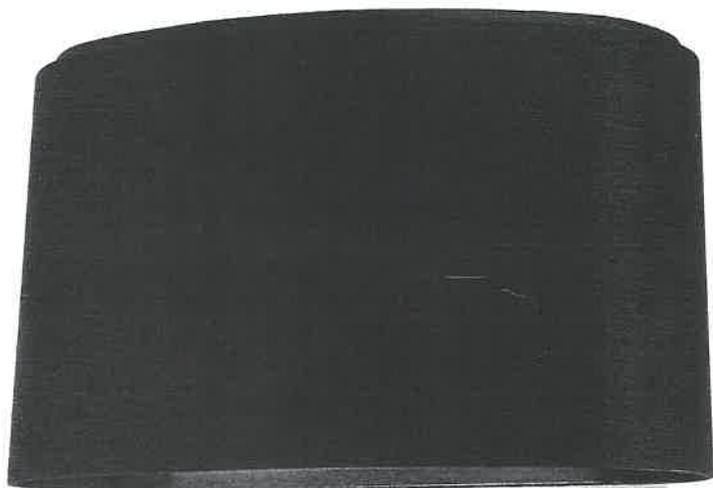
Arizona Registrar's No. _____

Dark-Sky

thegreatoutdoors

Everton

615B - Dorian Bronze™ finish



FEATURES:

- ▶ Cast Aluminum Construction
- ▶ Closed Top/Open Bottom
- ▶ IDA-Approved™
- ▶ See Finish Disclaimer on page 184



Everton, with its recessed light source and subtle design, suits as a quick, budget-conscious upgrade for interior or exterior locations. Easily increase the light in a hallway or along a walkway with this fully shielded fixture featuring two downward facing GU10 halogen bulbs. Let Everton be the perfect guide to illuminate your way.

72400-615B
Pocket Lantern
SIZE: 7"W 4.75"H 3.75"EXT.
2/35W GU10 Halogen Incl.



Dark-Sky



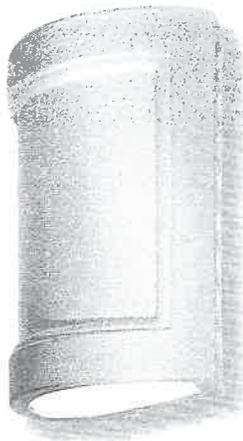
Ceramic

POCKET LANTERNS

INDOOR/OUTDOOR

thegreatoutdoors

9838
Pocket Lantern
SIZE: 7.25"W 9"H 4.25"EXT.
1/100W Medium Base
Closed Top



564-1
Pocket Lantern
SIZE: 8.25"W 10"H 5.5"EXT.
1/100W Medium Base
Closed Top

564-PL also available
1/13W GU24 Spiral CFL Incl.
California Title 24 Compliant

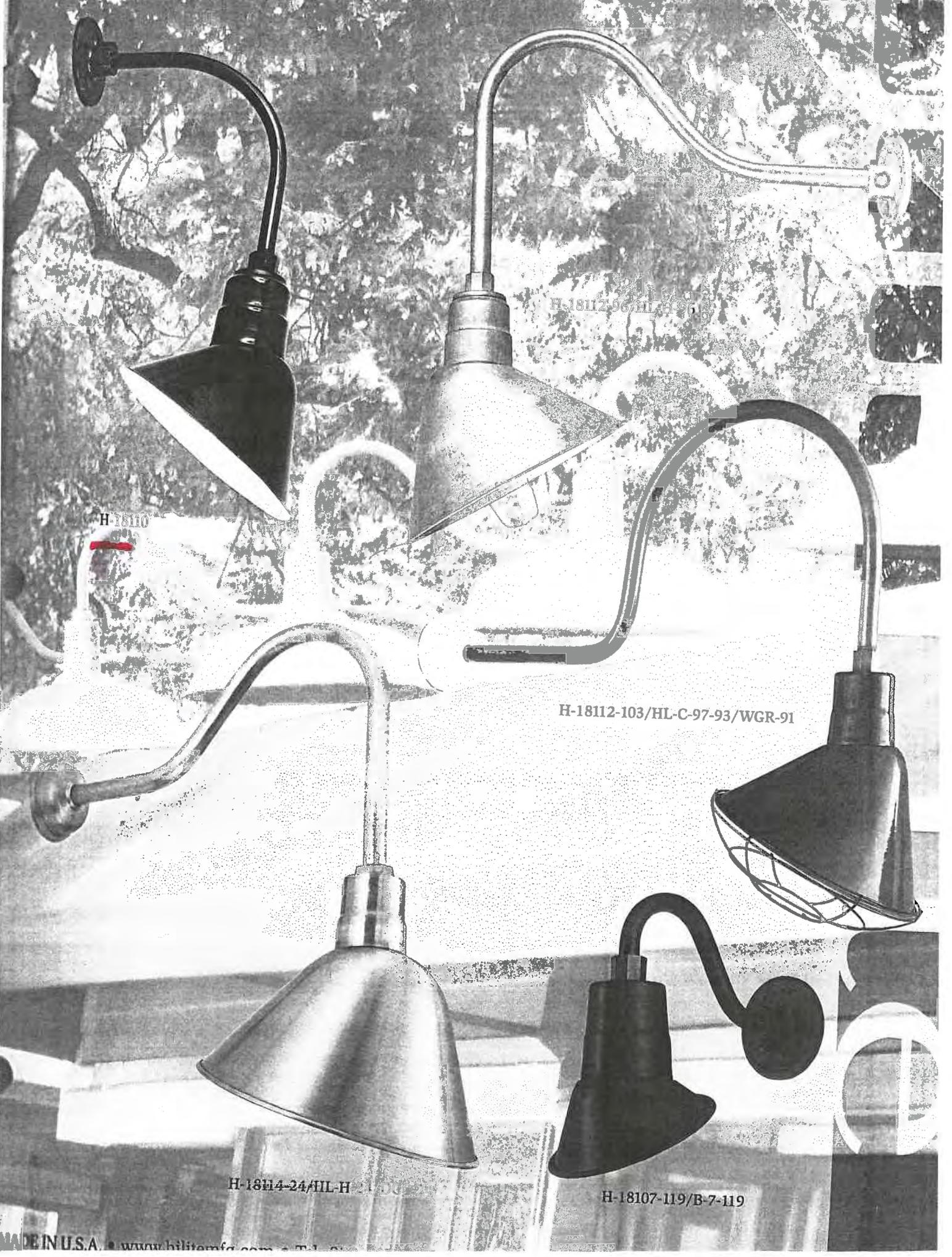
FEATURES:

- ▶ Carefree Ceramic Construction
- ▶ Closed Top/Open Bottom
- ▶ IDA-Approved™
- ▶ Family accepts CFL medium base bulbs (Not Incl.)
- ▶ See Finish Disclaimer on page 184



9836
Pocket Lantern
SIZE: 8"W 9.25"H 5.5"EXT.
1/100W Medium Base
Closed Top





H-18112-96/HL-H-96

H-18110

H-18112-103/HL-C-97-93/WGR-91

H-18114-24/HL-H-24/DG-24

H-18107-119/B-7-119

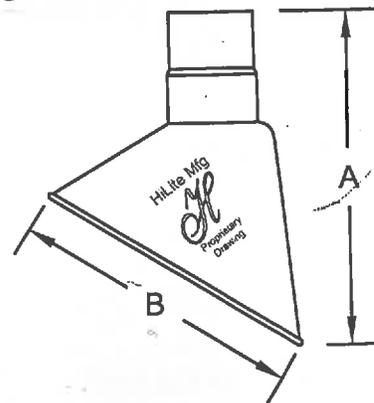


HI-LITE MFG. CO., INC.

13450 Monte Vista Avenue
Chino, California 91710
Telephone: (909) 465-1999
Fax: (909) 465-0907

Job Name: _____
Type: _____
Quantity: _____

Angle Shade Collection



Item Number	Height (A)	Width (B)
H-18107	8"	7"
H-18110	10-1/2"	10"
H-18112	12"	12"
H-18114	14-1/2"	14"

Fixture No.	Fixture Color	Mounting	Mounting Color	Optional Accessories	Accessory Color	Wattage/Lamp options	Ballast	Voltage
H-18107 ⁽¹⁾	Standard ⁽²⁾	Mounting Options	Standard	CGU	Standard	Incandescent	Ballast option not available for INC.	Incandescent
H-18110 ⁽¹⁾	91 (Black)	Options 1/2"	91 (Black)	(Cast guard & glass)	91 (Black)	(Fixture is standard 200W. Do not specify)	for INC.	(Fixture is standard 120V. Do not specify.)
H-18112	93 (White)	3/4"	93 (White)	LCGU	93 (White)	CFL (3)	RB (4)	CFL
H-18114	95 (Dk. Grn)	Stem Options (Stem 1/2")	95 (Dk. Grn)	(Large cast guard & glass)	95 (Dk. Grn)	(Compact Fluorescent)	(Remote)	M
	96 (Galv.)	___ST	96 (Galv.)	WGU	96 (Galv.)	13/CFL	BCM	(Multi 120/277V)
	BR47 (Rust)	Specify length and canopy.	BR47 (Rust)	(Wire guard & glass)	BR47 (Rust)	18/CFL	(Canopy Mount)	HID
		HSC (Canopy)		LWGU		26/CFL	PLB (5)	RB and BCM
		SMC (Canopy)		(Large wire guard & glass)		26/32/42/CFL	(Postline)	M (Multi 120/208/240/277V)
		Flush Mount Options		ARN		32/CFL	For specs see pages 341-343.	PLB
		FHSC		(Acorn globe)		42/CFL		1 (120V)
		FSMC		LARN		57/CFL		2 (277V)
		Arm Options		(Large acorn globe)		DMB		
		B-1 HL-K		WGR		(Dimmable Ballast for CFL. Add to Part No.)		
		HL-A HL-U		(Wire guard)		HID (3)		
		HL-H P-1		SK		(High Intensity Discharge)		
		HL-C P-3		(Swivel knuckle)		MH (3)		
		HL-D				(Metal Halide)		
		For all arms and specs see pages 321-344.				35/MH		
						50/MH		
						70/MH		
						100/MH		
						150/MH		
						175/MH		
						HPS (3)		
						(High Pressure Sodium)		
						50/HPS		
						70/HPS		
						100/HPS		
						150/HPS		

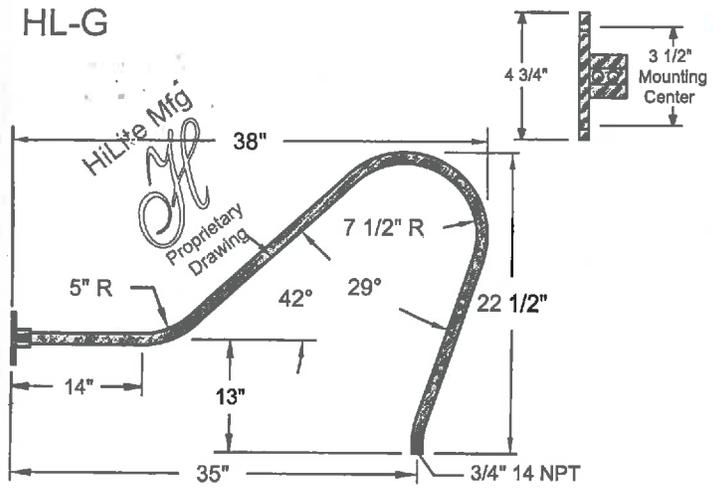
H-18110 - 91 / 1/2" - 91 / CGU-CLR - 91 / 13/CFL - BCM - M

ORDER EXAMPLE (USE THIS FORMAT TO PLACE ORDER)

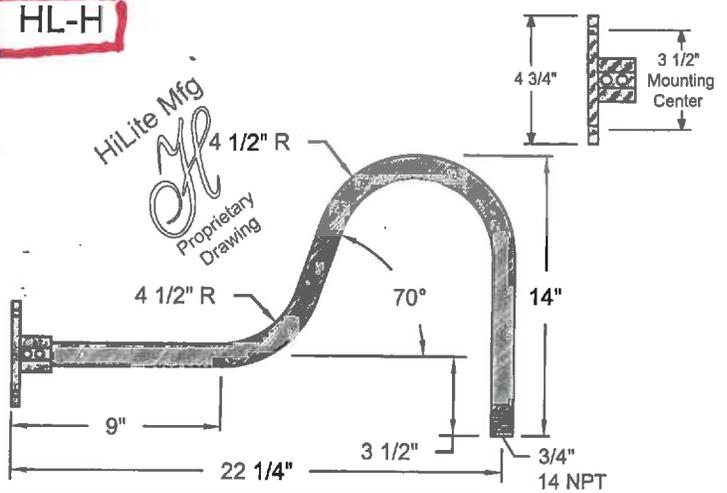
- Notes:
- (1) H-18107 not available with glass enclosures.
H-18107 available for 200W Max INC, 32W Max CFL and 100W Max HID.
H-18110 not available with LWGU, LCGU, ARN or LARN.
 - (2) Standard (2) refers to the fixture color options listed in the table.
 - (3) Wattage/Lamp options refer to the various lamp types and wattages listed in the table.
 - (4) (RB) Remote Ballast not available for Fluorescent Lamping.
 - (5) (PLB) Post Line Ballast must specify 120V or 277V.
(PLB) 50W MH requires a 3" dia. pole.
(PLB) 70W and 100W MH require a 4" dia. pole.

Wall Brackets
(Includes Mounting Plate and Hardware)

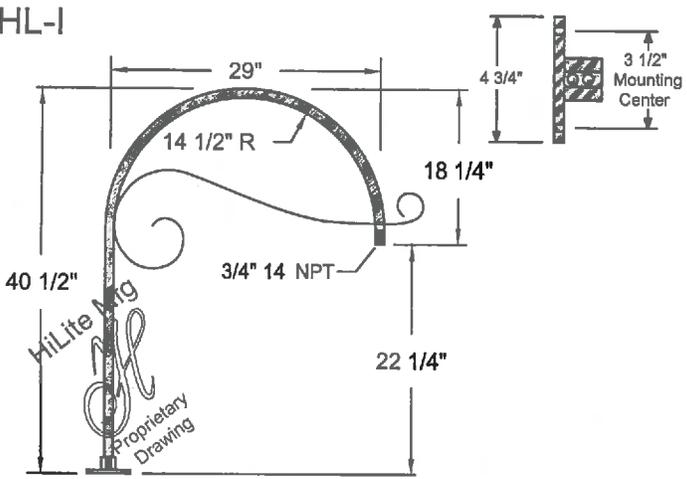
HL-G



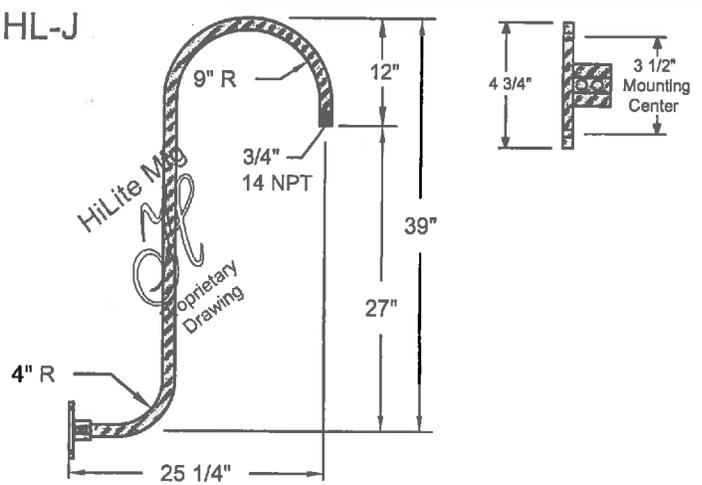
HL-H



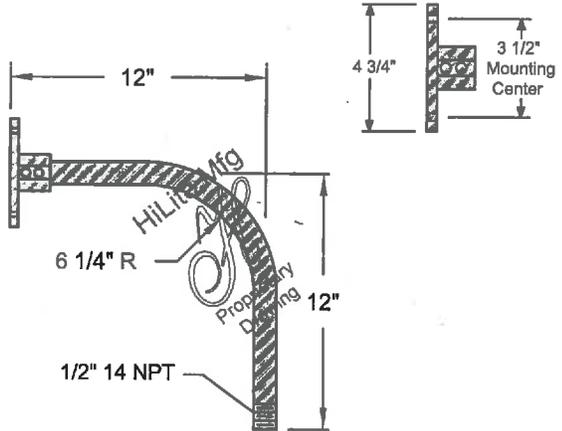
HL-I



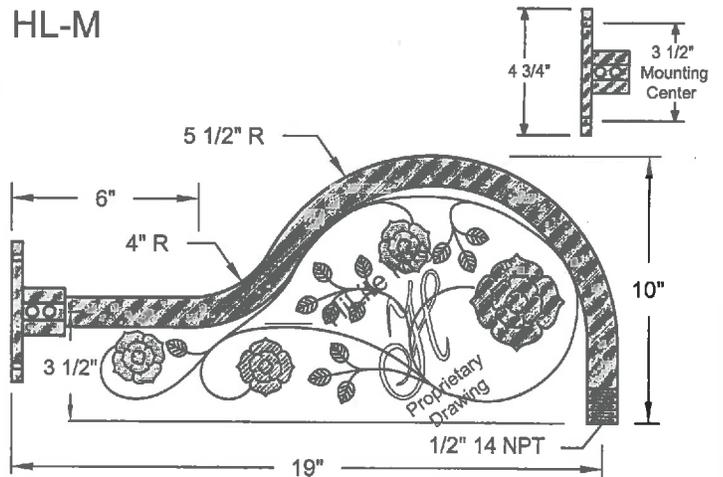
HL-J



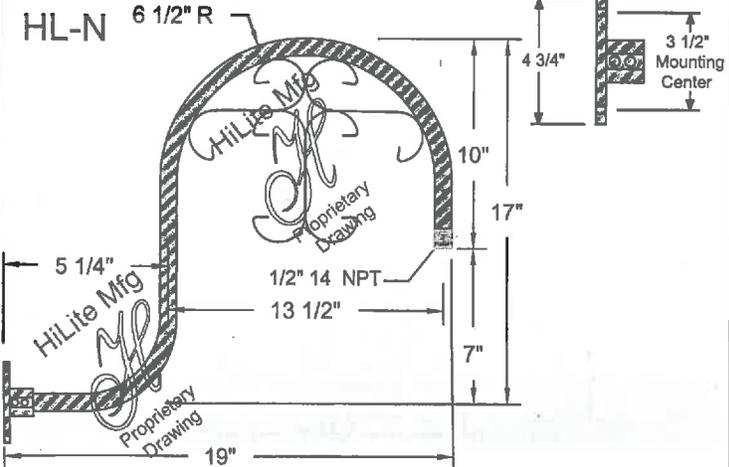
HL-K



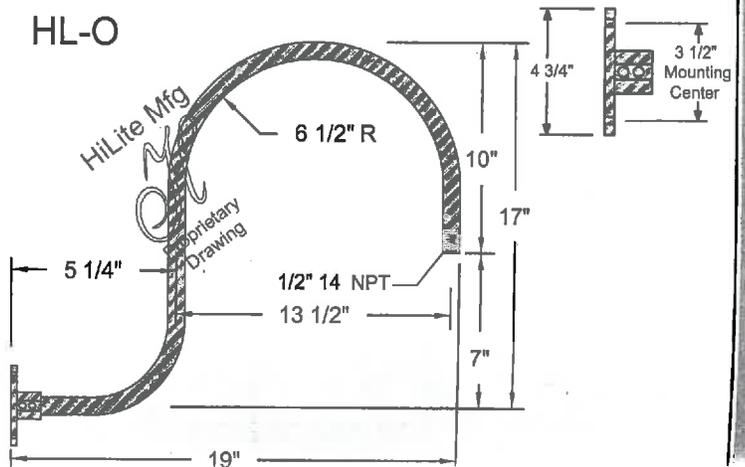
HL-M



HL-N



HL-O



MAILBOXES

Commercial & Residential

SALSBURY
INDUSTRIES
People Committed to Quality Since 1936[®]

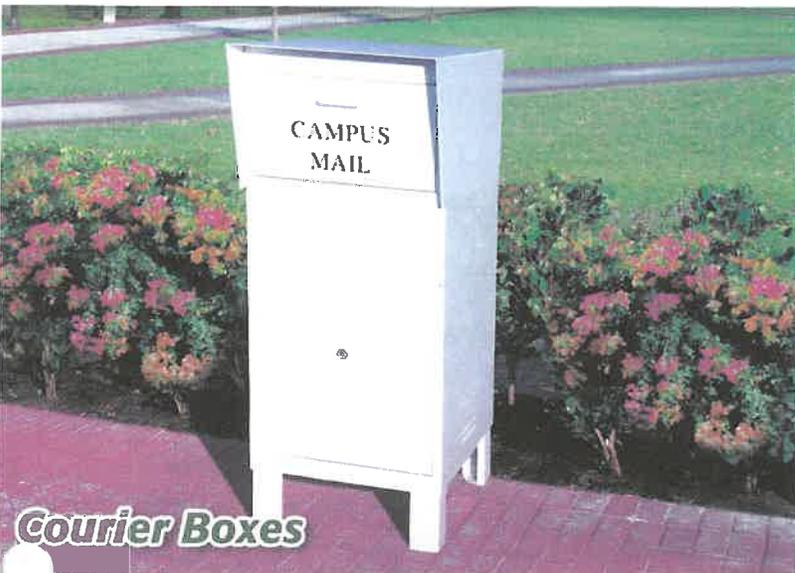
mailboxes.com
1-800-MAILBOX



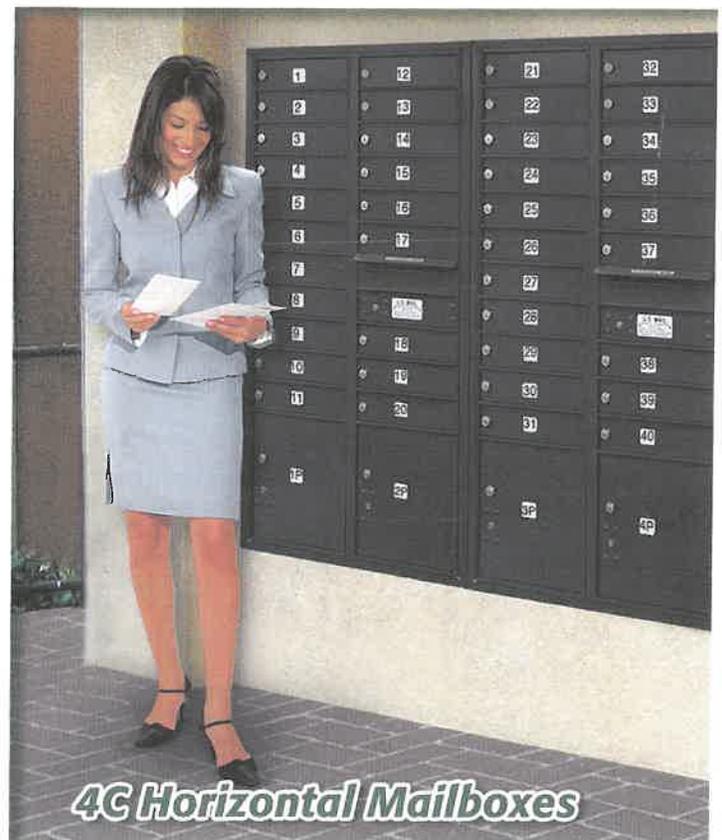
Cluster Box Units



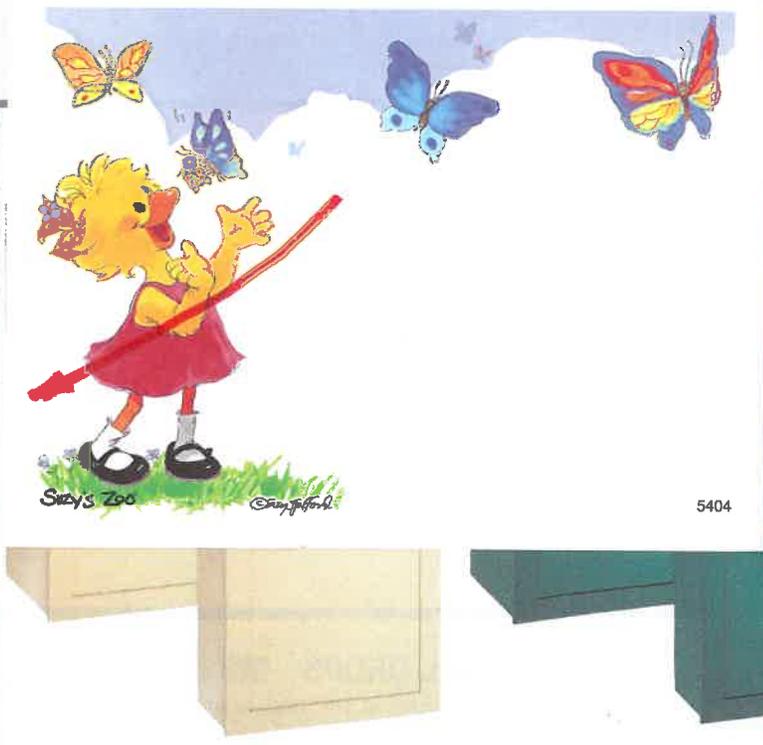
Eagle Rural Mailboxes



Courier Boxes



4C Horizontal Mailboxes



2240 Letter Box - standard - surface mounted

- 15" W x 19" H x 7-1/2" D
- mail slot: 11-1/2" W x 3/4" H
- 20 lbs.
- \$125.00

2260¹ Letter Box - slim - surface mounted

- 11" W x 19" H x 3-3/4" D
- mail slot: 7-1/2" W x 3/4" H
- 15 lbs.
- \$100.00



2245 Letter Box - standard - recessed mounted

- 15" W x 19" H x 6-3/4" D
- mail slot: 11-1/2" W x 3/4" H
- rough opening:
13-3/4" W x 17-3/4" H x 6-3/4" D
- 20 lbs.
- \$125.00

2265¹ Letter Box - slim - recessed mounted

- 11" W x 19" H x 3-1/2" D
- mail slot: 7-1/2" W x 3/4" H
- rough opening:
9-1/2" W x 17-3/4" H x 3-1/2" D
- 15 lbs.
- \$100.00

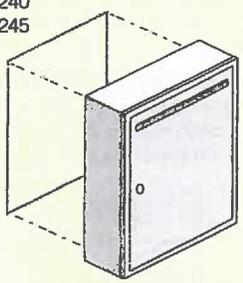
Specify

- For U.S.P.S. access
- For private access
(order commercial lock #2246 for #2240 and #2245)

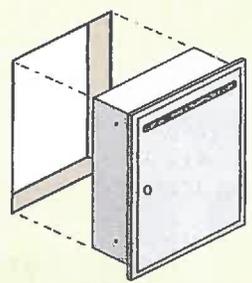
¹ Note: #2260 and #2265 are available in private access only and include commercial lock #2246.

SAMPLE INSTALLATION

Models displayed:
(1) 2240
(1) 2245



SURFACE MOUNTED
Surface mounted units mount directly to a flat surface and are secured with mounting hardware (not included) through the back panel.



RECESSED MOUNTED
Recessed mounted units fit into a rough opening and are secured with mounting hardware (not included) through the back or side panels. A fully integrated flanged collar fits over the rough opening.

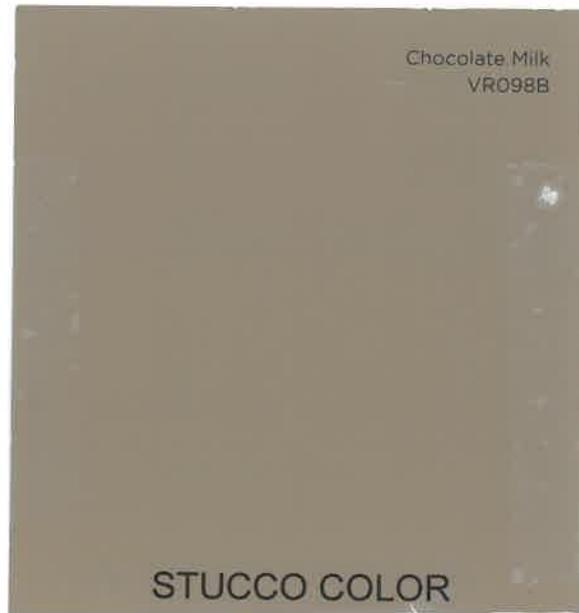
Note: Sample installation also applies to #2260 and #2265



Recessed letter box (#2245) and (2) mail drops (#2255 - see pages 44-45) with optional custom black filled engraving (#2266) displayed

Volume Discount Pricing Available On-Line!

22-01-16 A11:04 IN



Chocolate Milk
VR098B

STUCCO COLOR

Deepest Sea • DE5825

Dark Chocolate • DE601

Spiced Berry • DEA149



Pale Wheat • DE6106 • L

Chic Brick • DE6104 • LRV 20

Burns Cave • DE6098 • LRV 11

Kraft Paper • DE6109 • LRV 47

Sahara • DEC747 • LRV 52

Novelty Navy • DE6335 • LRV 10

Whole Wheat • DE6124 • LRV 26

Modern Ivory • DE6197 • LRV 78

Creamy Cameo • DE6176 • LRV 80

Weathered Saddle • DE5187 • LRV 22

Treasure Chest • DE6224 • LRV 13

Graham Cracker • DE6144 • LRV 37



DE5323 Trim: Deepest Sea • DE5825

5404 • LRV 83

Courtyard Green • DEC776 • LRV 25

Cocoa • DEC755 • LRV 13

Boutique Beige • DE6178 • LRV 59

Louisiana Mud • DE6398 • LRV 10

Bone • DEC765 • LRV 69

Burnt Crimson • DEC705 • LRV 10

Drifting • DEC770 • LRV 43

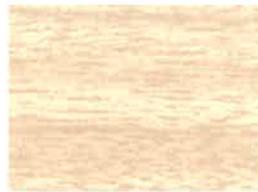
Whisper • DEW340 • LRV 87

Dark Engine • DE6350 • LRV 5

Chocolate Chunk • DE6070 • LRV 10

Soft Pumice • DE6326 • LRV 31

BEHR STAIN



900



909



700



720



716-CEDAR NATURALTONE



718-FIR/PINE NATURALTONE



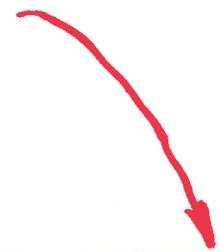
717-REDWOOD NATURALTONE



704-REDWOOD



711



5404



710



711



712



713



709



913

WOOD COLOR AND TEXTURE CHANGES FINAL EFFECT. The color and processes beyond our control and may vary slightly from the wood's natural color, the wood's texture and the stain. In order to determine the final effect, please test the stain on a sample of the wood you are going to finish. Even woods of the same type may vary.

Phoenix Standard Paver Colors



ANTIQUÉ TERRA COTTA*



CANYON BLEND*



CHARCOAL



LIGHT BROWN*



OAKS BLEND



OLD TOWN BLEND



PEWTER*



PINNACLE VISTA TRI BLEND*

PAVINGSTONE®

IMPROVING
YOUR
LANDSCAPE™

PVDF (Kynar 500®) Paint System

Snowdrift White (W81)	Khaki (88)	Ash Grey (25)	Aged Copper (65)	Patriot Red (73)	Metallic Silver (K7)	Tahoe Blue (W71)
Patina Green (W58)	Hemlock Green (M7)	Classic Green (66)	Felt Green (W66)	Brandywine (P8)	Copper Penny (W92)	Galvalume® (41) Non-painted Finish 25 Year Warranty
Antique Patina (M1)	River Teal (59)	Dark Bronze (50)	Matte Black (106)	Taupe (74)	Dark Bronze (50)	Matte Black (106)

All Colors Meet or Exceed Steep Slope ENERGY STAR® Requirements
* An up-charge may apply

Visit www.metalsales.us.com for valuable tools and resources.

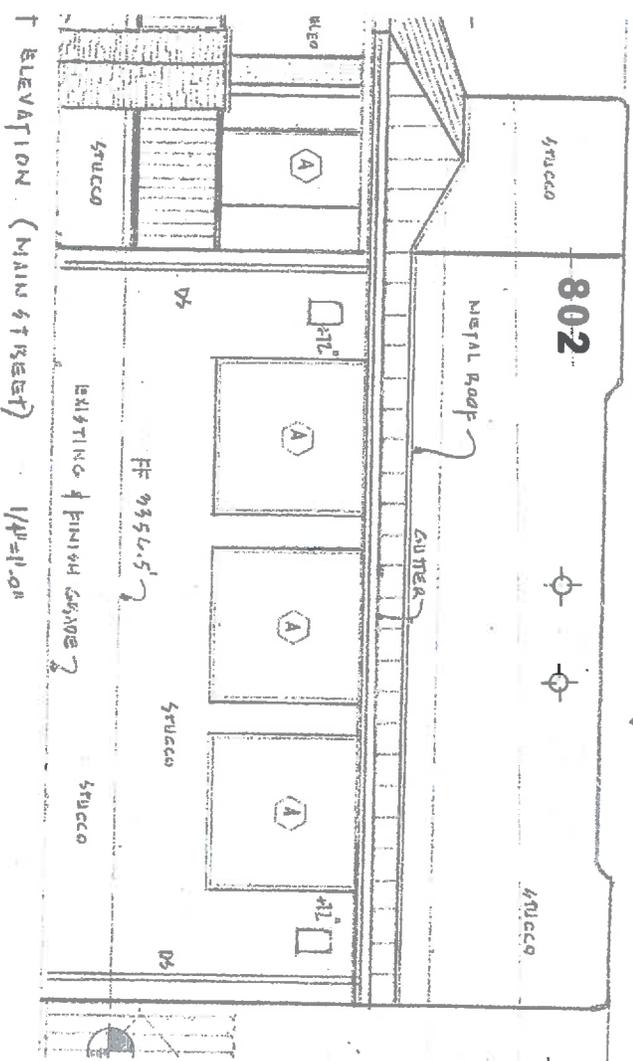
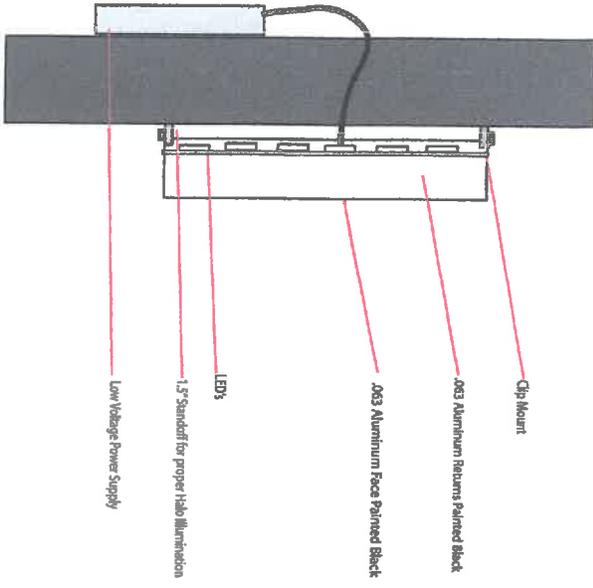
45 Year Paint Warranty

All colors carry a 45 year limited paint warranty
Color selections are close representations but are limited by printing and viewing conditions. Actual samples are available by request.

24 GAUGE

10" **802** 24"

Halo Illumination



* Illuminated displays will be wired for 120 volt power unless otherwise noted.
 * Cost for providing necessary electrical wiring to sign area is not included in sign proposal.

DATE	BY	DATE	BY

REV. #	DATE	BY	REV. #	DATE	BY

PREPARED BY: J. Keller
 ORIGINAL DATE: 1/4/10
 DATE: 1/4/10

SCALE: 1/4\"/>

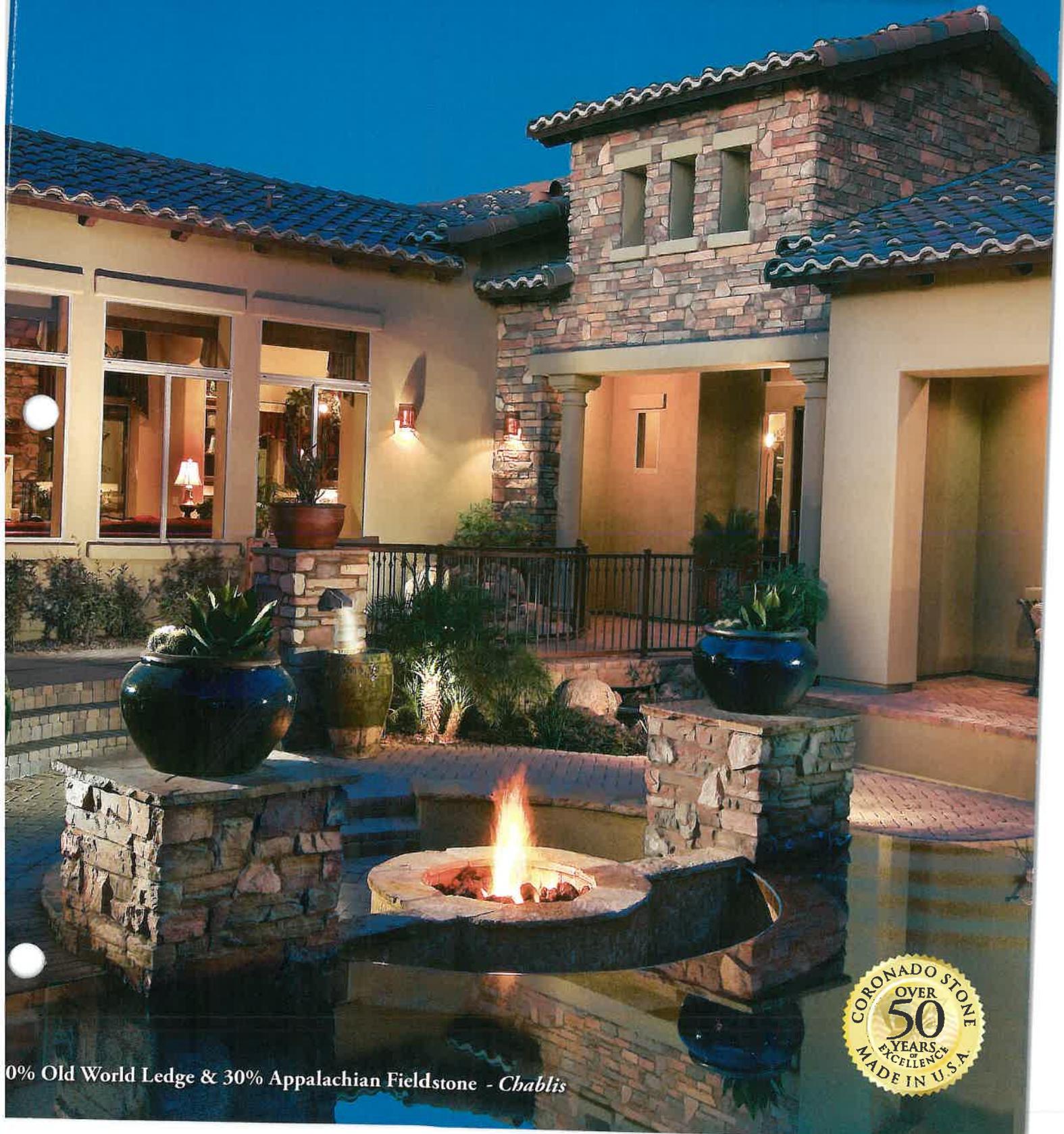
PERMITTED BY: J. Keller
 DATE: 1/4/10

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CORONADO®

The Leader in Manufactured Stone, Brick and Tile Products



70% Old World Ledge & 30% Appalachian Fieldstone - *Chablis*

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Italian Villa®
Verona



NEW PRODUCTS

Woodstone	1
3" Split Limestone, Sierra Ledge, Montana Ledge & Yukon Rubble	2
Pavilion Stone	3 - 4
Canyon Cobble & Valley Cobble	5
Feathered Stone & Osage	6

VILLA STONE SERIES

Venetian Villa	9 - 10
Italian Villa	11 - 12
Tuscan Villa	13 - 14
French Country Villa	15 - 16

LEDGESTONE SERIES

Old World Ledge	19 - 20
Old Country Ledge	21 - 22
Pro-Ledge	23 - 24
Coronado Honey Ledge	25 - 26
Quick Stack	27 - 28
Virginia Ledge	29
Eastern Mountain Ledge	30 - 32
Rocky Mountain Ledge	33
Canyon Ledge	34
Tumbled Ledge	34
Strip Stones	34
Idaho Drystack	37 - 38
Weathered Edge	39 - 40



Coronado Honey Ledge
Golden Harvest



ASHLAR & RUBBLE SERIES

Country Rubble	43 - 44
Carolina Rubble	45 - 46
English Rubble	47 - 48
Santa Barbara	49 - 50
Country Castle	51 - 52
Belgian Castle	53 - 54



Belgian Castle
Dakota Brown



THE CLASSIC SERIES

8" Classic Jerusalem	57
Smooth Limestone	58
French Limestone	59
Chiseled Limestone	60
Colosseum Travertine	61
Aegean Coral	62
The Getty Stone	63
Sand Canyon Flagstone	64

THE DESIGNER SERIES

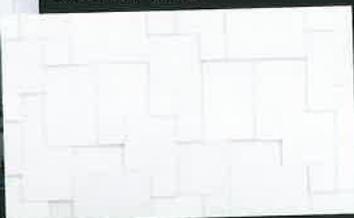
Lennox Stone	68
The Wave	68
Playa Vista Limestone	69 - 70



8" Classic Jerusalem
Sahara Beige

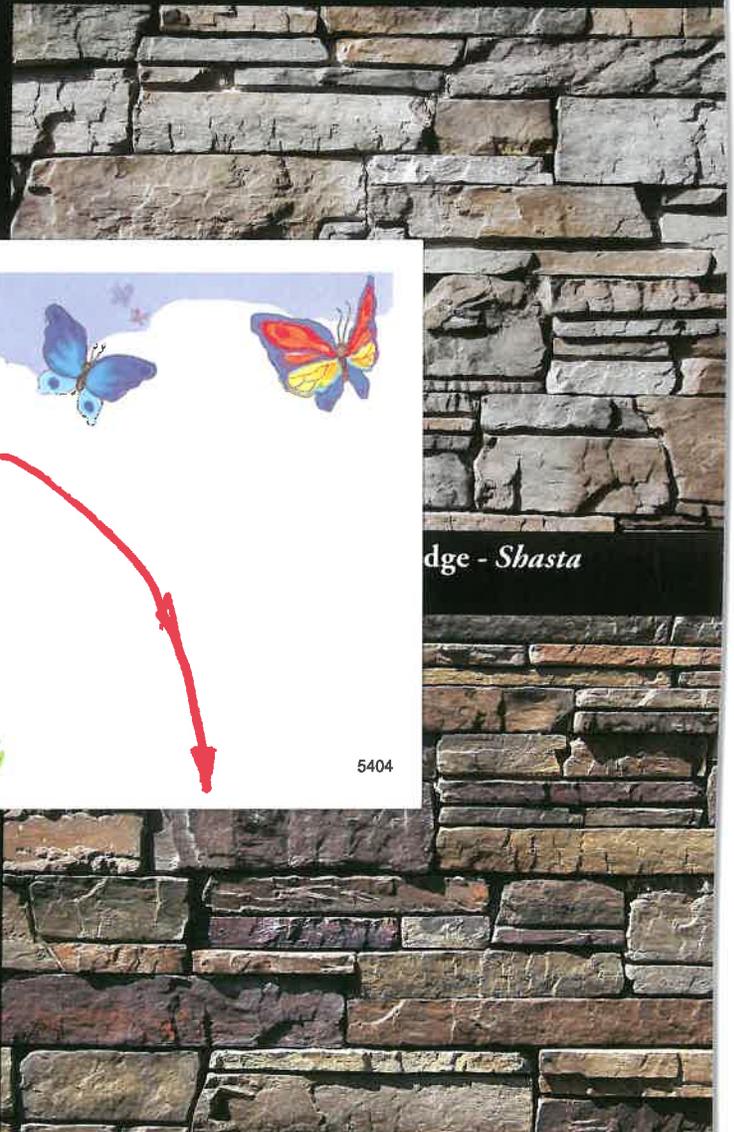


Lennox Stone
Astoria White





Coronado Honey Ledge - *Golden Harvest*



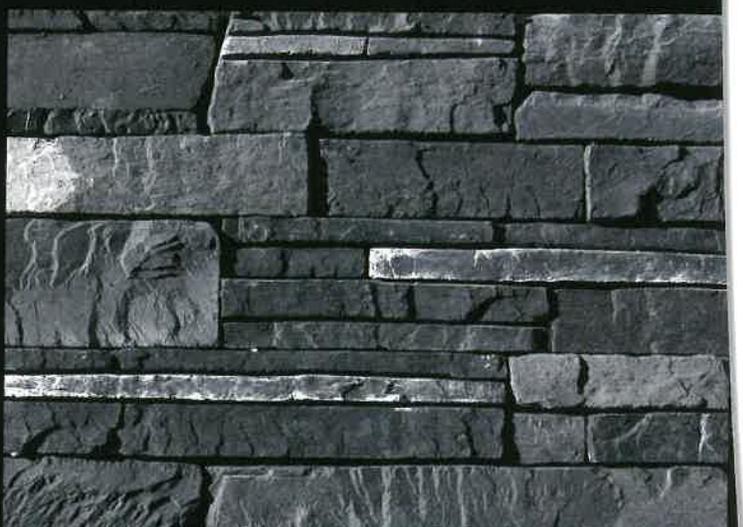
Coronado Honey Ledge - *Shasta*



Coronado Honey Ledge - *Four Rivers*



Coronado Honey Ledge - *Golden Harvest*



Coronado Honey Ledge - *Rocky Mtn. Rundle*



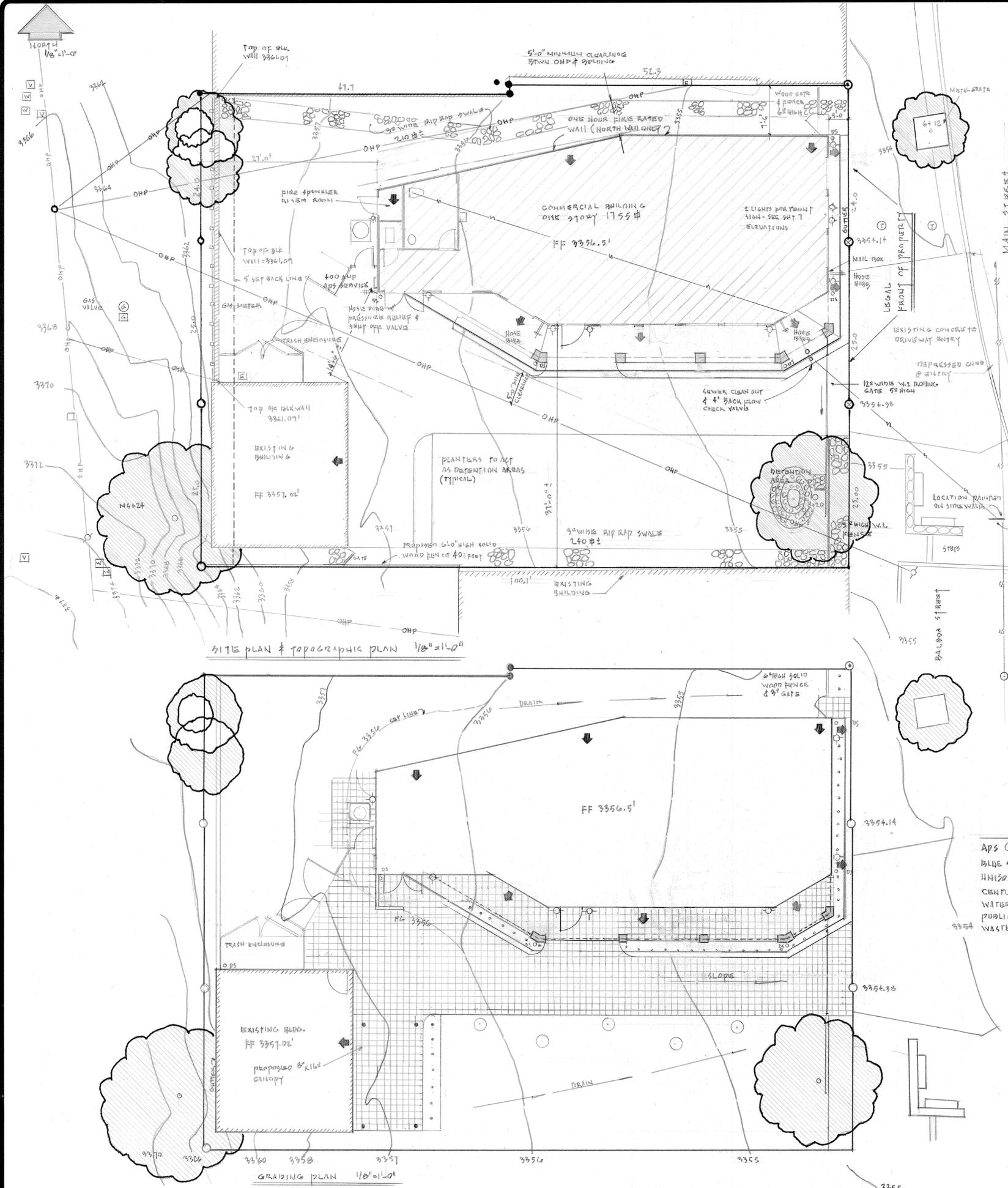
Pro-Ledge® - Brookside



Pro-Ledge® - Chablis



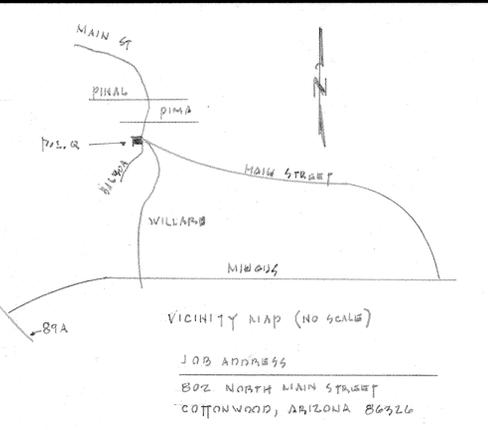
Pro-Ledge® - Brookside



LEGAL DESCRIPTION

LOTS 12, 13 & 14
 ELLEFSON ADDITION TO COTTONWOOD AS RECORDED
 IN BOOK 3 OF MAPS & PLATS, PAGE 17, A PORTION
 OF SECTION 33 T.16N., R.23E. G&S RM YAVAPAI
 COUNTY, ARIZONA
 ASSessor PARCEL 406-32-049

CITY OF COTTONWOOD
 ZONE C-1
 MIN. LOT AREA = 5000 SF
 MIN. AVE. LOT WIDTH = 50 FT
 MIN. FRONT YARD SETBACK = 0 FT
 MIN. SIDEYARD SETBACK = 0 FT
 MIN. REARYARD SETBACK = 5 FT
 MAX. BUILDING HEIGHT = 2.5 STORIES
 MAX. BUILDING HEIGHT = 35 FT



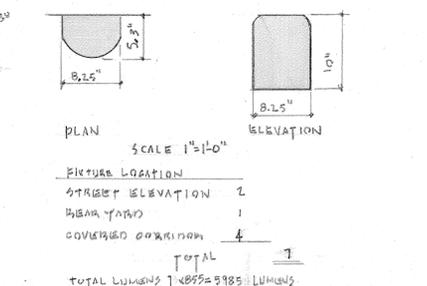
- GROSS SQUARE FOOTAGE OF PARCEL 7340 SF
- SQUARE FOOTAGE OF PROPOSED & EXISTING BUILDINGS
 PROPOSED 1755 SF
 EXISTING 525 SF
 TOTAL 2280 SF
- PERCENTAGE OF PARCEL COVERED BY ALL BUILDINGS = 31%
- PERCENTAGE OF PARCEL COVERED BY PARKING, DRIVEWAY, SIDEWALKS & PATHWAYS = 67%
- REQUIRED NUMBER OF PARKING SPACES = 0
- REQUIRED PERCENTAGE OF PARCEL TO BE LANDSCAPED
- MAXIMUM LUMENS ALLOWANCE IN LIGHTING FIXTURES

CITY OF COTTONWOOD COMMUNITY DEVELOPMENT
 111 NORTH MAIN STREET
 COTTONWOOD, ARIZONA 86326
 OFFICE (928) 634-5505
 CRISTINA PAPA SENIOR ADMINISTRATIVE ASSISTANT
 SCOTT ELLIS COMMUNITY DEVELOPMENT PLANNER
 CHARLES SCULLY AICP LONG RANGE PLANNER
 STEVE JACKSON COMMUNITY DEVELOPMENT INSPECTOR
 BERTIN REJED MANAGER

CIVIL ENGINEERS FOR SURVEY & TOPOGRAPHIC DATA
 SEC INC.
 825 COVE PARKWAY
 COTTONWOOD, ARIZONA 86326
 (928) 634-5889
 MARK FARR VICE PRESIDENT
 BRIAN SORRELLS SURVEY DEPT.
 KRISHAN SHINDE VICE PRESIDENT STRUCTURAL GRADING

EXTERIOR LIGHT FIXTURE SUMMARY

FULLY SHIELDED LIGHT FIXTURE POTTERY FIRED
 MANUFACTURERS EVERETT MODEL SUT-1
 DARK GRAY COMPOSITE CLOSED TOP
 60 WATT BULB AVERAGE 855 LUMENS



UTILITIES

APS (928) 646-8463 KEAT JONES 300-0458
 BLUE STAKE 1-800 STAKE IT
 HANISOURCE 1-877-897-4968
 CEN FURY LINK 1-800-244-1111
 WATER (928) 634-9180 MIKE TAYLOR
 PUBLIC WORKS (928) 634-8093 MIKE
 WASTE WATER 928-634-2412 DEBBIE GREGG/REBECCA SAL DURANT

THE BUILDING & SITE PLAN SHALL BE IN COMPLIANCE WITH ZONING ORDINANCES AND 2009 UBC BUILDING & 2009 FIRE CODES.

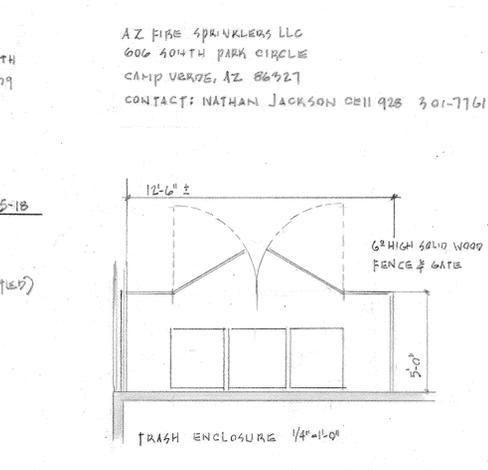
TABLE OF CONTENTS

- 1 SITE PLAN & TOPOGRAPHIC DATA 1/8"=1'-0" SCALE
- 2 SEC RESULTS OF SURVEY LOTS 12, 13 & 14
- 3 SEC TOPOGRAPHIC SURVEY OF 12, 13 & 14 1/8"=1'-0" SCALE
- 4 FOUNDATION
- 5 FRAMING
- 6 ROOF
- 7 ELEVATIONS
- 8 SECTIONS
- 9 FLOOR PLAN, DOOR & WINDOW SCHEDULES
- 10 HVAC & ACOUSTIC CEILING
- 11 HARD SCAPE & LANDSCAPE & FIRE SPRINKLER LAYOUT
- 12-15 ELECTRICAL ENGINEERING LOAD CALCULATIONS DESIGN
- 16 SEC-1 COVER
- 17 SEC-2 GENERAL NOTES
- 18 SEC-3 SITE MAP LEGENDS
- 19 SEC-4 SITE DIMENSIONS, SURVEY CONTROL
- 20 SEC-5 GRADING
- 21 SEC-6 TYPICAL & STANDARD DETAILS

CUT & FILL RECAP (SEE SHEETS SEC 1-14 & SEC 5-18)

PAD CUT FOOTING EXCAVATION 60 YARDS
 COMPACTED ACP FOR SLAB 44 TONS (IMPROVED)

PAD CUT & FOOTING EXCAVATION MATERIAL TO BE USED FOR HANDICAP RAMP & LANDSCAPE PURPOSES.



REVISIONS	BY

Thomas D. Valentine
 Professional Building Design
 Fine Homes for Over 30 Years
 115 White Horse Way
 Sedona, AZ 86351
 928-284-1959 Fax: 928-282-3488

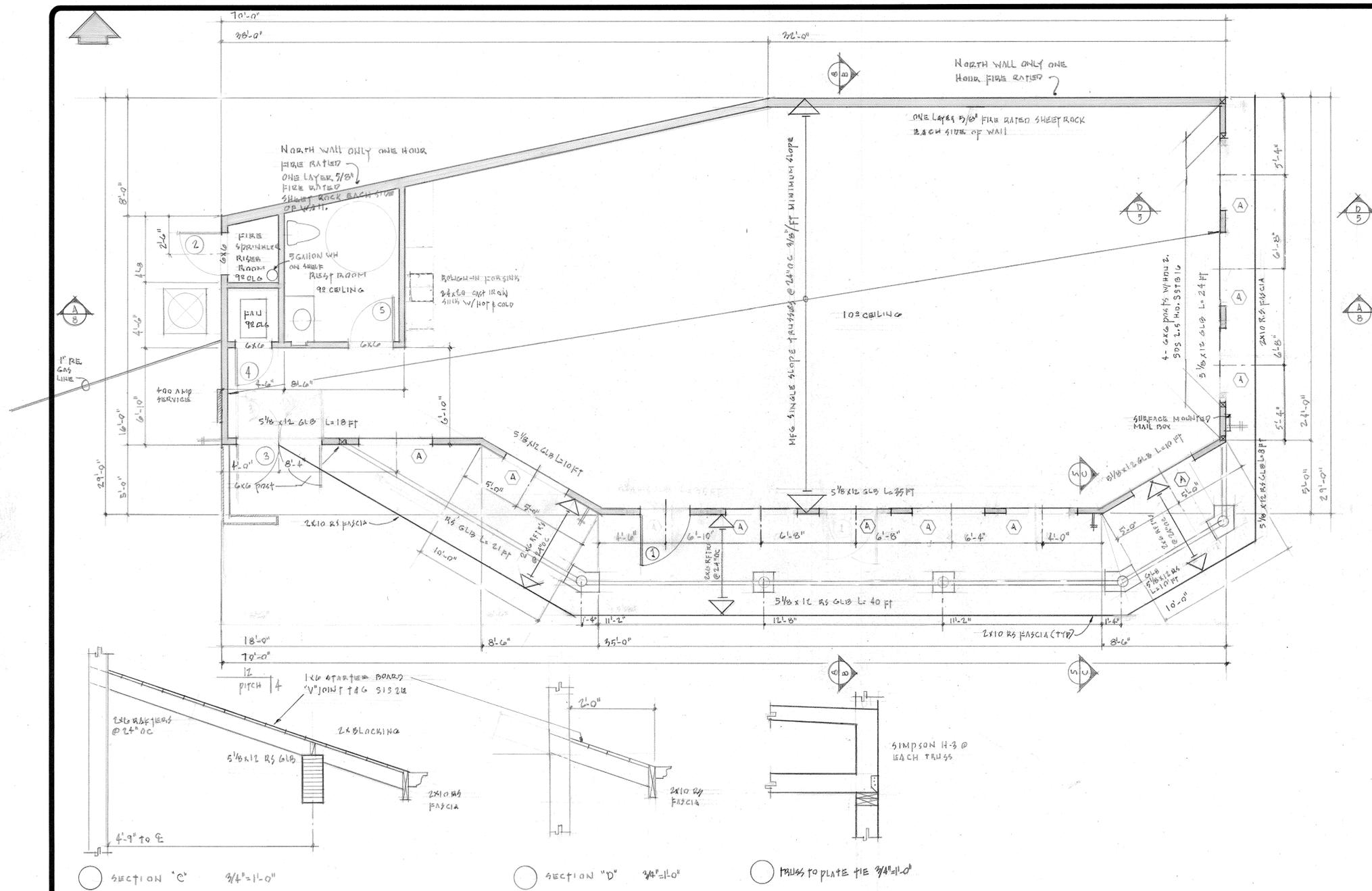
NOTE: GENERAL CONTRACTOR, SUBCONTRACTOR, VENDORS & OWNER, SUBSTANTIAL CARE & EFFORT HAVE GONE INTO THE CREATION OF THESE DRAWINGS. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. DESIGNER & OWNER SHALL BE NOTIFIED IN WRITING OF ANY DIMENSIONAL CONFLICTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

Thomas D. Valentine hereby certifies that he is a duly licensed professional engineer in the State of Arizona. He is not to be reproduced, copied, or changed in any form or by any means, without first obtaining the express written permission and consent of Thomas D. Valentine.

Designed especially for
 Copper State Land, L.L.C.
 Mike and Victoria Clark
 180 Indian Run Road
 Sedona, AZ 86351-7345
 (928) 284-3120
 Fax: (928) 284-3122

DRAWN	Tom Valentine
CHECKED	
DATE	JAN 20, 2016
SCALE	1/8" = 1'-0"
JOB NO.	MAIN STREET PLATS
SHEET	1

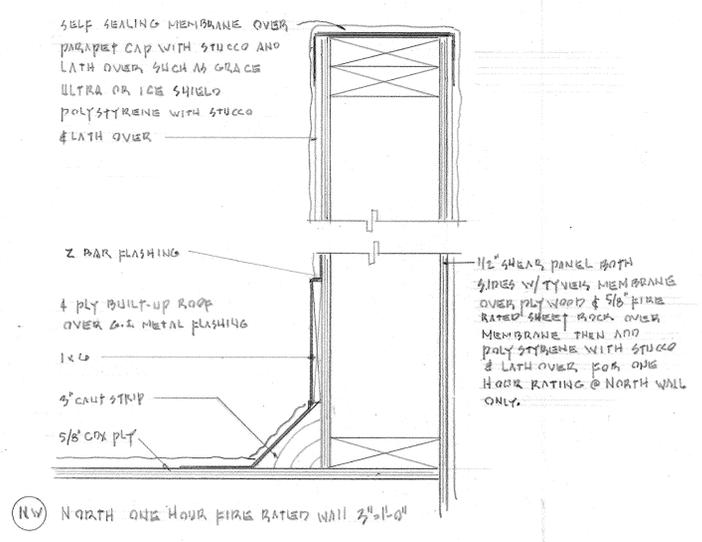
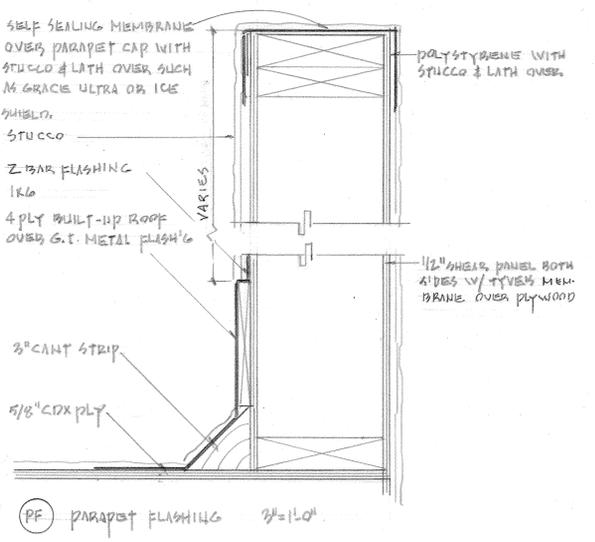
SITE PLAN & TOPOGRAPHIC DATA GRADING



- ALL WALL FRAMING SHALL CONSIST OF 2x6 STUDS @ 16" O.C.
- ALL PLATES IN CONTACT WITH CONCRETE INTERIOR AND EXTERIOR SHALL BE WOOD THAT IS PRESERVATIVE TREATED
- POSTS UNDER HEADERS, BEAMS, ORDERS SHALL BE 2x4 OR GREATER (MATCHING WALL THICKNESS)
- ROOF SHEATHING: 5/8" CDX PLYWOOD NAILED WITH 8d HOP DIPPED GALVANIZED @ 6" O.C. AT EDGES AND 12" O.C. AT FIELD
- ALL EXTERIOR WOOD WALL SURFACES TO RECEIVE 1/2" STRUCTURAL PLYWOOD OR OSB WITH 8d NAILS @ 6" O.C. AT EDGES AND 12" O.C. @ FIELD, COVERED WITH TYVEK WEATHER RESISTANT BARRIER MEMBRANE.

- INSULATION SPECIFICATIONS
- CEILING: R-30 OPEN CELL FOAM AT UNDERSIDE OF ROOF DECK, GABLE ENDS R-19 OPEN CELL.
 - 15 MINUTE THERMAL BARRIER APPLIED TO EXPOSED FOAM.
 - WALLS: R-19 UNFACED FIBER GLAS BATT.
 - SLAB: NO SLAB INSULATION REQUIRED.
- NOTE: CEILING TO BE DRAPPED ACOUSTIC TILE AT MAIN 10' AREA ONLY. 9' CEILING AREA TO RECEIVE DRYWALL.

- PLUMBING SPECIFICATIONS
- 45 FEET OF DEVELOPED LENGTH OF RUN 90000 BTU. 1" P.E. EXTERIOR GAS LINE STEEL PIPING INSIDE SHUT OFF AND UNION AT BUILDING.
 - WATER CALCULATION 19.5 FIXTURES UNITS 3/4" WATER SUPPLY
 - ADA TOILET 18" HIGH VOLTEN, 19KIT CHINA SELF RIM SINK WITH DELTA 920 ADA FAUCET
 - 5 GALLON ELECTRIC WATER HEATER ON SHELF IN FIRE RISER ROOM. RELIEF LINE TO DAYLIGHT.



REVISIONS	BY

Thomas D. Valentine
Professional Building Design
Fine Homes for Over 30 Years
115 White Horse Way
Sedona, AZ 86351
928-294-1959 Fax: 928-282-3488

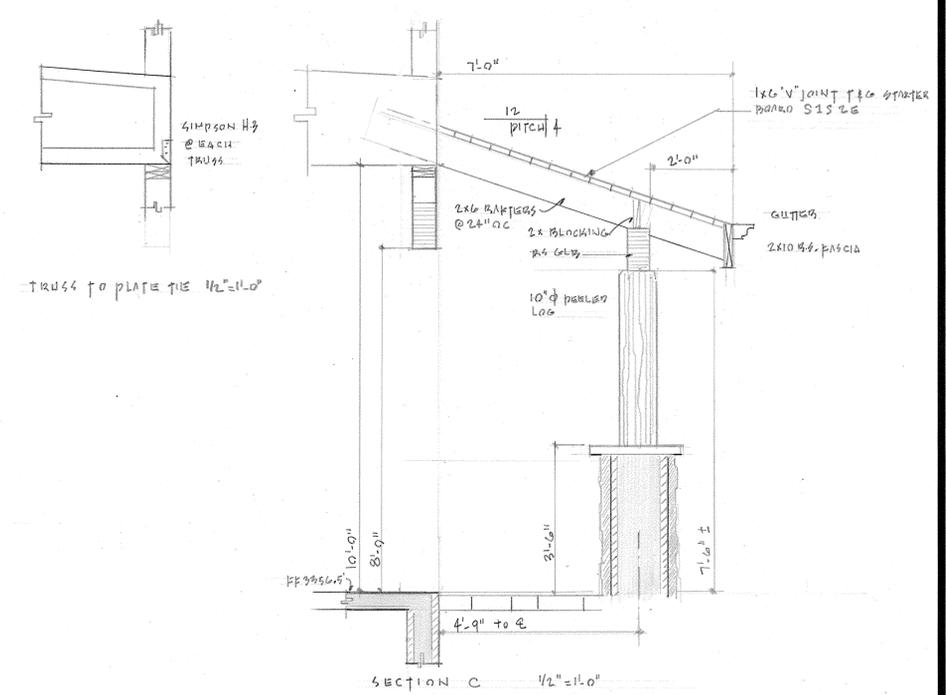
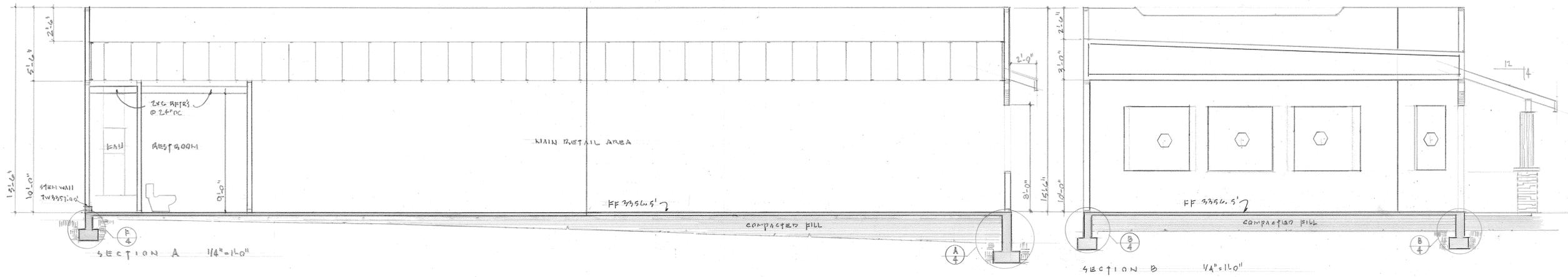
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Designed especially for:
Copper State Land, L.L.C.
Mike and Victoria Clark
180 Indian Run Road
Sedona, AZ 86351-7345
(928) 284-3120
Fax: (928) 284-3122

DRAWN: TOM VALENTE
CHECKED: [Signature]
DATE: JAN 20, 2016
SCALE: 1/4" = 1'-0" (NO)
JOB NO.: MAIN SHEET PLANS
SHEET: 5
OF SHEETS

FRAMING



INSULATION SPECIFICATIONS

CEILING : R-30 OPEN CELL FOAM AT UNDERSIDE OF ROOF DECK.
 GABLE ENDS R-19 OPEN CELL.
 15 MINUTE THERMAL BARRIER APPLIED TO EXPOSED FOAM

WALLS : R-19 UNFACED FIBERGLAS Batts

SLAB : NO SLAB INSULATION REQUIRED

NOTE: CEILING TO BE DROPPED ACOUSTIC TILE @ MAIN 100 AREA ONLY, TO CEILING AREA (RESTROOM, FIRE CLOSET & PAU COMPARTMENT) TO RECEIVE DRYWALL.

REVISIONS	BY

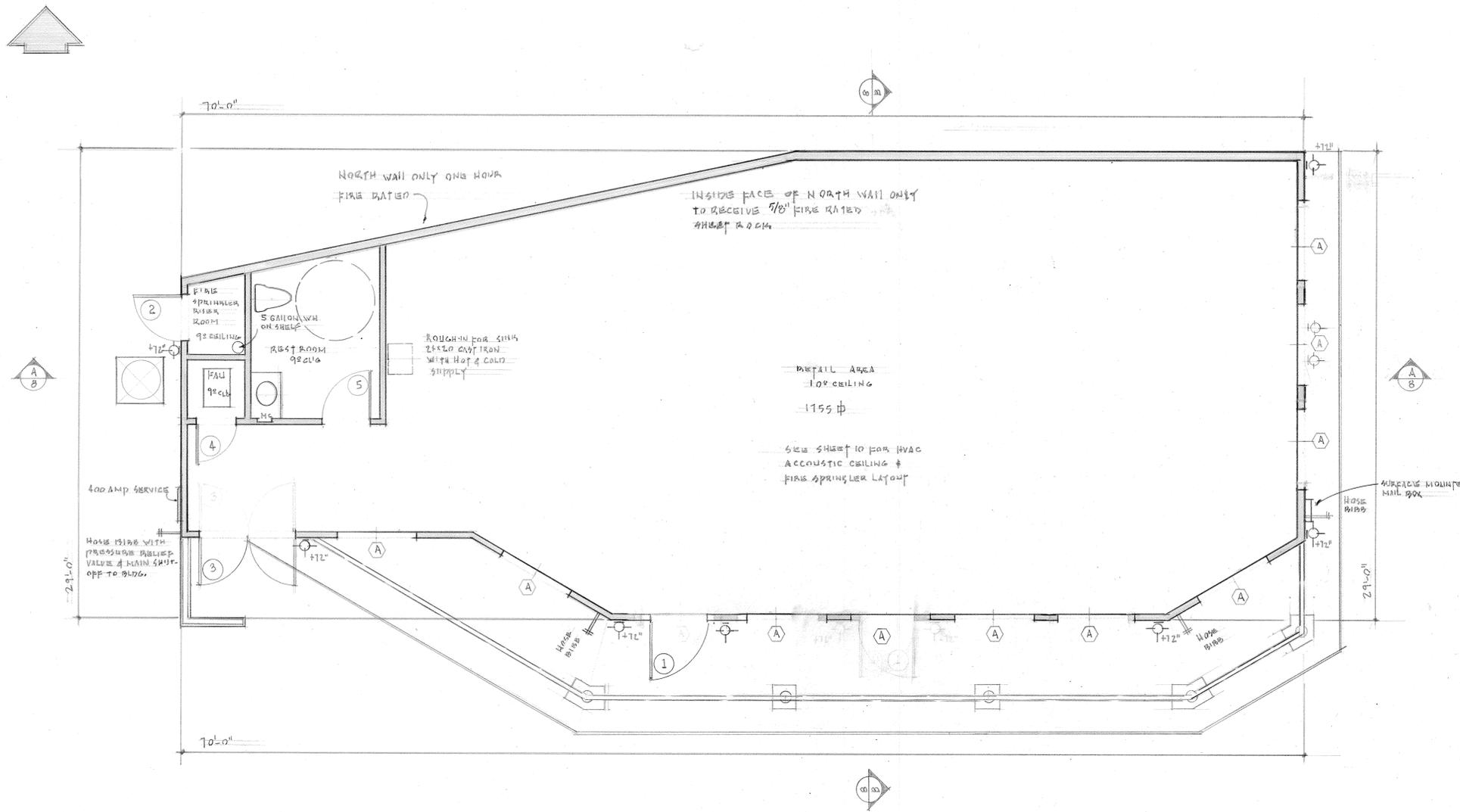
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Copper State Land, L.L.C.
 Mike and Victoria Clark
 180 Indian Run Road
 Sedona, AZ 86351-7345
 (928) 284-5120
 Fax: (928) 284-5122

DRAWN TOM VALENTINE
CHECKED
DATE JAN 20 - 2016
SCALE 1/4" = 1'-0" D.D.O.
JOB NO. MAIN HOUSE PLAZA
SHEET 8
 OF SHEETS



WINDOW SCHEDULE			
SYM	SIZE & TYPE	QUANTITY	REMARKS
A	5050 FIXED	10	

MEG: MILGARD ALUMINUM FRAMES BRONZE FINISH
DUAL GLAZED WITH LOW-E

DOOR SCHEDULE			
SYM	SIZE & TYPE	QUANTITY	REMARKS
1	3680 1 3/4"	1	ENTRY FRENCH 12 LITE
2	9068 1 3/4"	1	FIRE SPRAWLER CLOSET
3	6068 1 3/4"	1 PAIR	EXIT FRENCH 10 LITE
4	2668 HC 1 3/8"	1	PAU COMPARTMENT
5	9068 HC 1 3/8"	1	RESTROOM

1	THERMA-TRU FIBER CLASSIC 8 8128, 12 LITE WITH THRESHOLD & WEATHER STRIPPING SWING OUT
2	THERMA-TRU PROFILES STEEL SOLID PANEL TS 210 SWING OUT WITH THRESHOLD & WEATHER STRIP & PANEL
3	THERMA-TRU FIBER CLASSIC 10 LITE WITH THRESHOLD & WEATHER STRIP SWING OUT
4	HUTIG MASONITE TEXTURED SAFE-N-SOUND 1 3/8" & PANEL
5	HUTIG MASONITE TEXTURED SAFE-N-SOUND 1 3/8" & PANEL

FINISH SCHEDULE		
ROOM	FLOORING	WALL FINISH
RETAIL AREA	CONCRETE STAIN	DRYWALL WITH KNICK DOWN TEXTURE PAINT GLOSS SEMI-GLOSS ACoustIC TILE CEILING
RESTROOM, PAU COMPARTMENT & FIRE SPRAWLER RISER ROOM	CONCRETE STAIN RESTROOM	DRYWALL WALLS & CEILING, KNICK DOWN TEXTURE, SEMI-GLOSS PAINT
		92 ceiling

- ALL EXPOSED DRYWALL CORNERS, HEAD, JAMBS & SOFFIT EDGES TO RECEIVE 3/4" MINIMUM RADIUS METAL
- ALL EXPOSED DRYWALL SILLS TO RECEIVE 3/4" RADIUS METAL
- ALL EXPOSED DRYWALL DOOR JAMBS & HEAD TO RECEIVE 3/4" MINIMUM RADIUS METAL
- DRYWALL TEXTURE TO BE APPROVED IN WRITING BY OWNER
- ALL EXTERIOR DOOR & WINDOW OPENINGS SHALL HAVE A MOISTURE MEMBRANE BARRIER SYSTEM THAT COMPLIES WITH THE LOCAL GOVERNMENTAL AGENCIES & WEBA (ENERGY ENVIRONMENTAL BUILDING ASSOCIATION) WATER MANAGEMENT REQUIREMENTS

REVISIONS	BY

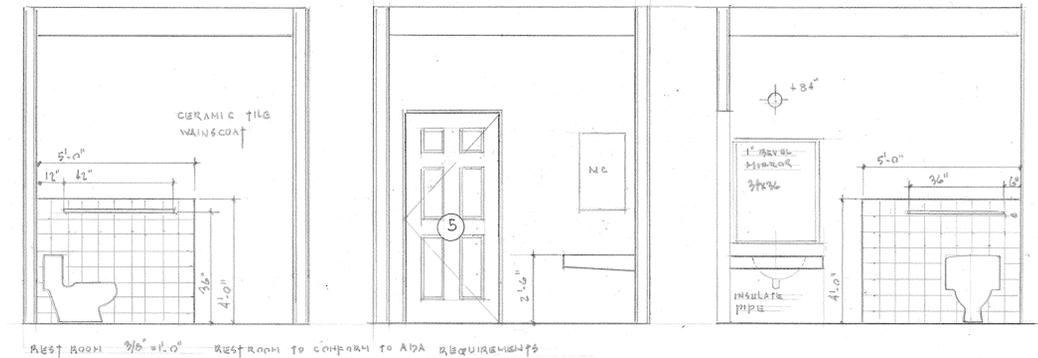
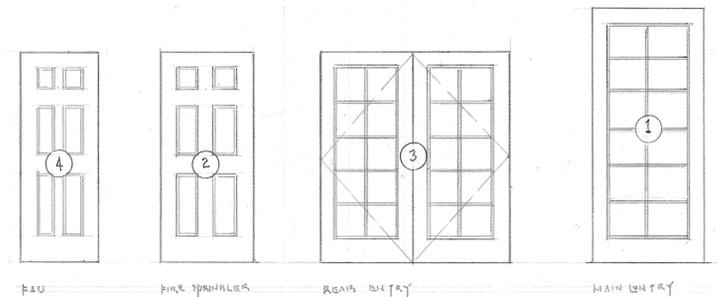
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Fire Department- Rick Contreras, rcontreras@cottonwoodaz.gov. (928) 634-2741

All plans and designs shall fully comply with the 2009 International Fire code and the 2009 International Building code and per the Cottonwood Fire Departments Conditions.

- Fire sprinklers shall be installed throughout the building per NFPA 13 and all local regulations. The system shall be designed to meet the Hazard Class.
- Fire Sprinkler System Final, NFPA Underground and Aboveground Certificates required.
- The FDC shall be located in a remote location or shall be located on the wall of the address side or natural approach of the building that it serves and shall identify the building(s) served with permanent retro reflective signage. The FDC shall not exceed 4' in height. The installation of locking Knox Caps shall be connected to the FDC. Contact the Cottonwood Fire Marshal for direct placement.
- Sectional control valves, and all valves controlling water supply, shall be indicating type valves listed for the use with fire sprinkler systems. When supplying more than 100 sprinkler heads, these valves shall be monitored with an electric tamper switch per NFPA 72.
- Fire Sprinkler Riser rooms shall have an exterior door with a 8"x12" Red retro reflective signage with white lettering in 1" stroke stating "Fire Riser" on the doors exterior. The same type of signage is required for Fire Alarm Panels stating "FACP"
- Inspector's tests valves shall be located in conspicuous readily accessible locations and plumbed to the buildings exterior. A sprinkler orifice of the same size as the sprinkler head used in the building shall be installed in the test pipe outlet.
- Sprinkler piping in unheated areas shall be protected with approved freeze protection such as batted insulation (tented), dry sprinkler heads. Contact the Cottonwood Fire Departments Fire Marshal for approved freeze protection methods.
- The Fire Marshal or his representative shall inspect any/all fire protection system(s) components prior to concealment. This will also include the flushing of the fire line. Call 24 hours in advance to schedule all fire inspections @ (928) 634-2741 The following inspections are required for Fire Sprinklers:
 - Aboveground Rough-in & >200# test
 - Installation and testing of underground Fire lines
 - Freeze Protection/Insulation. Provide insulation detail to general contractor or insulator
 - Final system acceptance
- Fire Extinguishers are required for this project. Contact the Cottonwood Fire Department for placement and type @ (928) 634-2741.

- A Knox Box will be required to be installed on all Commercial structures that contain Fire Sprinklers, Fire Alarm system and when access is difficult and where immediate access is required for Fire and Life Safety. Install the Knox Box 6" @ finished floor on this project. Verify the exact location with the Cottonwood Fire Marshal. Provide a copy of the door keys to the Cottonwood Fire Department.
- Address shall be posted plainly visible from the street frontage in not less than 10" tall numerals. Address shall be similarly posted on monument signage (if applicable). Unit/Suite numbers shall be posted, plainly visible from driveways/walkways.
- If there are any questions please feel free to contact the Cottonwood Fire Department
- Final determinations, comments and approvals will be provided upon review of the final sets of plans submitted. No Certificate of Occupancy will be signed or issued by the Fire Marshal until all Fire Department conditions and requirements are fully met.



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Designed especially for:
Copper State Land, L.L.C.
Mike and Victoria Clark
180 Indian Run Road
Sedona, AZ 86351-7345
(928) 284-3120
Fax: (928) 284-3122

DRAWN	CHECKED	DATE	SCALE	JOB NO.	SHEET
Tom Valentini		JAN 29, 2016	1/4"=1'-0" U.N.O.	MAIN STAYSET PLAZA	9

OF SHEETS

FLOOR PLAN FINISH SCHEDULE, CABINETS, DOORS & WINDOWS

ELECTRICAL SYMBOLS

NOTE: NOT ALL SYMBOLS ARE USED ON THIS PROJECT

- FLUORESCENT FIXTURE, WITH FIXTURE DESIGNATED BY LETTER. SMALL LETTER INDICATES SWITCH LEG
- NIGHT LIGHT- NOT SWITCHED
- FLUORESCENT STRIP FIXTURE.
- CEILING OR WALLMOUNTED FIXTURE.
- PORCELAIN PULL CHAIN FIXTURE
- JUNCTION BOX
- JUNCTION BOX WITH FLEX CONNECTION.
- SINGLE FACE EXIT SIGN- NOT SWITCHED
- DOUBLE FACED EXIT SIGN- NOT SWITCHED.
- TWO HEAD EMERGENCY LIGHT WITH BATTERY.
- POLE-MOUNTED FIXTURE - No. OF LUMINAIRES AS SHOWN & SCHEDULED
- SINGLE POLE SWITCH, + 48" A.F.F. (20A-120/277V)
- THREE WAY SWITCH, + 48" A.F.F. (20A-120/277V)
- 4-WAY SWITCH +48" AFF (20A-120/277V)
- SWITCH AND PILOT LIGHT (20A-120-/277V)
- SINGLE POLE SWITCH, KEY OPERATED (20A)
- DIMMER CONTROL, + 48" A.F.F. TYPE, RATING AS NOTED
- DUPLEX RECEPTACLE, + 18" A.F.F. (20A)
- DUPLEX RECEPTACLE ABOVE COUNTER, VERIFY HEIGHT. (20A)
- FOURPLEX RECEPTACLE, + 18" A.F.F. (20A)
- HALF SWITCHED DUPLEX RECEPTACLE (20A)
- SPECIAL RECEPTACLE - SIZE & TYPE AS NOTED
- POWER FLUSH FLOOR OUTLET
- TELEPHONE OUTLET PLASTER RING AT + 18" A.F.F. HUBBELL #12 COVERPLATE. 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
- DATA SYSTEM OUTLET, 4" SQUARE BOX AND COVERPLATE. 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN. + 18" A.F.F.
- TELE/DATA COMBO OUTLET, 4" SQUARE BOX AND COVERPLATE. 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUN. + 18" A.F.F.
- CABLE TELEVISION (CATV) OUTLET PLASTER RING AT + 18" A.F.F. U.N.O. HUBBELL COVERPLATE. 3/4" C. TO CEILING SPACE UNLESS SHOWN WITH HOMERUNS.
- TELEPHONE SYSTEM CONDUIT HOMERUN WITH NYLON PULLWIRE (1" MIN UNO)
- CLOSED CIRCUIT TV (CCTV) OUTLET SAME AS CATV OUTLET
- DOOR CHIME
- REMOTE CONTROL STATION @ +48" AFF
- DISCONNECT SWITCH, FUSE PER EQUIPMENT MANUFACTURERS RECOMMENDATION. OUTSIDE NEMA 3R - N.F. = NON-FUSED. 30A/2P/WP U.N.O.
- COMBINATION STARTER AND FUSIBLE DISCONNECT SWITCH SIZE AS NOTED
- EQUIPMENT TERMINATION CONNECTION POINT VERIFY EXACT LOCATION LOAD AND VOLTAGE AS NOTED
- MOTOR
- THERMAL PROTECTED SWITCH
- MOTOR STARTER - SHADING INDICATES F.B.O.
- DISTRIBUTION PANELBOARD.
- BRANCH CIRCUIT PANELBOARD.
- CONDUIT BELOW FLOOR OR UNDERGROUND
- CONDUIT IN WALL OR ABOVE CEILING
- HOMERUN TO PANEL, NEUTRAL AND PHASE WIRING DESIGNATION (SEE GROUNDING NOTE)
- CONDUIT TURNING UP
- CONDUIT TURNING DOWN
- CONDUIT STUB-OUT, MARK AND CAP AS DIRECTED
- GROUND WIRE (SIZE AS NOTED) EXTENDED AND CONNECTED TO APP'D GROUND

ABBREVIATIONS

- A.F.F. ABOVE FINISHED FLOOR (⌋ OF OUTLET)
- A.F.G. ABOVE FINISHED GRADE (⌋ OF OUTLET)
- E.C. EMPTY CONDUIT
- G.F.I. GROUND FAULT INTERRUPTER
- WP WEATHERPROOF
- UNO UNLESS OTHERWISE NOTED
- NL NIGHT LIGHT
- TYP TYPICAL
- EDF ELECTRIC DRINKING FOUNTAIN
- TMB TELEPHONE MOUNTING BOARD
- TTC TELEPHONE TERMINAL CABINET
- SES SERVICE ENTRANCE SECTION
- EF EXHAUST FAN

SITE RELATED WORK

PRIOR TO COMMENSING WORK AND/OR SUBMITTING BASE BID, THE CONTRACTOR SHALL VISIT THE SITE AND SATISFY HIMSELF TO EXISTING WORK RELATED CONDITIONS WITH REGARDS TO THE FOLLOWING:

- 1 TRENCH AND BACKFILL FOR CONDUITS PER UTILITY CO. REQUIREMENTS. (FIELD VERIFY)
- 2 TRANSFORMER MOUNTING PAD PER UTILITY CO. REQUIREMENTS.
- 3 PROVIDE SECONDARY AND/OR PRIMARY CONDUITS. (SEE ONE LINE DIAGRAM).
- 4 SERVICE ENTRANCE SECTION (S.E.S.) VERIFY PROPOSED EQUIPMENT WILL FIT THE SPACE ALLOTTED PRIOR TO ORDERING AND/OR CONSTRUCTION.
- 5 P.V.C. TELEPHONE CONDUIT WITH PULL WIRE AND R300 FACTORY STEEL BENDS PER TELEPHONE CO. REQUIREMENTS. (SEE AS NOTED OR REQUIRED BY UTILITY VERIFY PRIOR TO INSTALLATION).
- 6 THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND COMPLIANCE WITH ALL UTILITY COMPANIES REQUIREMENTS, INCLUDING, BUT NOT LIMITED TO ANY AND ALL ADDITIONAL COSTS FOR MATERIAL AND LABOR FOR WORK WHETHER SHOWN ON THE PLANS OR NOT. ACTUAL ROUTING, CONDUIT, TRENCH AND PAD REQUIREMENTS SHALL BE AS SPECIFIED BY UTILITY COMPANIES. VERIFY REQUIREMENTS WITH UTILITIES PRIOR TO INSTALLATION.
- 7 WHERE APPLICABLE, PROVIDE EQUIPMENT GROUNDING (BOND) CONDUCTOR FOR METALLIC PROCESSING AND FIRE SPRINKLER PIPING PER NEC 250-80 AND SIZED PER NEC 250-95 TABLE.

OUTLETS INSTALLED IN FIREWALLS

OUTLETS, (SWITCHES, RECEPTACLES, ETC.), MOUNTED IN FIRE RATED WALLS SHALL NOT OCCUPY THE SAME WALL CAVITY WITH OTHER OUTLETS WHETHER ON SAME SIDE OR BACK-TO-BACK. RECOMMENDED SPACING IS 24 INCHES HORIZONTAL. ODD.

FIRE ALARM SYSTEM SPECIFICATION

A COMPLETE OPERATIONAL MANUAL/AUTOMATIC FIRE ALARM SYSTEM TO BE MONITORED AS DIRECTED BY OWNER SHALL BE FURNISHED AND INSTALLED, AS REQUIRED FOR THIS TYPE OF BUILDING IN ACCORDANCE WITH STATE AND/OR LOCAL CODE AND AS APPROVED BY THE CODE ENFORCING AUTHORITY HAVING JURISDICTION. THE FIRE ALARM CONTROL PANEL SHALL BE LOCATED AS DIRECTED BY THE ENFORCING AUTHORITY. (CONNECT TO CIRCUIT A-17). FIRE ALARM CONTRACTOR SHALL PROVIDE SPEC'S, DRAWINGS OF DEVICE LOCATIONS AND CUT SHEETS OF DEVICES TO FIRE MARSHALL FOR APPROVAL PRIOR TO INSTALLATION.

FIRE WALL/FLOOR PENETRATION

ALL PENETRATIONS OF FIRE RESISTIVE FLOORS OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAIL THAT CONFORM TO UNDERWRITERS LABORATORY'S LISTINGS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE WITH THE LISTING TO THE ARCHITECT AND SUCH DRAWINGS SHALL BE AVAILABLE TO THE LOCAL GOVERNING INSPECTORS. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.

OUTLET MOUNTING HEIGHTS PER AMERICAN DISABILITY ACT

SWITCHES	+48" (MAX)
RECEPTACLES	+18" (MAX)
TELEPHONE	+18" (MAX)
SIDE REACH	+54" (MAX)

ALL WIRING #6 AWG AND LARGER SHALL BE XHHW COPPER. #8 AWG AND SMALLER SHALL BE THHN/THWN COPPER

SPECIFICATIONS

1. PRIOR TO SUBMITTING BID, SUBCONTRACTORS SHALL EXAMINE ALL GENERAL CONSTRUCTION DRAWINGS AND VISIT THE CONSTRUCTION SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH IN ANY WAY AFFECTS THE WORK UNDER HIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
2. THE SUBCONTRACTOR SHALL BE HELD FULLY RESPONSIBLE FOR THE PROPER RESTORATION OF ALL EXISTING SURFACES REQUIRING PATCHING, PLASTERING, PAINTING AND/OR OTHER REPAIR DUE TO THE INSTALLATION OF ELECTRICAL WORK UNDER THE TERMS OF THE CONTRACT. CLOSE ALL OPENINGS, REPAIR ALL SURFACES, ETC., AS REQUIRED.
3. SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND BUILDING DETAILS. VERIFY LOCATION OF ALL OUTLETS, SWITCHES, AND WALL MOUNTED LIGHTING FIXTURES WITH ARCHITECTURAL DRAWINGS AND ACTUAL CONDITIONS. VERIFY ALL CEILING TYPES WITH ARCHITECTURAL DRAWINGS BEFORE ORDERING FIXTURES.
4. PRIOR TO ROUGH-IN AND FINAL CONNECTION, VERIFY ELECTRICAL CHARACTERISTICS AND EXACT LOCATION OF EQUIPMENT.
5. GROUT AND SEAL ALL CONDUIT PENETRATIONS OF WALLS AND FLOOR SLABS TO PRESERVE FIRE RATING AND WATERTIGHT INTEGRITY.
6. BRANCH CIRCUIT WIRING SHALL BE THHN/THWN INSULATION. PANEL FEEDERS SHALL BE TYPE XHHW. ALL WIRE SHALL BE COPPER. MINIMUM WIRE SIZE SHALL BE #12. AS AN ALTERNATIVE TO WIRE IN CONDUIT, NONMETALLIC- SHEATHED CABLE (NM), OFTEN REFERRED TO AS "ROMEX" AS DEFINED BY ARTICLE 338 OF THE NEC MAY BE USED FOR GENERAL WIRING AS ACCEPTED BY THE OWNER AND BY THE LOCAL CODE ENFORCING AUTHORITY.
7. ALL WIRING, EXCEPT "ROMEX", TO BE INSTALLED IN RACEWAYS. TYPE OF RACEWAY SHALL BE AS REQUIRED BY CODE. MINIMUM CONDUIT SIZE SHALL BE 1/2".
8. PROVIDE CODE SIZED BOND WIRE IN ALL EMT, FLEXIBLE CONDUIT, OR NM CABLES.
9. ALL ELECTRICAL EQUIPMENT SHALL BE NEW, U.L. APPROVED AND COMMERCIAL GRADE.
10. WIRE RATED FOR 150° CENTIGRADE SHALL BE USED FOR ALL INCANDESCENT LIGHTING FIXTURES.
11. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST NATIONAL CODE, (N.E.C.), AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES.
12. PROVIDE TYPEWRITTEN DESCRIPTIVE PANEL DIRECTORIES

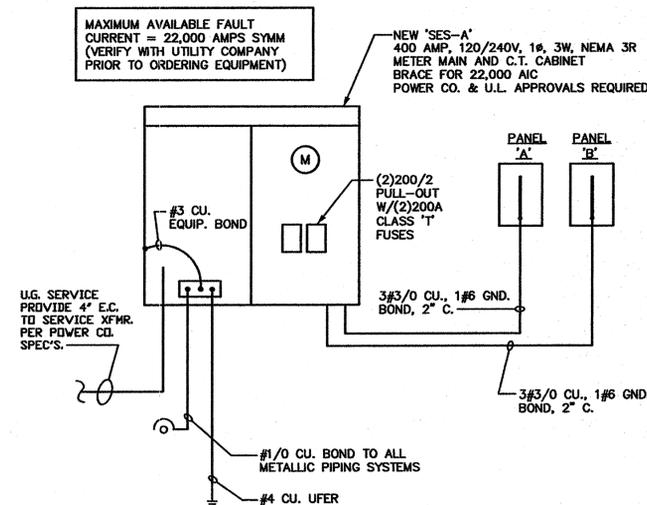
EMERGENCY LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER AND MODEL NO.	VOLTS	LAMPS	MOUNTING	FINISH	REMARKS
A	LITHONIA 2SP8 G 3 32 A12125 120 GEB 10	120	(3) F032TB/SP35	RECESSED GRID	STANDARD WHITE	2' x 4' FLUORESCENT TROFFER WITH TWO BALLAST FOR DUAL LEVEL SWITCHING
B	LITHONIA WC 2 17 A12 120 GEB	120	(2) F017TB/SP35	WALL-3" ABOVE MIRROR	WHITE	2' FLUOR. WALL BRACKET WITH CLEAR PRIS. DIFFUSER
C	CEILING FAN AS SELECTED BY OWNER	INSTALLED BY ELECTRICAL CONTRACTOR				
D	PORCELIN LAMP HOLDER	120	(1) 75W/A19	WALL - 12" ABOVE DOOR	WHITE	WITH PULLCORD
E	MINKA-LAVERY 564-1	120	(1) 100 WATT MEDIUM BASE	SURFACE CLOSED TOP	AS SELECTED BY ARCH.	CAREFREE CERAMIC CONSTRUCTION CLOSED TOP DARK-SKY WET LOCATION OUTDOOR FIXTURE
F	LITHONIA AFN DB EXT	120/277	(2) 6W XENON FURN. W/UNIT	WALL-12" ABOVE DOOR	DARK BRONZE	COMPACT EMERGENCY LIGHT WITH NI-CAD BATTERY
G	LITHONIA LQM S W 1 R 120 EL N	120	LED - FURNISHED WITH UNIT	WALL- OR CEILING MTD.	WT. HOUSING RED LETTERS	SELF-POWERED EMERGENCY EXIT SIGN, NI-CAD BATTERY
H	LITHONIA ELM627 H1206 N	120	(2) 12W/6V/MR24	WALL- 8'-0" A.F.F.	STANDARD WHITE	EMERGENCY LIGHT WITH NI-CAD BATTERY

- NOTES: ① ALL FLUORESCENT FIXTURES TO BE FURNISHED WITH INTERNAL DISCONNECT.
② VERIFY ALL FINAL MOUNTING HEIGHTS WITH ARCHITECT.

ELEC. LOAD RE-CAP:

	#A	#C
PANEL 'A'	105.4 A	107.5 A
PANEL 'B'	0.0 A	0.0 A
SERVICE TOTAL (H ₁₀) =		107.5 AMPS



ELEC. ONE-LINE DIAGRAM - 'SES-A'

NOTE: ALL CONDUCTOR SIZES ARE BASED ON "XHHW", "THHN"/"THWN" COPPER. N.T.S.

NOTE:
1.) ALL SUB-PANELS, SERVICE EQUIPMENT, AND EQUIPMENT DISCONNECTS SHALL BE PROVIDED WITH THE WORKING CLEARANCES REQUIRED BY THE LATEST ADOPTED NEC.

REVISIONS	BY



ELECTRICAL DESIGN & CADD SERVICES INC.
1600 LAMB LANE
PRESCOTT, AZ. 86305
PH: (928) 776-4900
CELL (928) 420-1200
E-MAIL: EES@CABLEONE.NET

COPPER STATE LAND, L.L.C.
NEW COMMERCIAL RETAIL BUILDING
802 NORTH MAIN STREET
COTTONWOOD, ARIZONA 86325

Date: 11-30-15
Scale: AS SHOWN
Drawn: R.A.
Job: 15-64
Sheet: E-1 12
Of 2 Sheets

ELECTRICAL DESIGN & CADD SERVICES INC.
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REVISIONS	BY



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 NEW COMMERCIAL RETAIL BUILDING
 802 NORTH MAIN STREET
 COTTONWOOD, ARIZONA 86325

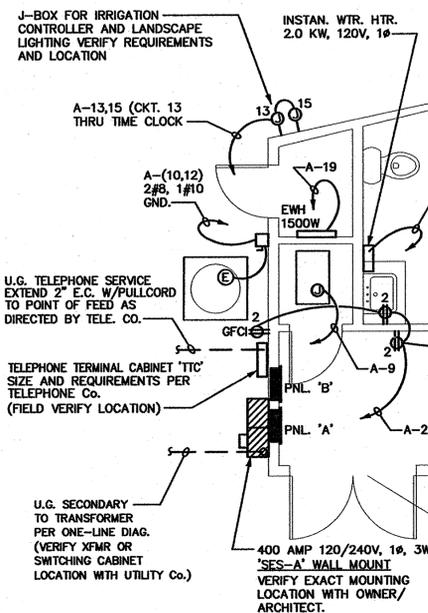
Date: 11-30-15
 Scale: AS SHOWN
 Drawn: R.A.
 Job: 15-64
 Sheet: **E-213**
 Of 2 Sheets

PANELBOARD		A		SCHEDULE			
MAINS: 200A MLD		LOAD-V/A		LOCATION: SEE PLANS			
VOLTAGE: 120/240-1Ø-3V				MOUNTING: FLUSH			
TYPE: SQ. 'D' OR EQUAL				MIN. A.L.C. 22/10K SERIES RATED			
CIRCUIT DESCRIPTION	BKR.	CIR. NO.	ØA	ØB	CIR. NO.	BKR.	CIR. DESCRIPTION
* LIGHTS		1	1250		20	1	RECEPT'S.
LIGHTS & FANS		3	900		2	1	
LIGHTS - EXTERIOR		5	1000	1140	4		
SIGNAGE		7	900		6		
FURNACE		9	1590	1500	8		
INSTAN. WATER HTR.		11	3680	2000	10	50	COND'G. UNIT
LANDSCAPE LIGHTING		13	1200	3680	12	20	RECEPT'S. - WINDOW DISPLAY
IRRIGATION CONTROLLER		15		200	14	20	RECEPT'S.
FIRE ALARM PANEL		17	500	540	16	1	SPARE
ELEC. WALL HTR.		19		1500	18		
SPARE		21			22		
SPACE		23			24		
SPACE		25			26		
		27			28		
		29			30		
		31			32		
		33			34		
		35			36		
		37			38		
		39			40		
		41			42		
TOTAL LOAD PER PHASE			12120	12860			HP# 12360 / 115 = 107.5 AMPS

PANELBOARD SYMBOLS

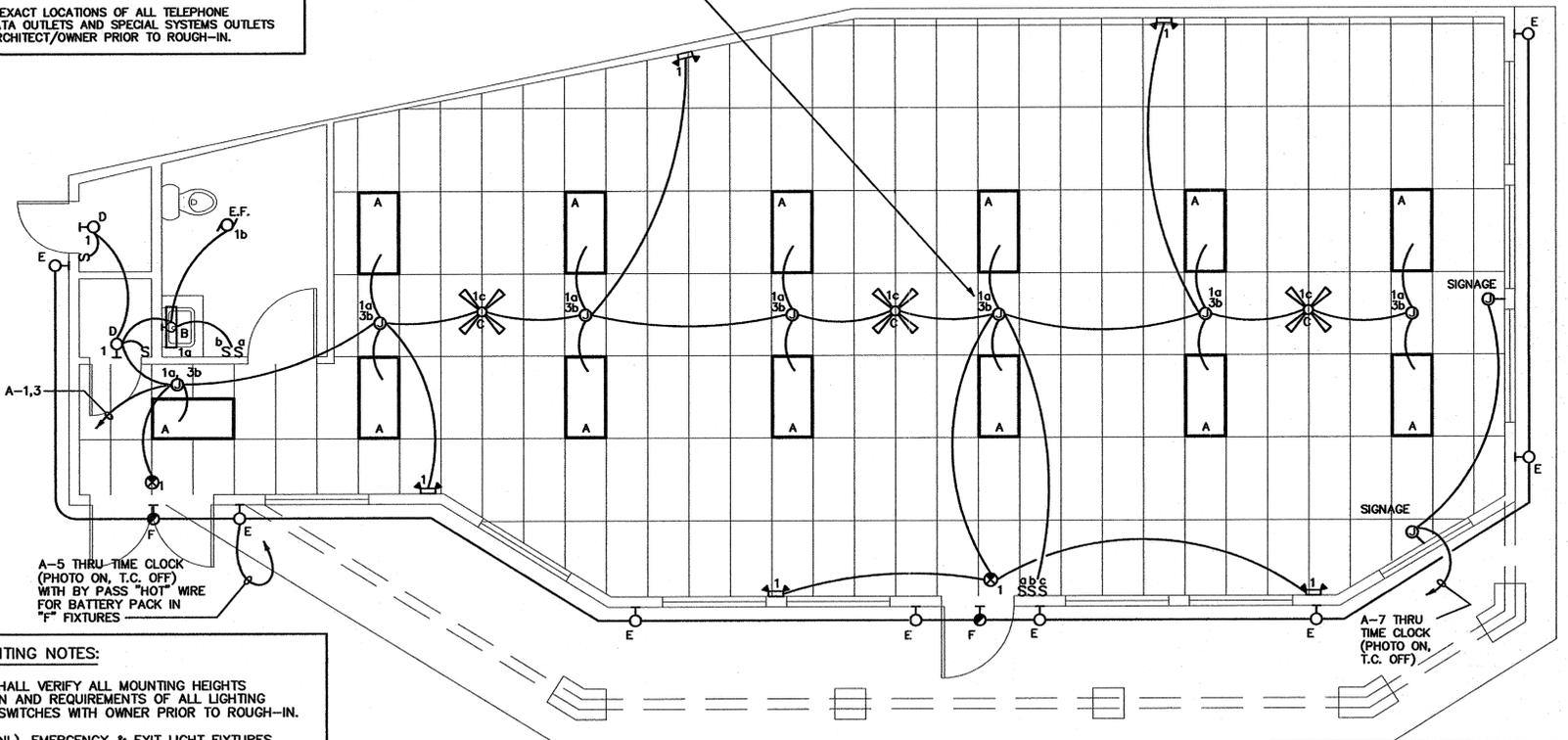
- * CONTINUOUS DUTY/LARGEST MOTOR @ 125%
- ◆ PROVIDE BREAKER W/ HANDLE "LOCK-ON" DEVICE
- CIRCUIT VIA TIMECLOCK
- ▲ CIRCUIT VIA PHOTOCELL
- HACR TYPE CIRCUIT BREAKER

PANELBOARD		B		SCHEDULE			
MAINS: 200A MLD		LOAD-V/A		LOCATION: SEE PLANS			
VOLTAGE: 120/240-1Ø-3V				MOUNTING: FLUSH			
TYPE: SQ. 'D' OR EQUAL				MIN. A.L.C. 22/10K SERIES RATED			
CIRCUIT DESCRIPTION	BKR.	CIR. NO.	ØA	ØB	CIR. NO.	BKR.	CIR. DESCRIPTION
SPARE		1			20	1	SPARE
		3			2		
		5			4		
		7			6		
		9			8		
		11			10		
		13			12		
		15			14		
		17			16		
		19			18		
		21			20		
		23			22		
		25			24		
		27			26		
		29			28		
		31			30		
		33			32		
		35			34		
		37			36		
		39			38		
		41			40		
					42		
TOTAL LOAD PER PHASE							HP# / 115 = AMPS



- GENERAL POWER NOTES:**
- CONTRACTOR SHALL VERIFY ALL MOUNTING HEIGHTS EXACT LOCATION AND REQUIREMENTS OF ALL ELECTRICAL EQUIPMENT AND DEVICES WITH OWNER PRIOR TO ROUGH-IN.
 - ALL RECEPTACLES AT RESTROOM LAVATORIES TO BE GFCI TYPE INSTALLED AT +48" A.F.F.
 - ALL RECEPTACLES IN AREAS WITH-IN 6"-0" OF A SINK SHALL BE GFCI TYPE PER NEC
 - EXTERIOR & ROOF MOUNTED MAINT. RECEPT'S. SHALL BE WP, GFCI TYPE PER NEC
 - VERIFY THE EXACT LOCATIONS OF ALL TELEPHONE OUTLETS, DATA OUTLETS AND SPECIAL SYSTEMS WITH THE ARCHITECT/OWNER PRIOR TO ROUGH-IN.

NOTE: THE FIRST CIRCUIT NO. AND/OR SWITCH LETTER ASSOCIATED WITH TYPE 'A' FIXTURES INDICATES CONTROL OF CENTER LAMP IN THESE FIXTURES. SECOND CIRCUIT NO. AND/OR SWITCH LETTER INDICATES CONTROL OF OUTBOARD LAMPS.



- GENERAL LIGHTING NOTES:**
- CONTRACTOR SHALL VERIFY ALL MOUNTING HEIGHTS EXACT LOCATION AND REQUIREMENTS OF ALL LIGHTING FIXTURES AND SWITCHES WITH OWNER PRIOR TO ROUGH-IN.
 - NIGHT LIGHTS (NL), EMERGENCY & EXIT LIGHT FIXTURES SHALL BE CONNECTED TO UNSWITCHED LEG OF CIRCUIT.
 - ROMAX IS NOT ALLOWED ABOVE T-BAR CEILING.
 - IN ROOMS WITH TYPE 'A' FIXTURES, INBOARD AND OUTBOARD LAMPS TO BE SWITCHED SEPARATLY.

POWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

LIGHTING FLOOR PLAN
 SCALE: 1/4" = 1'-0"

NOTE: TIME CLOCK SHALL BE ELECTRONIC, PROGRAMMABLE, 4-CIRCUIT MIN. W/BATTERY BACK-UP, 4 TWO-POLE RELAYS SET EACH INDIVIDUAL CIRCUIT AS DIRECTED BY ARCHITECT/OWNER.

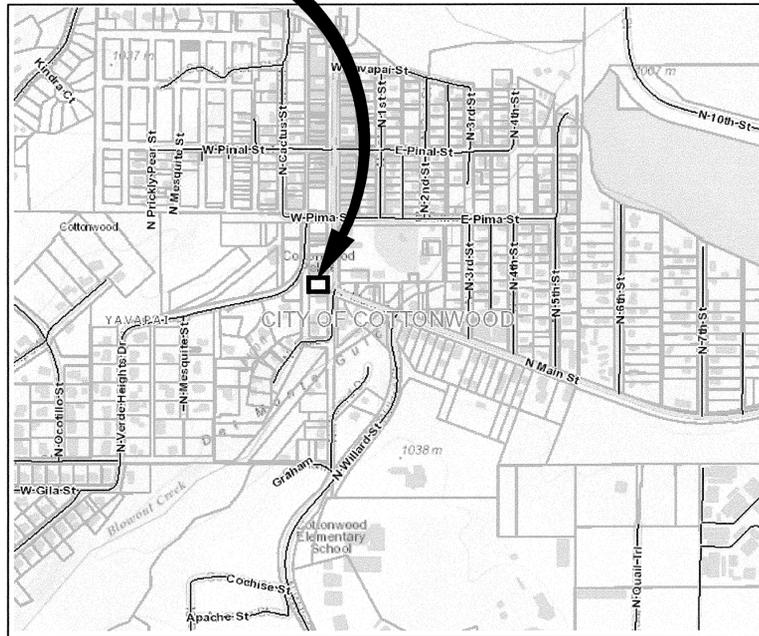
ELECTRICAL DESIGN & CADD SERVICES INC.
 1600 LAMB LANE
 PRESCOTT, AZ. 86305
 OFFICE PH. (928) 776-4900
 CELL (928) 420-1206
 E-MAIL: EES@CABLEONE.NET

MAIN STREET PLAZA

PAVING, GRADING & DRAINAGE PLANS

ELLEFSON ADDITION BLOCK 1 LOTS 12-14
802 N MAIN STREET
COTTONWOOD, ARIZONA
APN 406-32-049

**PROJECT
LOCATION**

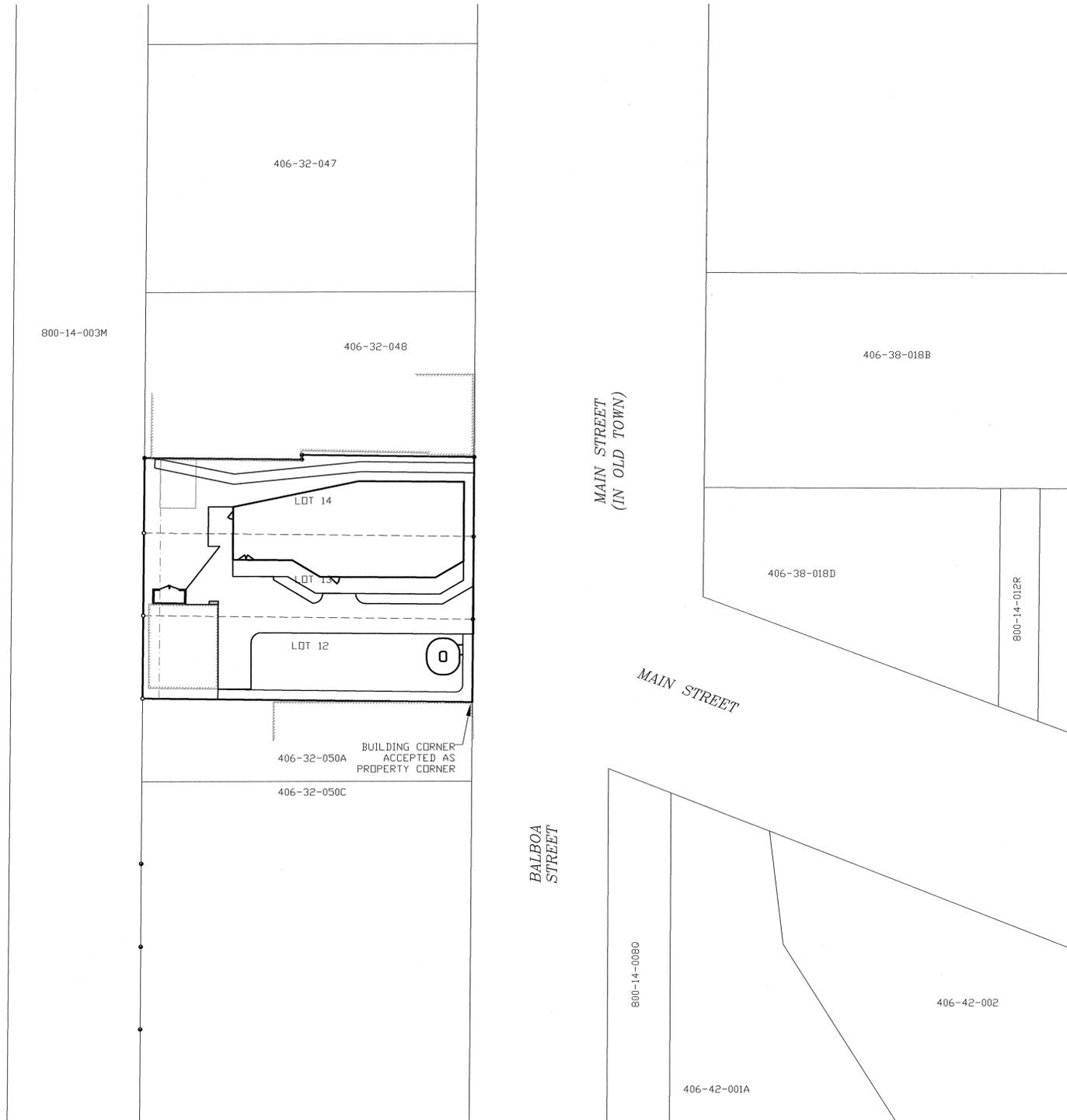


VICINITY MAP
NO SCALE



SHEET INDEX

SHEET	TITLE
1	COVER SHEET
2	GENERAL NOTES
3	SITE MAP, LEGENDS
4	SITE DIMENSIONS, SURVEY CONTROL
5	GRADING
6	TYPICAL & STANDARD DETAILS



OWNER/DEVELOPER
COPPER STATE LAND, LLC
MIKE & VICTORIA CLARK
180 INDIAN RUIN RD
SEDONA, AZ 86351-7345
928-284-3120

LAND PLANNERS/ENGINEERS/SURVEYORS:
SEC, INC.
825 COVE PARKWAY
COTTONWOOD, ARIZONA 86326
(928) 282-7787 FAX: (928) 282-0731
REGISTRATION NUMBERS: P.E. 37322
R.L.S. 40829

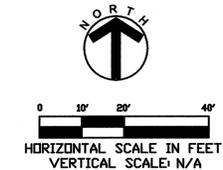
ARCHITECTURAL DESIGN:
TOM VALENTINE
115 WHITE HORSE WAY
SEDONA, AZ 86336
928-284-1959

UTILITIES FURNISHED BY:
ELECTRIC - ARIZONA PUBLIC SERVICE
TELEPHONE - QWEST COMMUNICATIONS
GAS - UNISOURCE
EMERGENCY SERVICES - CITY OF COTTONWOOD FIRE DEPARTMENT
SOLID WASTE COLLECTION - WASTE MANAGEMENT
WATER - CITY OF COTTONWOOD MUNICIPAL WATER UTILITY
SEWER - CITY OF COTTONWOOD UTILITIES DEPARTMENT

ESTIMATE OF QUANTITIES*

CUT	60 CY
FILL	63 CY
NET	3 CY FILL

*SEE GENERAL NOTES # 1.4



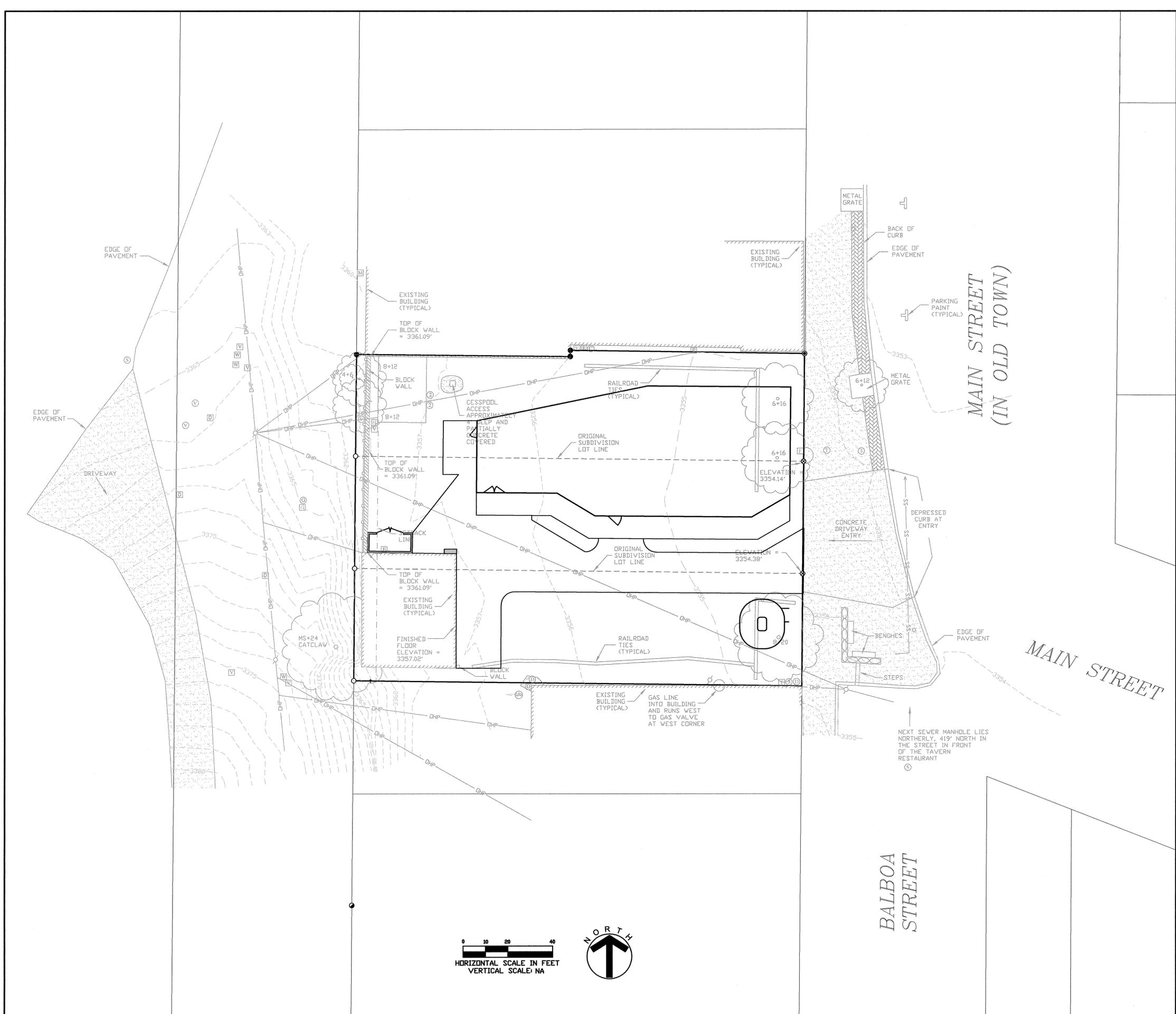
CALL TWO WORKING DAYS
BEFORE YOU DIG
1-800-STAKE-IT
1-800-782-5348
Blue Stake Center
(OUTSIDE MARICOPA COUNTY)



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MAIN STREET PLAZA PAVING, GRADING & DRAINAGE PLANS		COVER 14	
DATE 1/20/16	DRAWN NMW	SHEET 1 OF 6	
SCALE AS SHOWN	CHECKED KG	Project No. 15-0106CS	

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LEGEND-EXISTING FEATURES

- ① INDICATES GUTTER DOWNSPOUT
- ② INDICATES 2" PVC STUB
- ③ INDICATES 3" IRON PIPE STUB
- ④ INDICATES TELEPHONE MANHOLE
- ⑤ INDICATES CABLE BOX
- ⑥ INDICATES TELEPHONE BOX
- ⑦ INDICATES FIBER OPTIC MARKER
- ⑧ INDICATES GAS SERVICE
- ⑨ INDICATES GAS VALVE
- ⑩ INDICATES GAS METER
- ⑪ INDICATES HOSE BIB
- ⑫ INDICATES WATER VALVE
- ⑬ INDICATES IRRIGATION CONTROL VALVE
- ⑭ INDICATES WATER METER
- ⑮ INDICATES SEWER MANHOLE
- ⑯ INDICATES ELECTRIC PANEL / METER
- ⑰ INDICATES CLEANDUT
- ⑱ INDICATES UTILITY POLE
- ⑲ INDICATES DOWN GUY WIRE
- ⑳ INDICATES OVERHEAD POWER LINE
- ⊙ INDICATES LIGHT POLE
- ⊙ INDICATES SIGN
- INDICATES CHAIN LINK FENCE

- ▨ INDICATES ROCK WALL
- ▨ INDICATES CONCRETE
- ▨ INDICATES PAVERS
- ▨ INDICATES CMU BLOCK WALL
- ▨ SEPTIC BLUESTAKE (GREEN PAINT)
- INDICATES FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "LS 31017"
- INDICATES FOUND CONCRETE NAIL AND BRASS TAG STAMPED "SEC RLS 40829"
- INDICATES FOUND SPINDLE AND BRASS TAG STAMPED "SEC RLS 40829"
- INDICATES FOUND 5/8" REBAR AND CAP STAMPED "SEC INC LS 40829"

CONTROL DATA
 NGS DESIGNATION: "E31"
 PID: ET0094
 ELEVATION: 3320.57' (NAVD 88)
 ARIZONA STATE PLANE COORDINATE SYSTEM,
 CENTRAL ZONE COORDINATES
 GRID NORTH: 1364176.4100 U.S. SURVEY FEET
 GRID EAST: 666801.4900 U.S. SURVEY FEET
 LOCATED NEAR THE FRONT DOOR OF THE OLD JAIL BUILDING.

TREE LEGEND
 (DIAMETER IN INCHES, MS=MULTI-STEM)
 ○ APPROXIMATE DIAMETER OF DRIFLINE (FEET)
 ○ CENTER OF TREE

- LEGEND PROPOSED DEVELOPMENT**
- ▨ CONTOURS
 - ▨ RIP RAP
 - ▨ PAVER
 - ▨ SIDEWALK
 - DRAINAGE FLOWLINE
 - ➔ DRAINAGE FLOW DIRECTION

ABBREVIATIONS
 EG EXISTING GRADE
 FG FINISHED GRADE
 BW BOTTOM WALL
 TW TOP WALL
 NTS NOT TO SCALE
 FF FINISHED FLOOR
 SW SIDEWALK

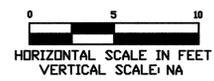
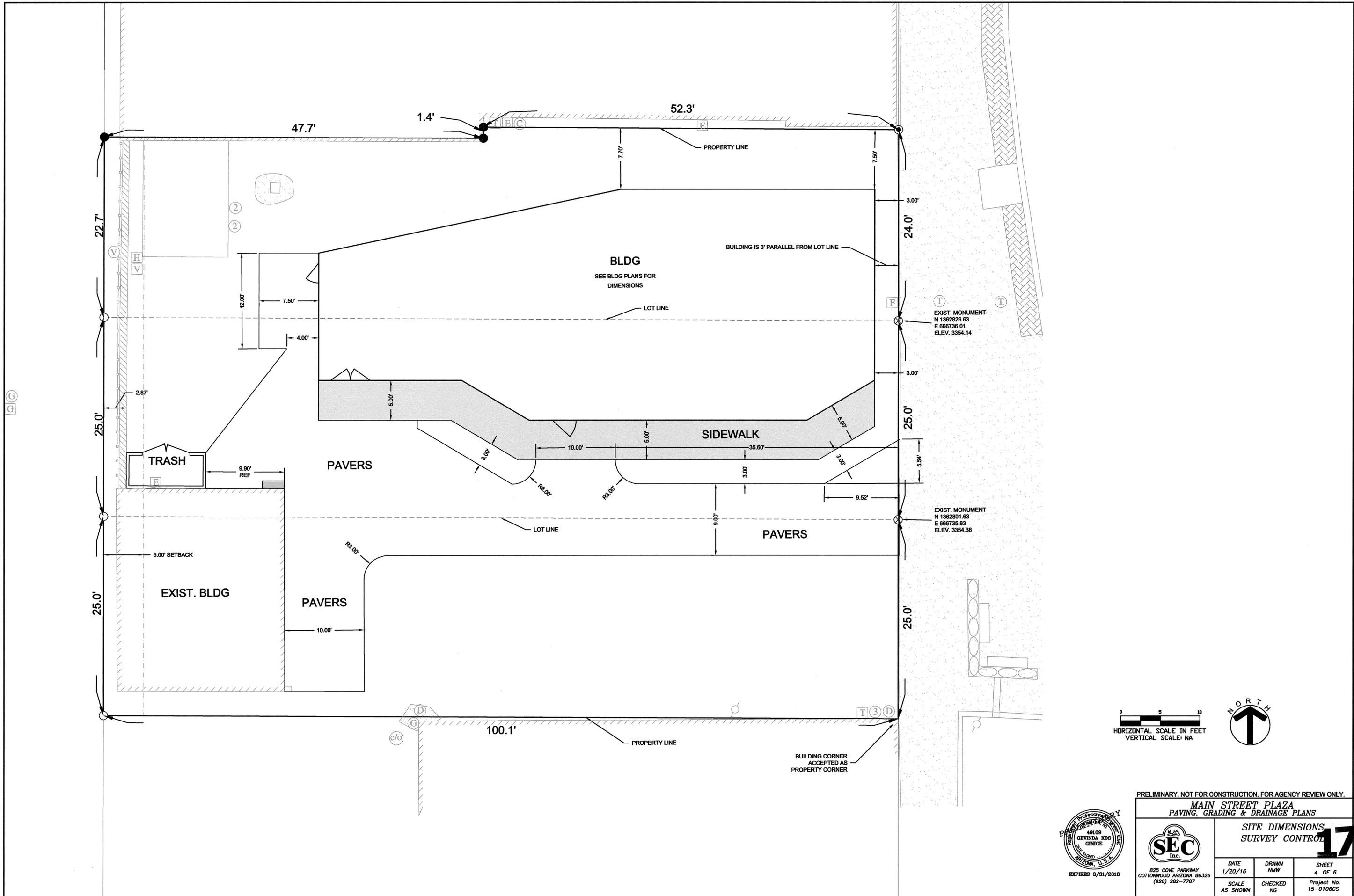


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**MAIN STREET PLAZA
PAVING, GRADING & DRAINAGE PLANS**

 SEC Inc. <small>825 COVE PARKWAY COTTONWOOD ARIZONA 86326 (928) 282-7787</small>	SITE MAP LEGENDS		16
	DATE 1/20/16	DRAWN NMW	SHEET 3 OF 6
SCALE AS SHOWN	CHECKED KG	Project No. 15-0106CS	

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**MAIN STREET PLAZA
PAVING, GRADING & DRAINAGE PLANS**



825 COVE PARKWAY
COTTONWOOD ARIZONA 86326
(928) 282-7787

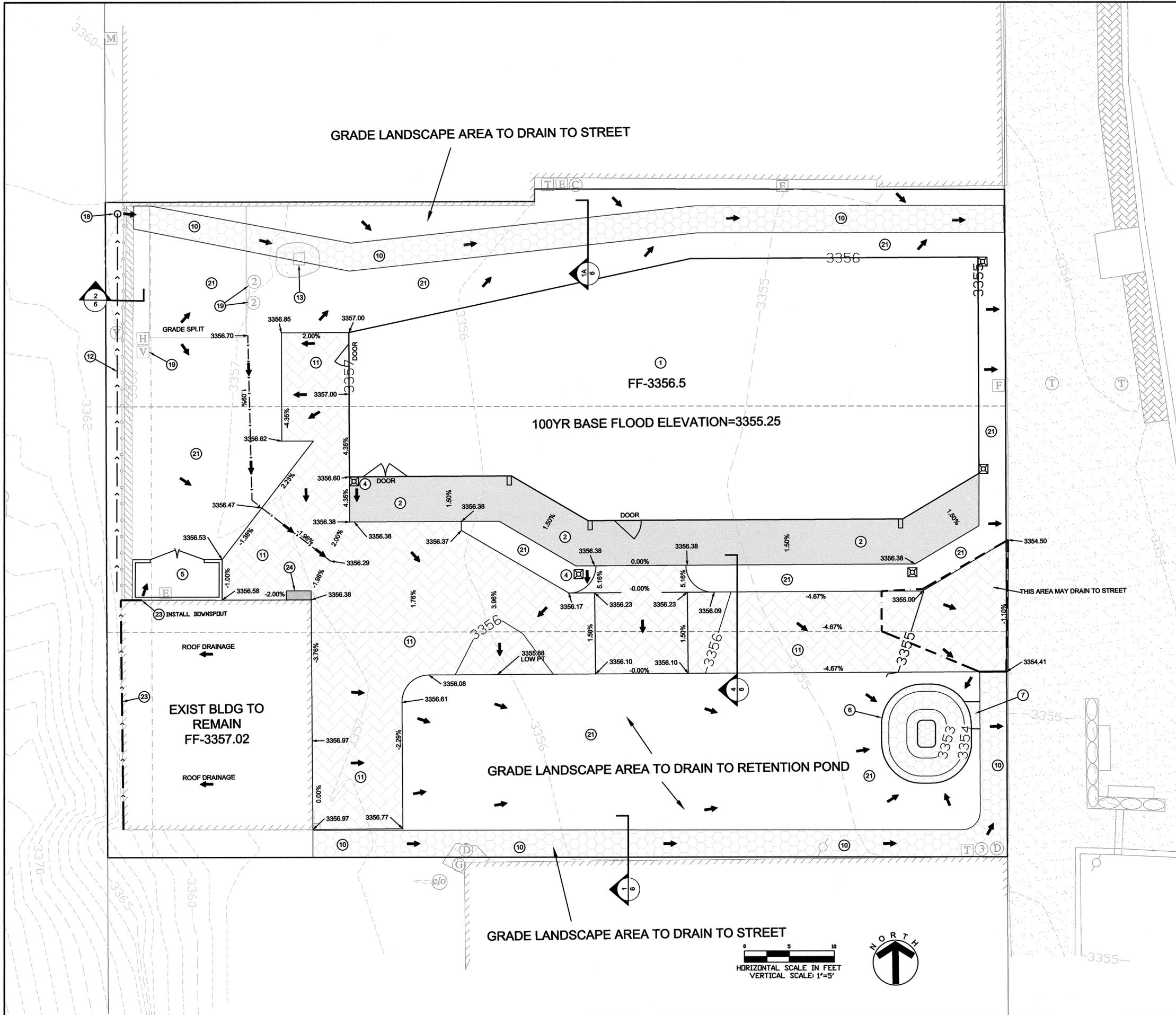
**SITE DIMENSIONS
SURVEY CONTROL**

17

DATE 1/20/16	DRAWN NMW	SHEET 4 OF 6
SCALE AS SHOWN	CHECKED KG	Project No. 15-0106CS



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- CONSTRUCTION NOTES**
 GSD-MARICOPA ASSOCIATION OF GOVERNMENTS STANDARD DETAILS
- 1 BUILDING PER ARCHITECT
 - 2 SIDEWALK PER ARCHITECT
 - 3 NOT USED
 - 4 ROOF DRAIN PER ARCHITECT. ROOF DRAINS SHALL DRAIN TO PROPOSED RETENTION POND.
 - 5 TRASH ENCLOSURE PER ARCHITECT. PROVIDE WEEP HOLES FOR DRAINAGE AS NEEDED.
 - 6 PROVIDE RETENTION POND. 2x3' BOTTOM, 2' DEEP MIN., 2:1 SIDE SLOPES. BOTTOM ELEVATION 3352.0. PROVIDE RIP RAP ALL AROUND SIDES AND BOTTOM. SEE NOTE 1 THIS SHEET.
 - 7 PROVIDE 3' WIDE RETENTION POND SPILLWAY. SPILLWAY ELEVATION: 3354.0. GRADE TO DRAIN TO EXISTING SIDEWALK. RIP RAP ENTIRE SPILLWAY. SEE NOTE 1 THIS SHEET.
 - 8 NOT USED
 - 9 NOT USED
 - 10 PROVIDE LANDSCAPE AREA DRAIN SWALE WITH RIP RAP. DRAIN TO STREET. SEE DETAIL 1 OR 1A, SHEET 6.
 - 11 PAVERS PER ARCHITECT. PAVERS TO DRAIN TO PROPOSED RETENTION POND.
 - 12 PROVIDE DRAIN SWALE ALONG TOP OF EXISTING WALL PER DETAIL 2 SHEET 6. FLOWLINE SLOPE @ 1.0% MINIMUM.
 - 13 REMOVE OR ABANDON EXISTING CESSPOOL PER CITY REQUIREMENTS
 - 14 NOT USED
 - 15 NOT USED
 - 16 NOT USED
 - 17 NOT USED
 - 18 PROVIDE OUTLET FOR WALL DRAIN SWALE. SEE DETAIL 8, SHEET 6.
 - 19 ABANDON & REMOVE EXISTING UTILITIES.
 - 20 NOT USED
 - 21 LANDSCAPE PER ARCHITECT.
 - 22 NOT USED
 - 23 INSTALL GUTTER ALONG EXISTING BLDG ROOF. PROVIDE DOWNSPOUT. DRAIN TO SITE.
 - 24 PROVIDE STEP AT EXISTING DOOR
- NOTES**
- 1) RIP RAP TO BE D50-4" x 8" DEEP WITH GEOTEXTILE UNDERLAY.



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MAIN STREET PLAZA
 PAVING, GRADING & DRAINAGE PLANS

SEC Inc.
 825 COVE PARKWAY
 COTTONTWOOD ARIZONA 86326
 (928) 282-7787

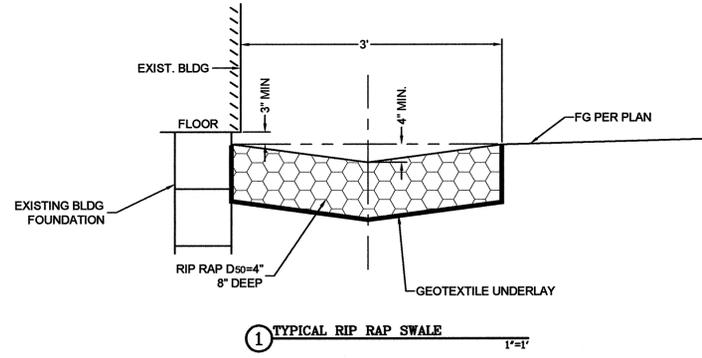
DATE 1/20/16	DRAWN NMW	SHEET 5 OF 6
SCALE AS SHOWN	CHECKED KG	Project No. 15-0106CS

GRADING 18

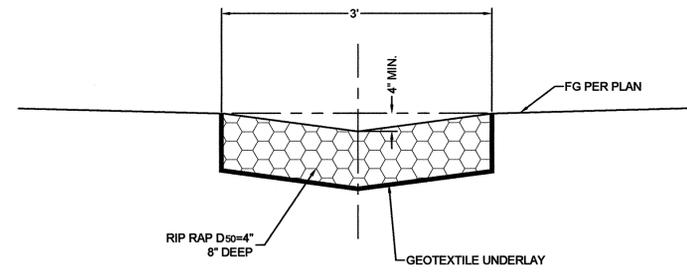
HORIZONTAL SCALE IN FEET
 VERTICAL SCALE: 1"=5'



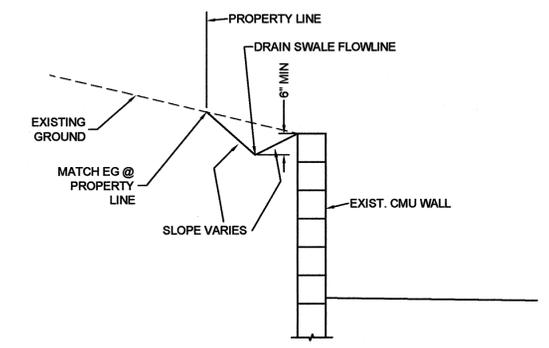
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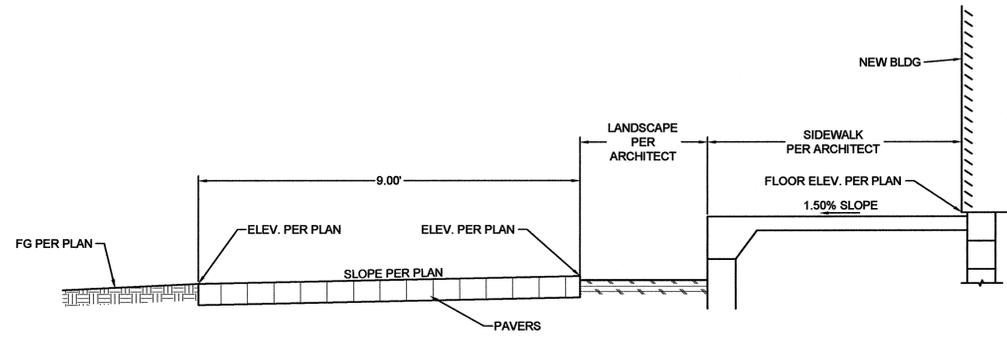
① TYPICAL RIP RAP SWALE 1"=1'



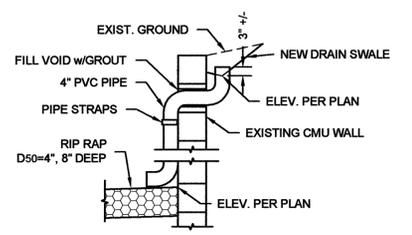
①A TYPICAL RIP RAP SWALE 1"=1'



② TYPICAL WALL SWALE SECTION 1"=2'



④ TYPICAL PAVER SECTION 1"=2'



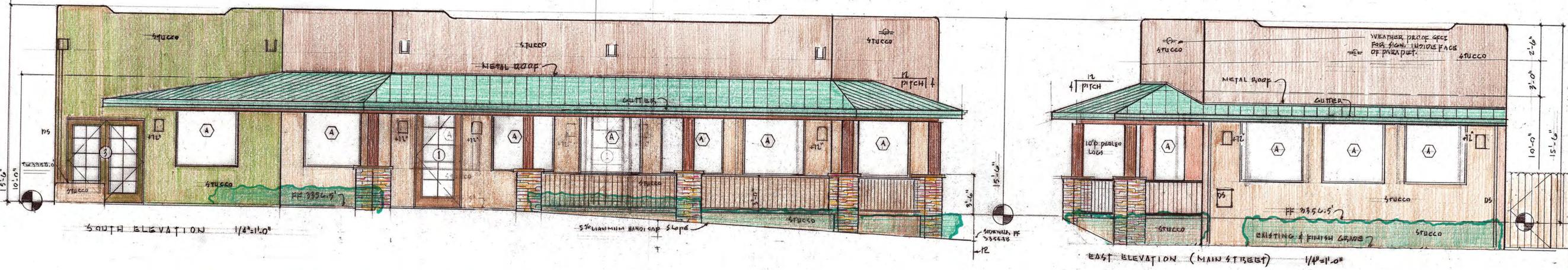
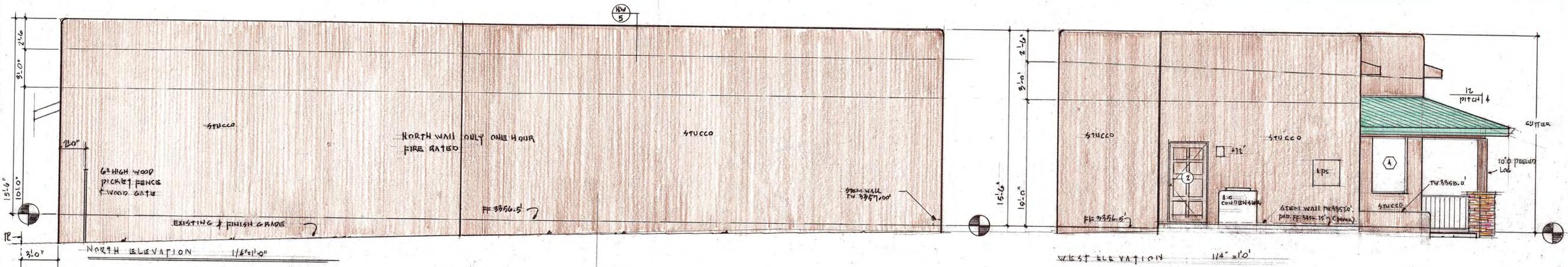
⑧ WALL DRAIN DETAIL NO SCALE



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MAIN STREET PLAZA PAVING, GRADING & DRAINAGE PLANS			
TYPICAL & STANDARD DETAILS			
 825 COWE PARKWAY COTTONWOOD ARIZONA 86326 (928) 282-7787	DATE 1/20/16	DRAWN NMW	SHEET 6 OF 10
	SCALE AS SHOWN	CHECKED KG	Project No. 15-0106CS

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metal sales manufacturing corporation
PVDF (Kynar 500®) Paint System
COLOR GUIDE

24 GAUGE

Classic Green (66)

Chocolate Milk VR098B

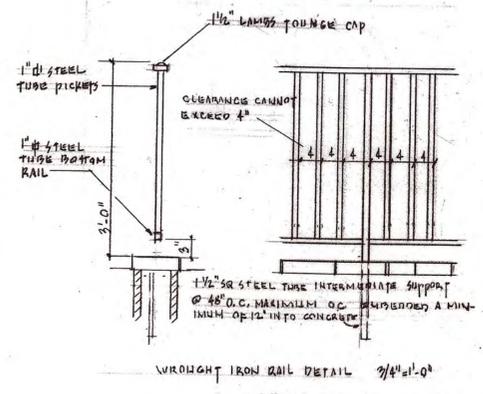
ROOF

Coronado Honey Ledge - Four Rivers

STUCCO

OLD TOWN BLEND pavesstone.

CRRC RATED PRODUCT ENERGY STAR PARTNER
 All Colors Meet or Exceed Steep Slope ENERGY STAR® Requirements



EXTERIOR COLOR SCHEDULE

- STUCCO: VALSPAR CHOCOLATE MILK VR098 B
- DOWN SPOUTS: " " " " " " " " " " " "
- BEAR EXIT DOOR (HUB): " " " " " " " " " " " "
- " " LIGHT: " " " " " " " " " " " "
- " " FRENCH: DUNN-EDWARDS COURTYARD GREEN DEC 776
- DOORS & EXIT LIGHT, 18 FOOT WALL SECTION: " " " " " " " " " " " "
- METAL ROOF: U.S. (METAL SALES) 24 GAUGE CLASSIC GREEN 66
- " " GUTTERS: " " " " " " " " " " " "
- DOWN SPOUTS: MATCH STUCCO
- BUILT-UP ROOF: GAF TOP CAP SURET GAF TAN
- ROOF JACKS: MATCH " " " " " " " " " " " "
- WINDOW FRAMES: BRONZE
- FLUTE FRENCH ENTRY: "
- PERLED LOGS, GOLF BENCH: SEMI-TRANSPARENT STAIN 711
- 1/2" G STARTER BOARD
- WROUGHT IRON RAIL: BLACK SEMI-GLOSS POWDERY COAT
- GATES: "
- CORONADO STONE: CORONADO HONEY LEDGE FOUR RIVERS
- WOOD FENCING: VALSPAR CHOCOLATE MILK VR098 B
- EXISTING GARAGE: DUNN-EDWARDS COURTYARD GREEN DEC 776

Designed especially for:

Copper State Land, L.L.C.
 Mike and Victoria Clark
 180 Indian Ruin Road
 Sedona, AZ 86351-7345
 (928) 284-3120
 Fax: (928) 284-3122

Thomas D. Valentine
 Professional Building Design
 Fine Homes for Over 30 Years

115 White Horse Way
 Sedona, AZ 86351
 928-284-1959 Fax: 928-282-3488

REVISIONS	BY

Thomas D. Valentine
 Professional Building Design
 Fine Homes for Over 30 Years

115 White Horse Way
 Sedona, AZ 86351
 928-284-1959 Fax: 928-282-3488

NOTE: GENERAL CONTRACTOR, SUBCONTRACTOR, VENDORS, ARCHITECT, AND OTHER PROFESSIONALS SHALL BE VERIFIED PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION. THE CREATOR OF THIS PLAN SHALL BE NOTIFIED IN WRITING OF ANY AMENDMENTS TO THIS PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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 Mike and Victoria Clark
 180 Indian Ruin Road
 Sedona, AZ 86351-7345
 (928) 284-3120
 Fax: (928) 284-3122

DRAWN
 TOM VALENTINE

CHECKED

DATE

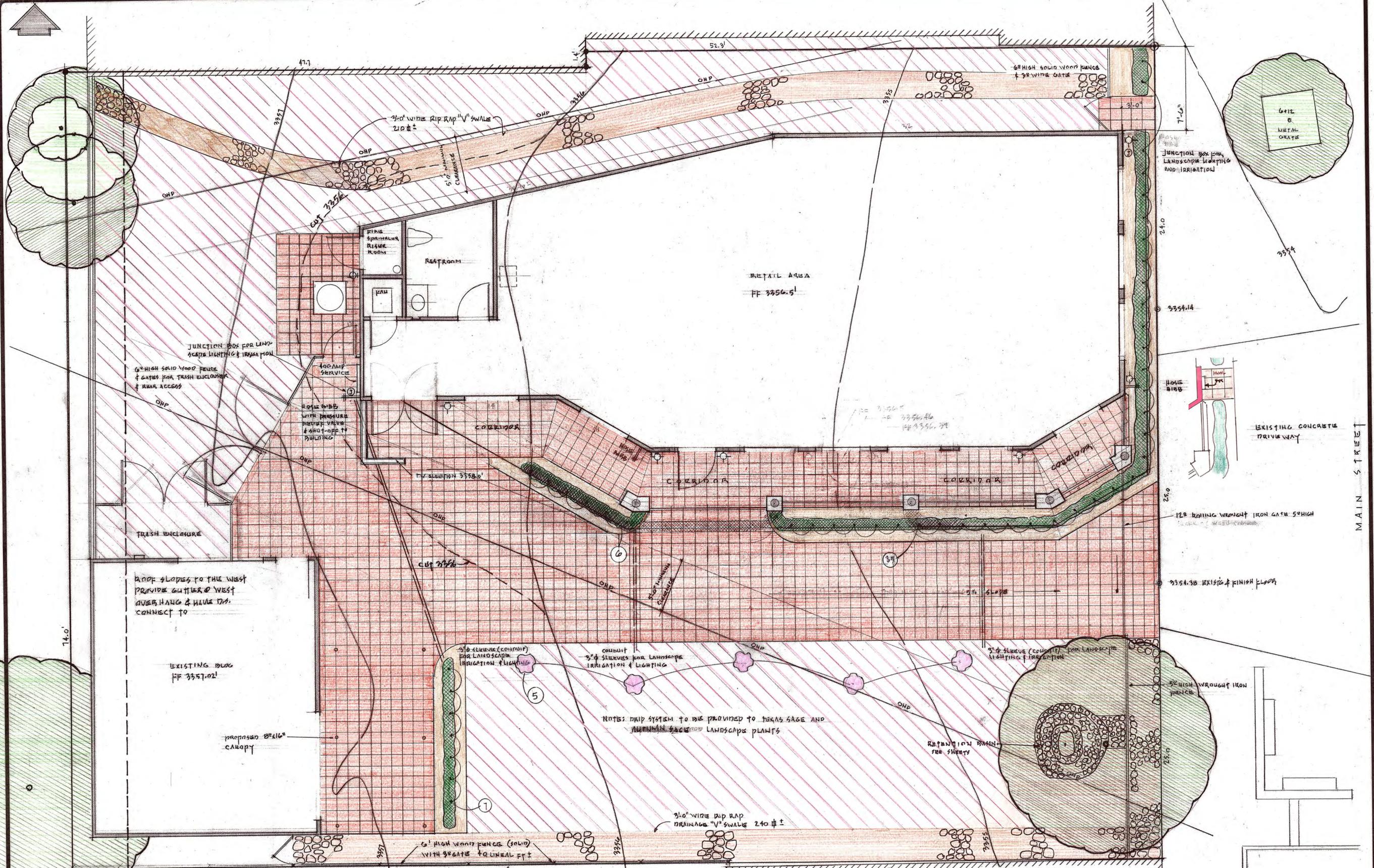
SCALE
 1/4" = 1'-0" 1/2" = 0"

JOB NO.
 MAIN STREET - PLAZA

SHEET
7

OF SHEETS

ELEVATIONS



PAVE-STONE 606-99 PLAZA CORRIDOR = 355 sq ±
 RECT. OLD-TOWN BLEND OTHER = 1342 sq ±
 TOTAL = 1697 sq ±

CUT & FILL RECAP
 PAD CUT 60 YARDS
 FORMING EXCAVATION 15 YARDS
 IMPORT ABC MATERIAL FOR SLAB RETAINING 44 YARDS
 NOTES: PAD CUT & FORMING EXCAVATION MATERIAL SHALL BE USED FOR HANDI-CAP & LANDSCAPE PURPOSES.

/// = GROUND COVER 3/4" MINUS SPACES PINK GRAVEL = 2156 sq

3/8" PLANTER AREA
 AUTUMN SAGE SALVIA GARDEN ONE GALLON QUANTITY = 40
 TEXAS SAGE LEUCOPHYLLUM FIVE GALLON QUANTITY = 5
 PRUNUS SPINOSA PINKLE
 SAGE SUMMER PLANTS

REVISIONS	BY

Thomas D. Valentine
 Professional Building Design
 Fine Homes for Over 30 Years
 115 White Horse Way
 Sedona, AZ 86351
 928-284-1959 Fax: 928-282-3488

NOTE: GENERAL CONTRACTOR, SUBCONTRACTOR, VENDORS & OWNER, SUBSTANTIAL CARE & EFFORT HAVE GONE INTO THE CREATION OF THIS PLAN. THE CREATOR HAS MADE EVERY EFFORT TO MAKE THIS PLAN ACCURATE AND COMPLETE. THE CREATOR SHALL BE NOTIFIED IN WRITING OF ANY DIMENSIONAL CONFLICTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

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 180 Indian Ruin Road
 Sedona, AZ 86351-7345
 (928) 284-3120
 Fax: (928) 284-3122

DRAWN TOM VALENTINE
CHECKED
DATE
SCALE 1/4" = 1'-0"
JOB NO. MAIN SHEET PLAZA
SHEET 11
OF SHEETS



02/11/2016



ART GLITTER

BARTER
INN

MILITARY
SURPLUS

02/11/2016



02/11/2016



BALBOA

MAN

02/11/2016



02/11/2016



02/11/2016



02/11/2016



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Tyler Roberts, Assistant Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: February 22, 2016

PROJECT NUMBER: **DR 16-006 Cottonwood Village**

The applicant is requesting Design Review approval for the construction of a deck addition to Cottonwood Village.

PROJECT DATA AND FACTS:

Applicant/Agent	Chris Vernosky
Owner	Capital Senior
Location of Property	201 East Mingus Avenue
Present Zoning and Land Use	R-3 – Multiple Family Residential – Assisted Living and Memory Care Facility
Description of Applicant's Request	Addition of a deck to the west side of the building, on the second and third stories.

LAND USE:

Description and Character of Surrounding Area
The site is located on the corner of East Mingus Avenue and South Willard Street. It is surrounded by a variety of uses in the area, including schools, parks, and other assisted living facilities.

Adjacent Land Uses and Zoning	
North (across Mingus Ave):	R-1 – Single Family Residential – School
South:	R-2 – Single Family/Multiple Family Residential – Assisted Living R-3 – Multiple Family Residential – Assisted Living
East:	R-1 – Single Family Residential – City Park and Teen’s Center
West: (across Willard St)	R-1 – Single Family Residential – Church

PROJECT PROPOSAL:

Background:

The building is operated by Cottonwood Village, an assisted living and memory care facility. They need to move their memory care suites from the first floor to the third floor. They are required to provide an accessible outdoor space for the memory care residents and so wish to build a deck on the west side of the building. This deck would have a level on the second and third floor, as well as a patio on the bottom level. All other changes are interior only.

STRUCTURE DESIGN:

Approximate Square Footage of Deck	680 sq. ft. Second Floor 1070 sq. ft. Third Floor 1750 sq. ft. Total
------------------------------------	--

Parking:

No changes will be made that effect parking requirements.

Lighting:

Exterior lighting will meet all Dark Sky and light code requirements.

Signage:

No additional signage has been proposed at this time.

Access:

The property has access off of S. Willard Street and E. Mingus Avenue. Construction of the deck will not affect access.

Landscape Plan:

No additional landscaping has been proposed.

Utilities:

The new deck will not create additional demand on utilities.

Architecture, Materials, Colors:

The deck will be made of an aluminum decking called Versadeck. The railing will be made of Eco-Mesh, a product which uses metal wires in a grid pattern, for security.

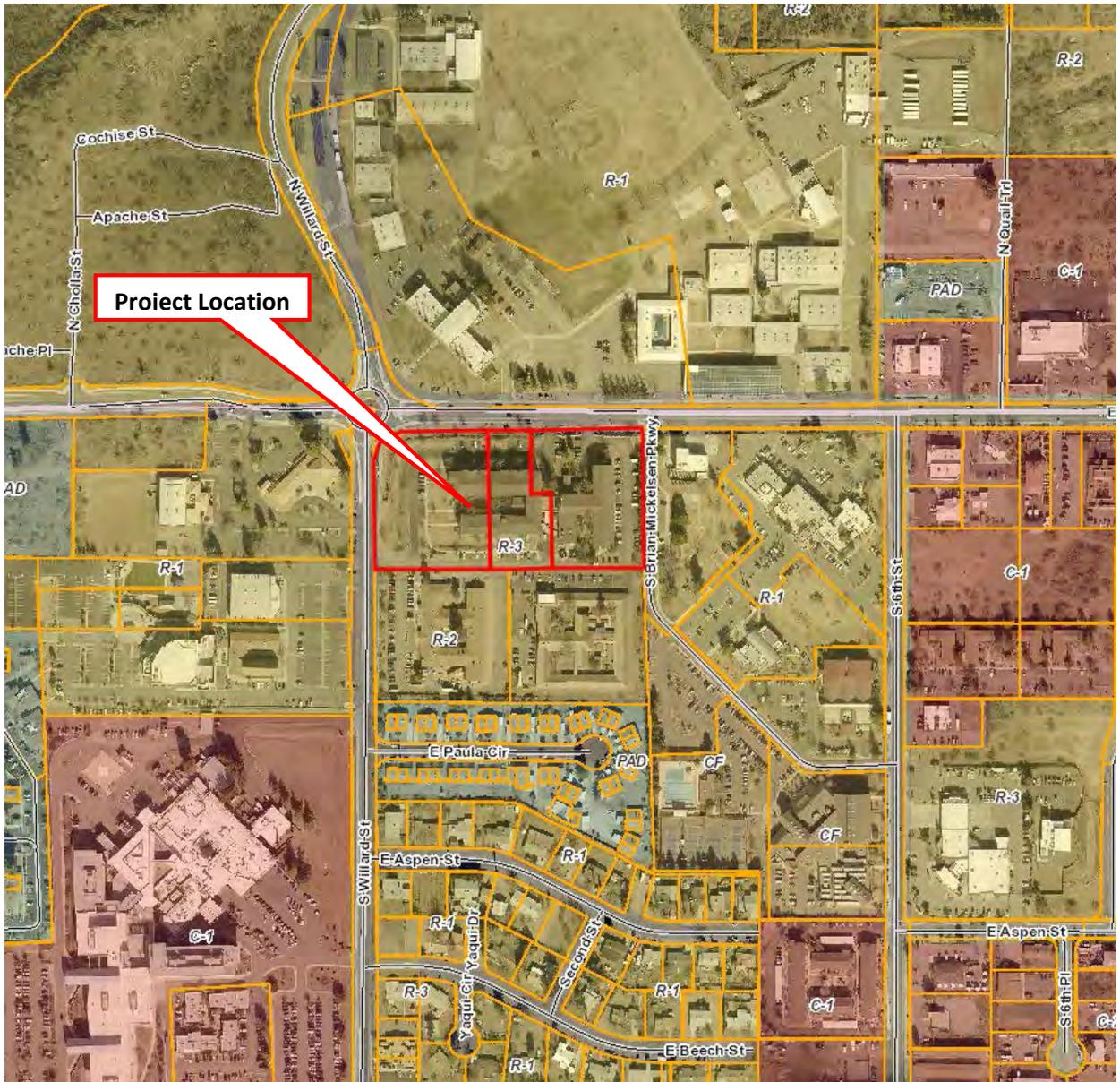
CRB Review:

This project was reviewed by the Code Review Board on January 26, 2016, and the applicant will meet all requirements from staff.

Staff Review:

If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the plans submitted February 9, 2016 and as may be further modified by the Planning Commission.
2. That the project conforms to Code Review Board comments dated January 28, 2016.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.



**LETTER OF INTENT
COTTONWOOD VILLAGE**

JANUARY 15, 2016

Scott Ellis
111 Main
Cottonwood, Arizona 86326

Dear Scott:

Cottonwood Village would like to move their memory care suites from the first floor to the third floor of their existing building. Currently, the memory care requirements of security prevent the owners from easily using the elevator facilities. By moving the memory care suites to the third floor, all the other floors can use the elevator without disabling and resetting the security doors. Also, we have to provide an accessible outdoor space for the memory care residents. This will require us to construct a deck on the west side of the affected wing. The state office of assisted living has approved this method to comply with their requirements.

There will be no structural changes to the existing building. We will be removing and constructing interior non-bearing partitions only. We will have to change some electrical circuits, as well as rework some mechanical equipment. We will also have to provide a new set of security doors on the third floor that will automatically open in emergency situations to allow for access to the required exit stairs.

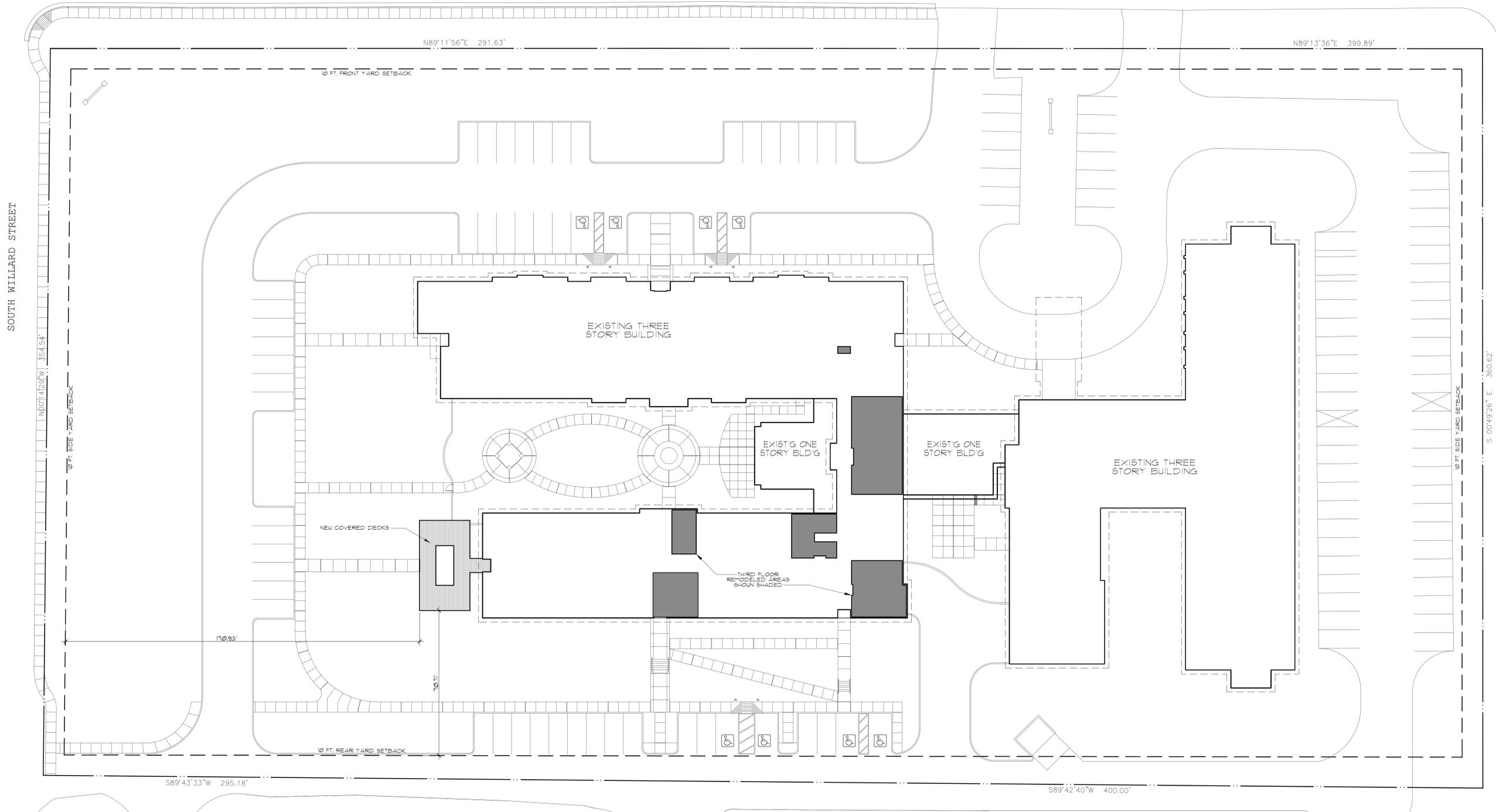
Sincerely:



EXPIRES: 09/30/2016

Christian Vernosky

christian vernosky □ **architects**
p.o. box 3366 □ **cottonwood. arizona 86326**



SITE PLAN

SCALE: 1" = 20'-0"



<p>PROJECT DESCRIPTION: The project is an expansion of the existing Cottonwood Village assisted living development comprised of a one-story wing and a three-story main bldg. located at 201 E. Mingus ave. in Cottonwood, Arizona. The existing buildings is a wood frame structure w/stucco exterior wall finish and an asphalt shingle roof. The proposed expansion will consist of a one story commons area, three-story 49 unit independent living area, and a three-story 48 unit Assisted Living area.</p>		<p>USE ZONE: R-3 Existing Cottonwood Village Parcel R-2 Existing New Parcel - Proposed Zoning Change to R-3 R-3 ZONE - MULTIPLE FAMILY RESIDENTIAL</p>		<p>CODE: Uniform Building Code, 1994 edition. NFPA 101 Life Safety Code, 1994 edition Accessibility - ANSI 1992 edition</p>																						
<p>LEGAL OWNER: Capital Senior Development, Inc. 14150 Dallas Parkway, Suite 300 Dallas, Texas 75240</p>		<p>PROJECT ADDRESS: Cottonwood Village 201 East Mingus Avenue Cottonwood, Arizona 86326</p>		<p>OCCUPANCY: A3 (Dining); B2 (Office/Reception); R1 (Residences) Based on UBC New Residential Board and Care Based on NFPA 101 Life Safety Code</p>																						
<p>AREA OF SITE: Existing Parcel: Approx. 144,000 SF (3.305 AC) New Parcel: Approx. 104,413 SF (2.397 AC) Total Site Area: Approx. 248,413 SF (5.702 AC)</p>		<p>EXISTING BUILDING First Floor Area: 18,150 SF Total Living Units Existing: 65 units Total Floor Area Existing: 47,458 SF</p>		<p>CONSTRUCTION TYPE: UBC Existing Bldg. Typ. V, 1-hr. sprinklered Typ. V (II) sprinklered Proposed Bldg. Typ. V, 1-hr. sprinklered Typ. V (II) sprinklered</p>																						
<p>PROPOSED BUILDING First Floor Area: 29,042 SF Total Living Units Proposed: 97 units Total Floor Area Proposed: 78,784 SF</p>		<p>DENSITY CALCULATION: 162 Units/5,702 AC=28.4 Units/Acre PERCENT OF PARCEL DEVOTED TO BUILDINGS: 16.6%</p>		<p>CONSTRUCTION TYPE: NFPA 101 Assisted Independent</p>																						
<p>PROPOSED NEW DEVELOPMENT i. 6 Unit Types (All will be Handicapped Accessible) broken out as follows:</p>		<p>PARKING Homes for aged: Existing and Proposed Beds: (Bedrooms) Total Required: Existing Provided: Proposed: Total:</p>		<p>BUILDING UNIT SUMMARY: (New and Existing Development)</p> <table border="1"> <tr> <th></th> <th>Assisted</th> <th>Independent</th> </tr> <tr> <td>Alcove</td> <td>33 Units</td> <td>7 Units</td> </tr> <tr> <td>One Bedroom</td> <td>15 Units</td> <td>16 Units</td> </tr> <tr> <td>One Bedroom - Deluxe</td> <td>0 Units</td> <td>8 Units</td> </tr> <tr> <td>Two Bedroom - 1 1/2 Bath</td> <td>0 Units</td> <td>12 Units</td> </tr> <tr> <td>Two Bedroom - 2 Bath</td> <td>0 Units</td> <td>6 Units</td> </tr> <tr> <td>Total</td> <td>48 Units</td> <td>49 Units</td> </tr> </table>			Assisted	Independent	Alcove	33 Units	7 Units	One Bedroom	15 Units	16 Units	One Bedroom - Deluxe	0 Units	8 Units	Two Bedroom - 1 1/2 Bath	0 Units	12 Units	Two Bedroom - 2 Bath	0 Units	6 Units	Total	48 Units	49 Units
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	Assisted	Independent																								
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**PRELIMINARY
NOT FOR CONSTRUCTION**

CHRISTIAN VERNOSKY ARCHITECTS LLC
411 SOUTH FOURTEENTH STREET COTTONWOOD, AZ 86326
928-634-8318

**RENOVATIONS TO THE:
COTTONWOOD VILLAGE**
201 EAST MINGUS AVE. COTTONWOOD, ARIZONA

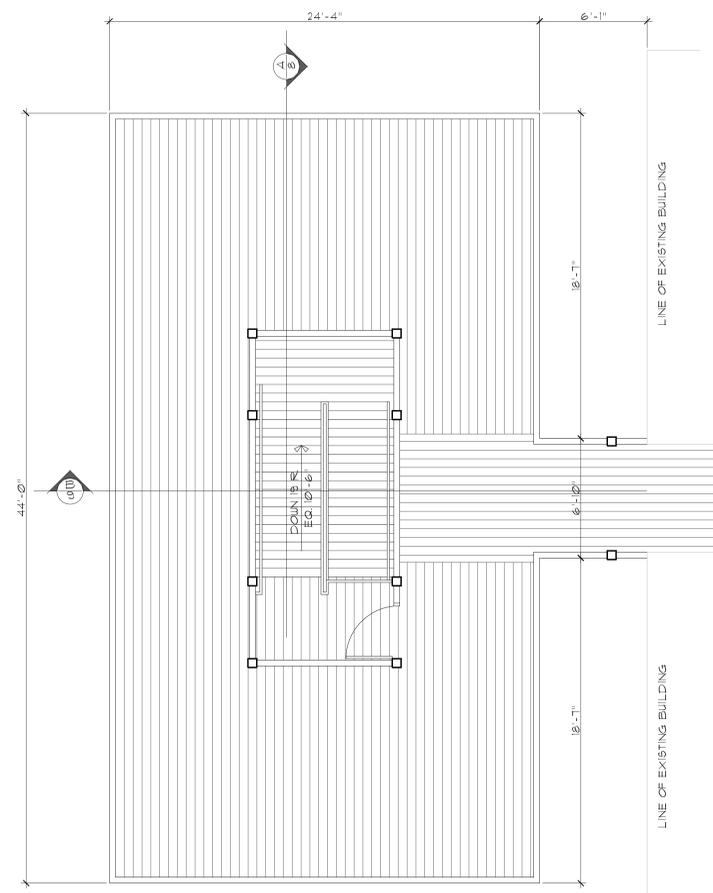
SHEET
FIVE
OF
SIX



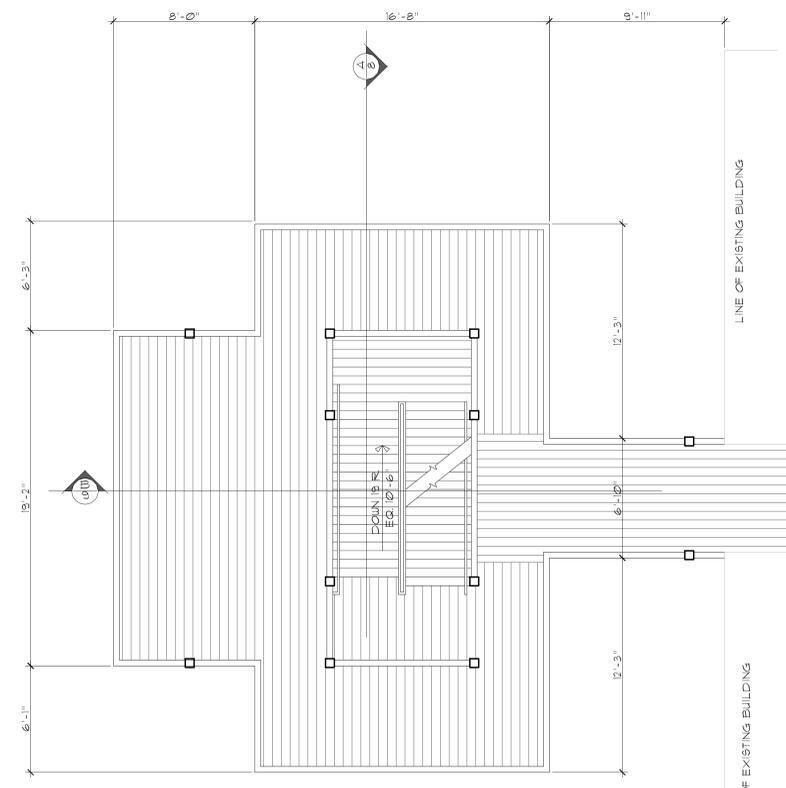
CHRISTIAN VERNOSKY ARCHITECTS LLC
411 SOUTH FOURTEENTH STREET COTTONWOOD, AZ 86326
928-634-8318

RENOVATIONS TO THE:
COTTONWOOD VILLAGE
201 EAST MINGUS AVE. COTTONWOOD, ARIZONA

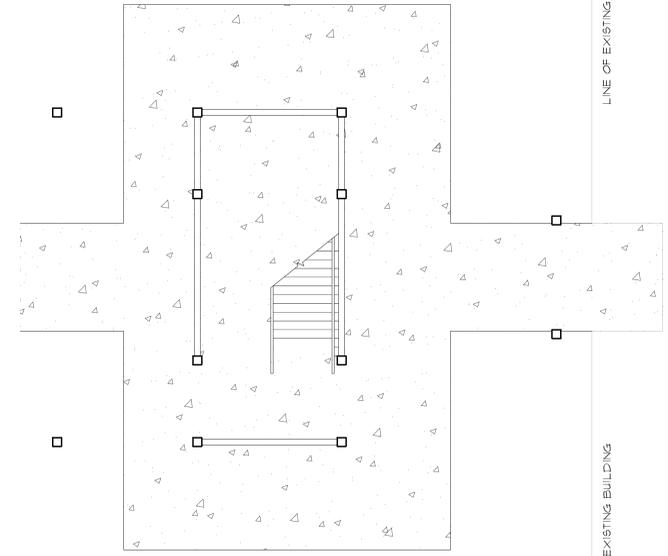
SHEET
FIVE
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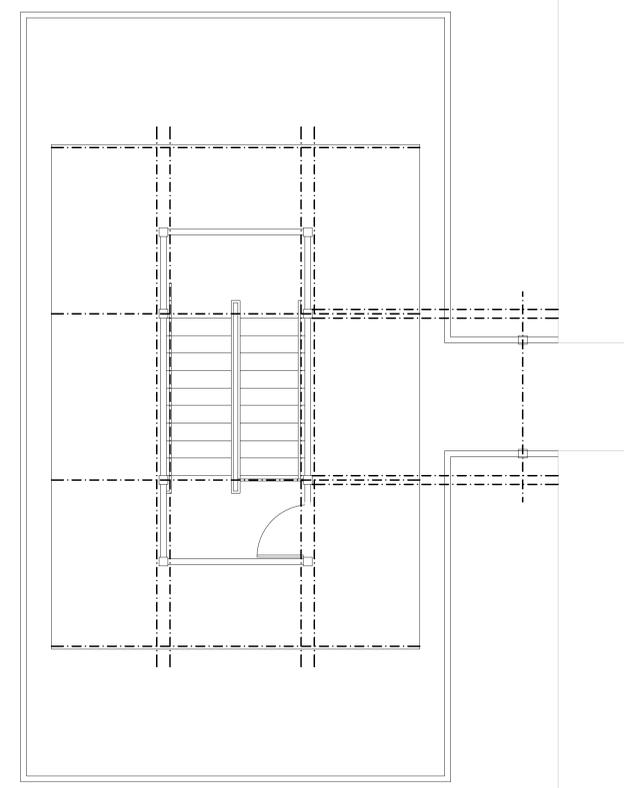
THIRD FLOOR DECK PLAN
1/4" = 1' - 0"



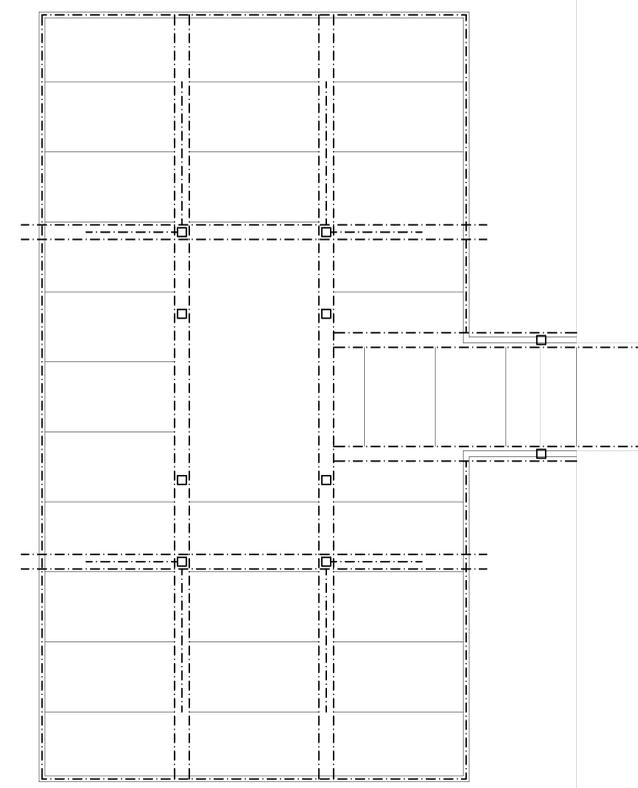
SECOND FLOOR DECK PLAN
1/4" = 1' - 0"



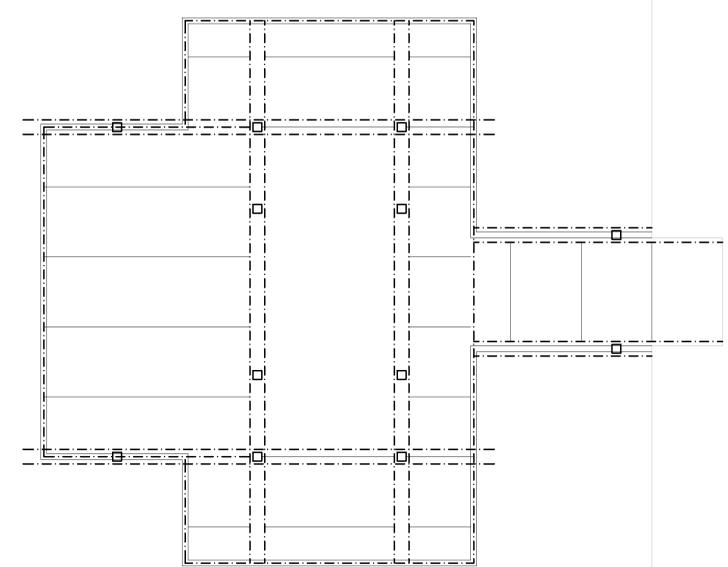
FIRST FLOOR PATIO PLAN
1/4" = 1' - 0"



ROOF FRAMING PLAN
1/4" = 1' - 0"

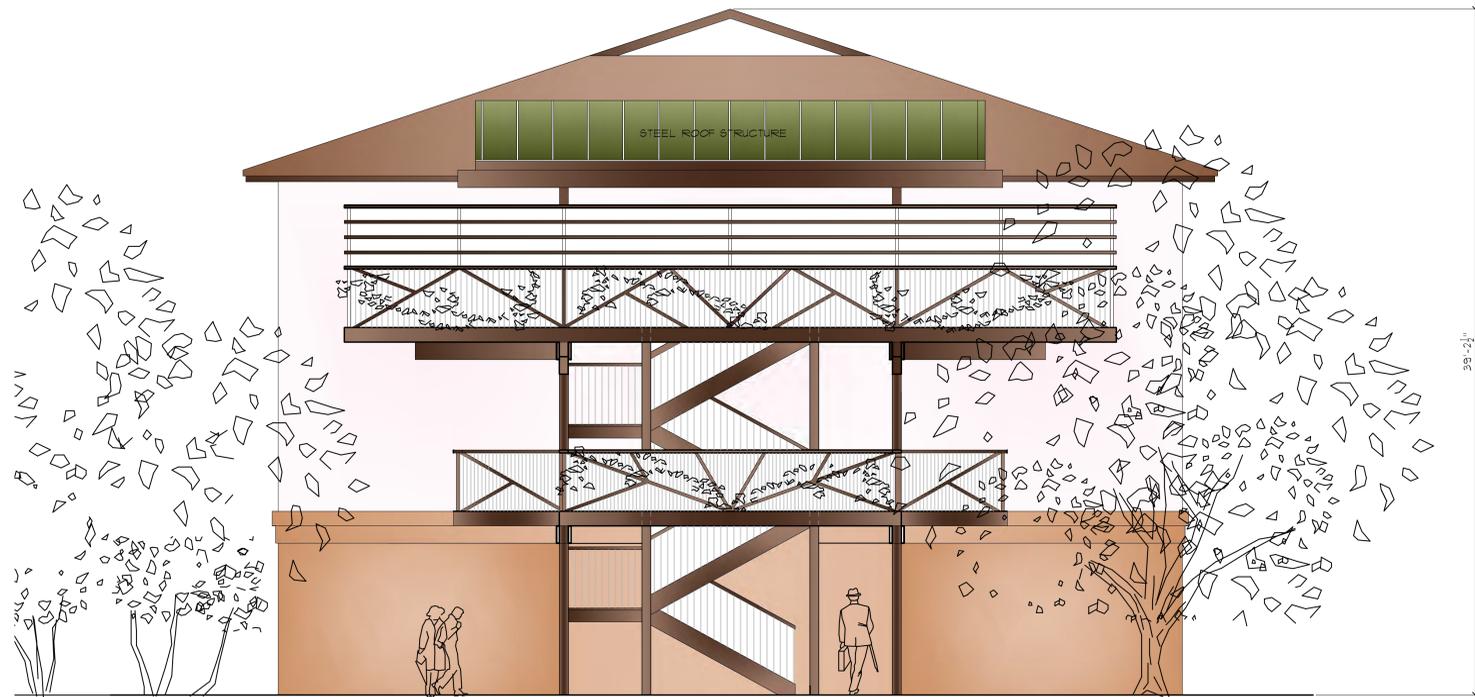


THIRD FLOOR FRAMING PLAN
1/4" = 1' - 0"

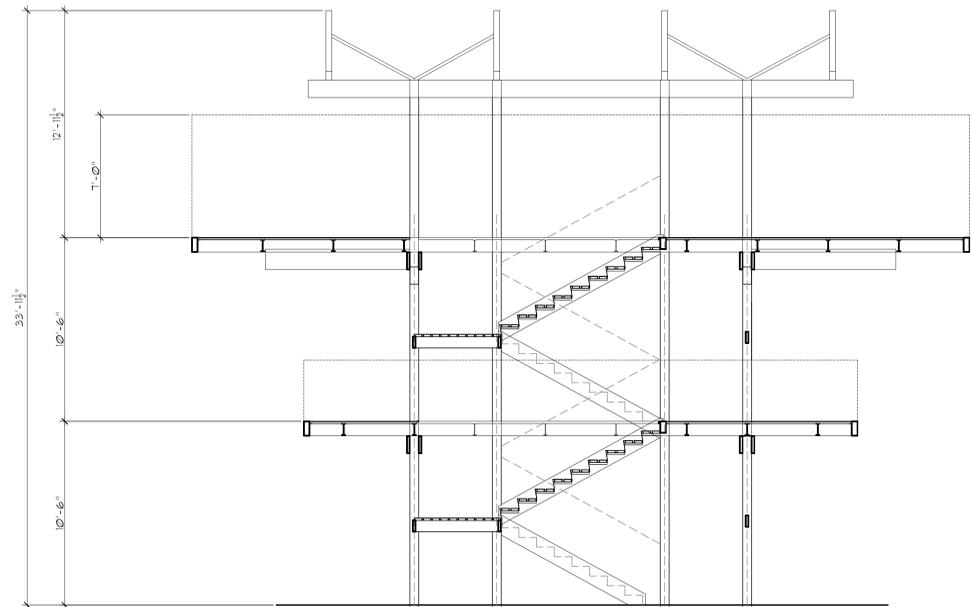


SECOND FLOOR FRAMING PLAN
1/4" = 1' - 0"

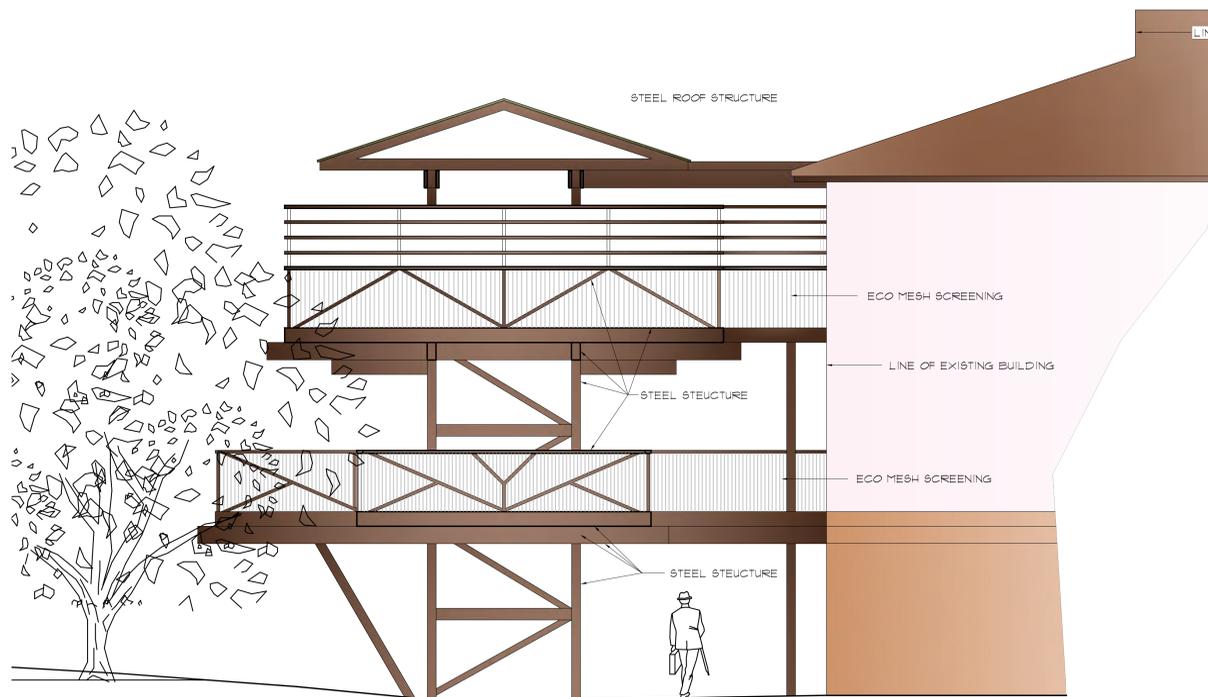
**PRELIMINARY
NOT FOR CONSTRUCTION**



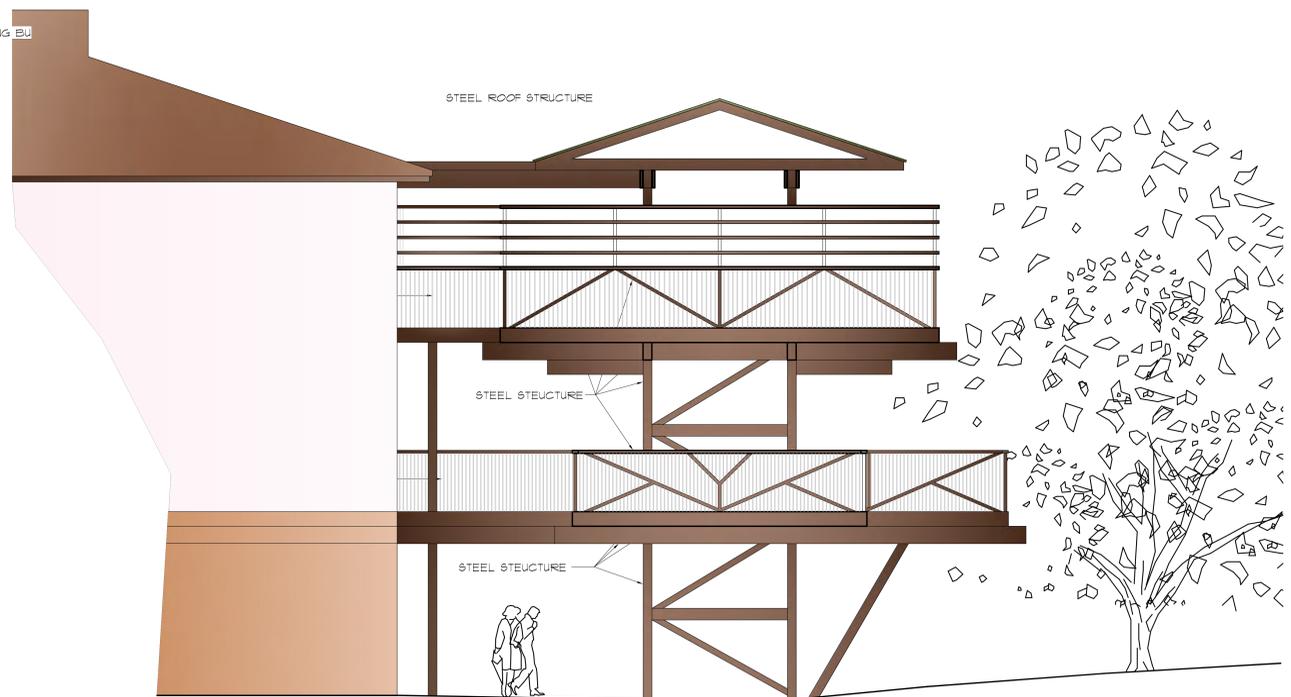
WEST ELEVATION
1/4" = 1' - 0"



STRUCTURAL SECTION
1/4" = 1' - 0"



SOUTH ELEVATION
1/4" = 1' - 0"



NORTH ELEVATION
1/4" = 1' - 0"

**PRELIMINARY
NOT FOR CONSTRUCTION**

CHRISTIAN VERNOSKY ARCHITECTS LLC
411 SOUTH FOURTEENTH STREET COTTONWOOD, AZ 86326
928-634-8318

**RENOVATIONS TO THE:
COTTONWOOD VILLAGE**
201 EAST MINGUS AVE. COTTONWOOD, ARIZONA

SHEET
SIX
OF
SIX

COTTONWOOD VILLAGE



WING WITH DECK ADDITION



BOTH WINGS AND COURTYARD



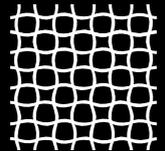
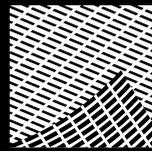
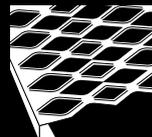
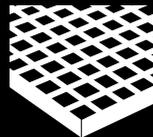
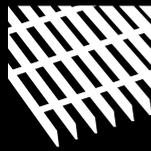
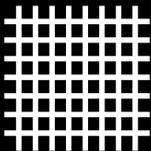
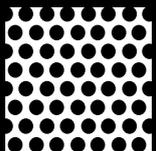
ADJACENT BUILDINGS TO THE NORTH



ADJACENT BUILDINGS TO THE SOUTH

McNICHOLS

ECO-MESH® MODULAR SYSTEMS



Inspired to Serve!™

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The Hole Story



Bob McNichols, Founder
(1922 - 1981)

McNICHOLS CO.

has grown from a small family business to an industry leader, while the spirit of Founder Bob McNichols lives on.

During his service in World War II, Bob made a solemn vow that if he came out of the war alive, he would

put God first and make Him his partner.

The bombardier of a Boeing B-17 Flying Fortress, Bob was the only member of the plane's nine-man crew to survive an attack by Nazi fighters on October 6, 1944. He spent months in a German prisoner-of-war camp before he and fellow POWs were liberated on May 1, 1945. Bob returned to America and united with his wife, Phyllis, and his six-month-old daughter, Barbara.

Bob began **McNICHOLS** with Phyllis on May 1, 1952.

He trademarked "The Hole Story" as a tribute to the perforated and expanded metal products he carried. The slogan's debut in the **McNICHOLS**® Master Catalog in 1975 initiated a legacy of "Hole" references, such as "Hole Products" and "The Hole Team."

The company suffered the unexpected loss of Bob in 1981. By this time, **McNICHOLS** had built a national base of customers and relocated its headquarters to Tampa, FL, from Cleveland, OH.

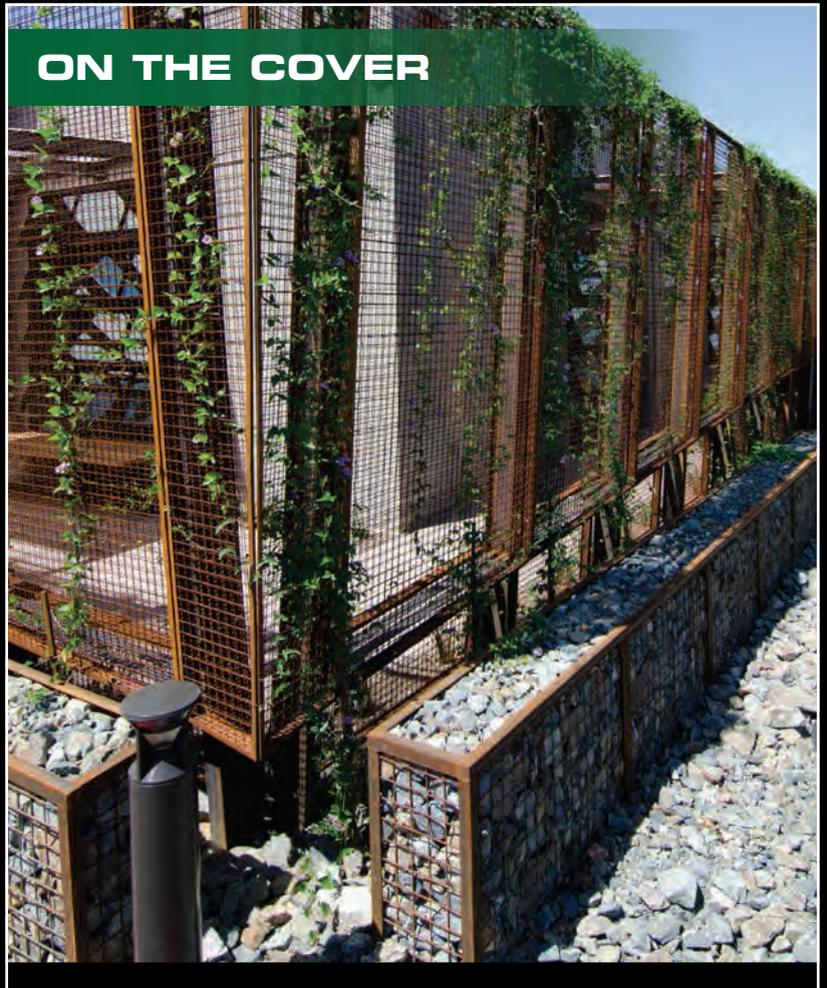
Bob's son, Gene, took over leadership and opened a new chapter of "The Hole Story."

In 1990, Gene made "Service, Quality and Performance" **McNICHOLS**' official mission. The words embody the spirit of the organization. They represent the highest level of customer service, quality worthy of the International Organization for Standardization's 9001:2008 Certification, and performance that surpasses customer expectations.

McNICHOLS will celebrate its 63rd anniversary this year. Led by Scott McNichols, President, members of the family's third generation are ready to advance the legacy of their father and grandfather.

Service, Quality and Performance... that's The Hole Story®!

ON THE COVER



CUSTOMER VISION:

DPR Construction intended to convert an old retail space into a modern, sustainable hub for their Phoenix location. DPR chose to find ways to work within the building's shell and conserve energy in the extreme desert climate.

HOLE SOLUTION:

McNICHOLS ECO-MESH® is a signature element of DPR's energy-efficient Phoenix office. Surrounding the building on two sides, **ECO-MESH**® panels ward off the sun and reduce solar heat gain inside. The panels facilitate upward-climbing plants, which provide an additional cooling layer. Durable **ECO-MESH**®

will withstand elements over many years as the plants continue to grow. In front of the panels are **ECO-ROCK**™ boxes containing decorative rock. The building has earned LEED Platinum Certification, Energy Star Certification and Net Zero Energy Building Certification.



McNICHOLS ECO-MESH® is a custom modular framework grid typically wall mounted to exterior structures creating aesthetic living green facades. Modular grids are commonly used for screen walls, canopies, arbors, partitions and column covers for exterior and interior applications.

These high quality eco-panels are constructed to accommodate a growing space for various plants and vines. The woven wire mesh flexes to allow for increasing vine load as plants grow, while providing years of beauty and low maintenance.



Exterior Wall Mount in Courtyard



Photo by AECOM, Robb Williamson

Parking Structure



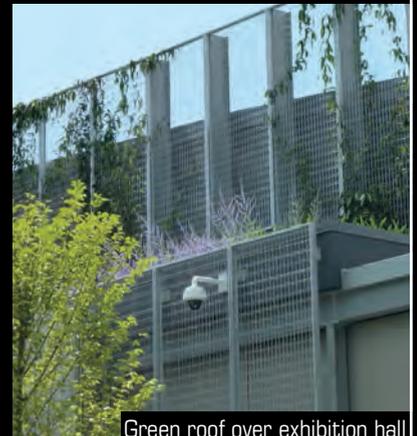
Attached Plant Trellis

ECO-MESH® QUALITY ADVANTAGES

- Woven wire - no welds to break
- Galvanized frame and wire - superior corrosion resistance over G90 coated metals
- .135" wire diameter standard - much thicker than .080" found in competitive products
- LEED opportunities - 95% recycled metal, no VOC concerns in field, SRI Index-rated coatings and more
- Fully custom panel sizes - up to 8' wide and 30' long
- Top-quality super durable powder coating - 3,000 hour salt spray rating, high UV resistance, available in 13 stock colors
- Install-ready product - complete with drawings, Galvanized mounting clips and powder coated hardware

McNICHOLS CASE STUDY

CHIHULY GARDEN AND GLASS, SEATTLE, WASHINGTON



Green roof over exhibition hall



Facade panel construction

CUSTOMER VISION:

Seattle planners and designers were asked to convert an amusement park under Seattle's Space Needle into the Chihuly Garden and Glass exhibition.

Their challenge was to showcase the works of renowned artist Dale Chihuly in an environment that would transform the building into an exhibition hall and the asphalt surface into a garden for displaying Chihuly's most popular work and architectural installations. Blending the building's exterior with the outdoor garden was a critical part of the task. Because the east exterior wall would face the garden and Glasshouse, which is the exhibition's centerpiece, it was clear

that the building needed a significant element of green.

HOLE SOLUTION:

With LEED certification in mind, the design and construction team from the Seattle area - comprised of Owens Richards Architects, Seattle; AHBL, Seattle; Schuchart Corp., Seattle; and Cobra Building Envelope Contractors, Spokane, WA - took a unique approach that, in addition to its aesthetic appeal, would reduce heat gain and lower the carbon dioxide impact.

In concert with planning the green roof, a living wall was added on the east and west sides of the hall using **McNICHOLS ECO-MESH®**, with the largest installation on the east

(garden) side. Incorporating **ECO-MESH®** with the green roof influenced the project's energy efficiency and helped the project achieve a LEED Silver rating through the U.S. Green Building Council.

The **ECO-MESH®** system specified in the Chihuly Garden and Glass exhibition project consists of 95 panels that average 4' by 12' in size. The units are made of two layers of 12-gauge crimped woven wire mesh in a 10-gauge frame.

Today, **ECO-MESH®** co-exists with the exhibition hall's green roof, achieving the type of living envelope envisioned by the design team. **McNICHOLS** is honored to be part of this Hole Solution!





Hospital Outdoor Seating Area



Residential Partition



Restaurant Outdoor Seating



Freestanding with Arched Top



Equipment Enclosure

McNICHOLS CASE STUDY

STREETSCAPE RENOVATION, TAMPA, FLORIDA



CUSTOMER VISION:

For many cities the beautification of downtown pedestrian areas is both an aesthetic decision as well an economical one. The City of Tampa, Florida, saw **McNICHOLS ECO-MESH®** as an answer for both.

HOLE SOLUTION:

In an attempt to create a pedestrian-friendly street with a focus on incorporating public art, approximately \$1.2 million was invested in a downtown Tampa corridor spanning three city blocks.

Susan Gott, commissioned by the City of Tampa, working with Graham-Booth Landscape Architecture, designed and created glass art as part of the streetscape renovation. Her artwork consists of multiple panels of cast glass tiles incorporated into vertical panels with a series of **ECO-MESH®** panels. The large-scale cast glass panels (8-½ foot tall) line the street as part of the Promenade of the Arts, offering glimpses of the city's narrative embedded in glass.

McNICHOLS is pleased to be part of this innovative Hole Solution!



PRODUCT OPTIONS

- Panel height:** 2' to 25' (30' Custom)
- Panel width:** 2' to 8'
- Wire:** .135"
- Weave:** Woven Intercrip .120 and .135 standard, other weaves and diameters available
- Bridge wire:** .105 standard
- Mesh openings:** 1" x 1" to 3" x 3" (2" & 3" is standard)
- Frame depth:** 2" or 3", 16 gauge standard
- Material:** Galvannealed, steel, aluminum or stainless steel
- Finishes:** Mill, sandblasted, eco-friendly powder coatings in 13 standard colors below
- Planter boxes (custom):** Galvannealed 3/16" gauge standard (Custom brackets available)

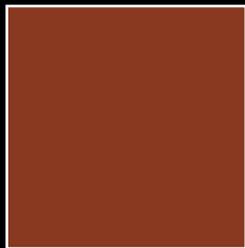
Texture Black Color In Stock and Ready to Ship!



Galvannealed
.135 Wire
2" x 2" Mesh
Texture Black Color
4'x8' Panel

Item: 34EMTB2348

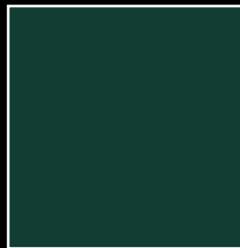
ECO-FRIENDLY POWDER COATING COLORS



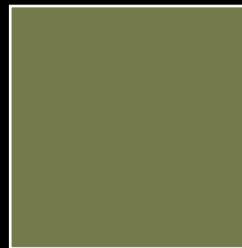
Red Brick



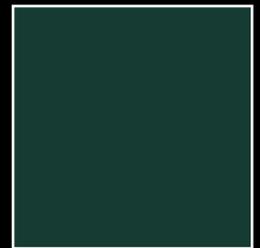
Red Orange



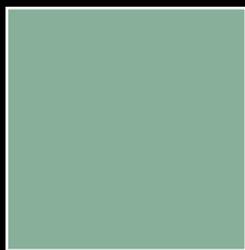
Moss Green



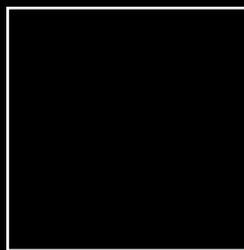
Reed Green



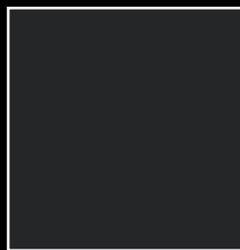
Forest Green Texture



Aged Copper



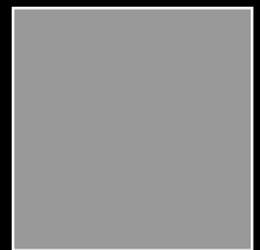
Jet Black



Texture Black



Light Gray



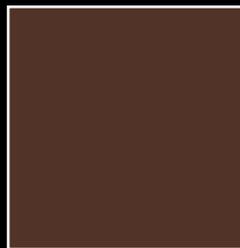
Gray



Brown



Tan



Rust

McNICHOLS offers eco-friendly powder coating for **ECO-MESH®** and **ECO-ROCK™** in 13 standard colors. Due to the printing process, color swatches may vary from actual colors. Please inquire about **our custom colors** and our paint matching capabilities!

ECOMESH COLUMNS



Round Column



Round Column



Round Columns



Custom Columns



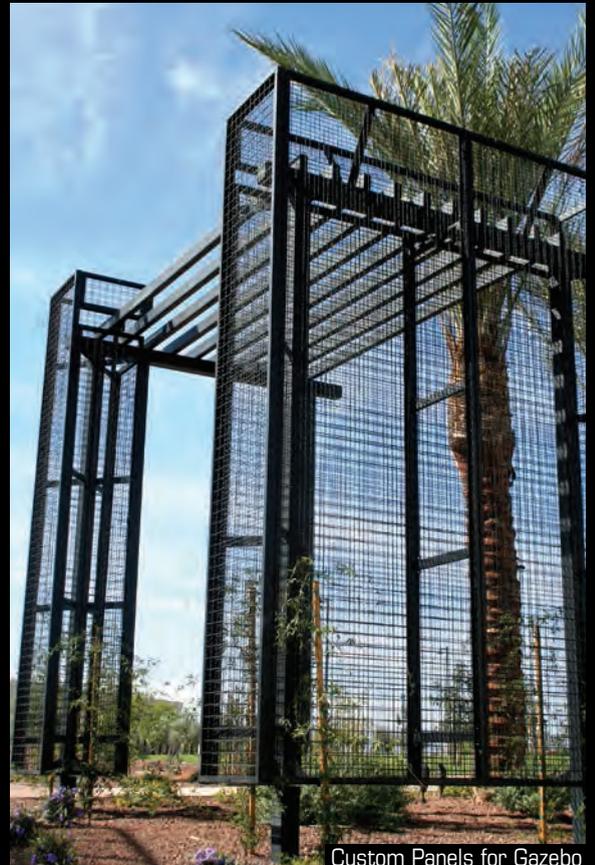
Square Column



Round Column



Custom Panels Cut to Match Angle of Wall



Custom Panels for Gazebo



Panels Arched for Sculptures



Wall with Custom Window



Freestanding with Arched Top

McNICHOLS ECO-ROCK™

McNICHOLS ECO-ROCK™ creates decorative boundaries with an eco-friendly twist. The gabion-style wire work containers hold natural rock, recycled concrete, glass and other materials. In indoor and outdoor settings ECO-ROCK™ containers add a sustainable design element.

Whether it's an outdoor partition or a vertical entryway, we can craft a custom gabion-style design to meet your needs.



Commercial Partition

PRODUCT OPTIONS

Panel size: 4"-12" thickness; 3' to 8' height maximum, 3' to 5' width

Wire diameter: .148 (9 gauge), .192 (6 gauge)

Bulge wire diameter: .105 (12 gauge) to .148 (9 gauge)

Bulge wire spacing: 12"

Wire centers: 2" x 2", 3" x 3"

Weave: Intercrimp

Material: Plain steel, Galvannealed, 304 Stainless Steel - mill finish

Finish: Mill, bare (sandblasted to be weathered), powder coated (see page 6 for available colors)



Building Facade





Commercial Partition



Wall Mounted



Residential Partition



Residential Partition



Commercial Barrier



APPLICATIONS

McNICHOLS ECO-MESH® provides structural support that is superior to other systems. **ECO-MESH®** offers architects, designers, contractors and property owners many aesthetic, sustainable and functional green-build opportunities.



ECO-MESH®
Column Cover



ECO-MESH®
Shading



ECO-MESH®
Freestanding



ECO-MESH®
Security



ECO-MESH®
Trellis



ECO-MESH®
Plant Screen

Headquarters based in Tampa, Fla., **McNICHOLS CO.** provides perforated metal, expanded metal, wire mesh and designer metals, as well as grating and flooring products. **McNICHOLS** serves builders, fabricators, architects and other customers through a network of service centers across 18 U.S. cities. Customers choose **McNICHOLS** for our vast supply of Hole Products, as well as our high quality standards, fast shipping and superior customer service.

Locations:

Atlanta - Baltimore - Boston - Charlotte - Chicago - Cincinnati - Cleveland - Dallas - Denver - Houston
Kansas City - Los Angeles - Minneapolis - NY/NJ Area - Phoenix - San Francisco - Seattle - Tampa



PERFORATED METAL



WIRE MESH



EXPANDED METAL



BAR GRATING



PLANK GRATING



FIBERGLASS



MATTING

Inspired to Serve!™

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Please note that product photographs are not actual size. Application photos reflected are typical of Hole Products in use that can be supplied or have been supplied by **McNICHOLS CO.**

Some illustrations may depict uses designed, manufactured, fabricated or installed by others.

McNICHOLS is ISO 9001:2008 Certified.

WST LED

Architectural Wall Sconce



Inverted available with WLU option only.



Catalog Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

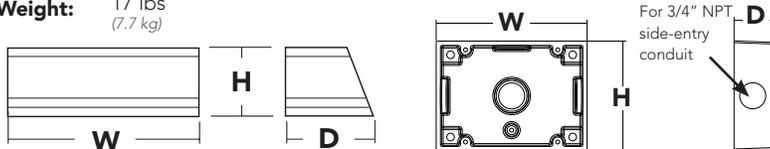
The WST LED is ideal for replacing existing 50 – 175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Specifications Luminaire

Height: 7-1/4" (18.4 cm)
Width: 16-1/4" (41.3 cm)
Depth: 9-1/8" (23.2 cm)
Weight: 17 lbs (7.7 kg)

Optional Back Box (BBW)

Height: 4" (10.2 cm)
Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)



Ordering Information

EXAMPLE: WST LED 2 10A700/40K SR3 MVOLT DDBTXD

WST LED	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options ³	Finish (required)
WST LED	1 One engine (10 LEDs) 2 Two engines (20 LEDs)	700 mA options: 10A700/30K 3000K 10A700/40K 4000K 10A700/50K 5000K	SR2 Type II SR3 Type III SR4 Type IV	MVOLT ¹ 120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	Shipped included (blank) Surface mount Shipped separately ² BBW Surface-mounted back box UT5 Uptilt 5 degrees	Shipped installed PE Photoelectric cell, button type ^{4,5} SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ DMG 0-10V dimming driver (no controls) ELCW Emergency battery backup ⁶ WLU Wet location door for up orientation ⁷ PIR Motion/ambient light sensor ⁸ DS Dual switching ⁹ Shipped separately VG Vandal guard WG Wire guard	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone

Emergency Battery Operation

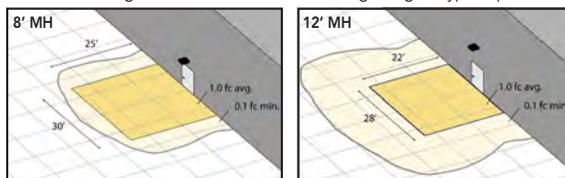
The emergency battery backup (ELCW option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All ELCW configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. Dual light engines are wired in parallel so both engines operate in emergency mode and provide additional component redundancy. These design features meet various interpretations of NFPA 70/NEC 2008 - 700.16

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples below show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.

WST LED 1 10A700/40K SR4 MVOLT ELCW
10' x 10' Gridlines
8' and 12' Mounting Height



NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with photocell (PE), fusing (SF, DF), or dual switching (DS).
- May also be ordered separately as an accessory. Ex: WSBBW DDBXD U. Must specify finish.
- Must be ordered with fixture; cannot be field installed.
- Not available with MVOLT option. Button photocell (PE) can be ordered with a dedicated voltage option. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Not available with 480V option. Not available with motion/ambient light sensor (PIR).
- Integral battery pack is rated for -20° to 60°C operating temperature. ELCW warranty is 3-year period. Not available with 347V or 480V. Not available with WLU.
- WLU not available with PIR or ELCW.
- Specifies the SensorSwitch SFOD-7-ODP control (photocell included); see Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with WLU, VG or WG.
- Provides 50/50 luminaire operation via two independent drivers and light engines on two separate circuits. Not available with one engine, MVOLT, ELCW, WLU, SF, or DF. Must specify voltage; voltage must be the same for both drivers. When ordered with photocell (PE) or motion sensor (PIR), only the primary power source leads will be controlled.



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts.

Light Engines	Drive Current (mA)	Performance Package	System Watts (MVOLT ¹)	Dist. Type	40K (4000K, 70 CRI)				
					Nominal Lumens	B	U	G	LPW
1 (10 LEDs)	700	10A700/--K	24W	SR2	2,005	1	0	1	84
				SR3	2,029	1	0	1	84
				SR4	1,959	1	0	1	82
2 (20 LEDs)	700	10A700/--K	47W	SR2	3,944	1	0	1	84
				SR3	4,028	1	0	1	86
				SR4	3,851	1	0	1	82

1 See electrical load chart for 347/480V system watts.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.10
10°C	1.06
20°C	1.02
25°C	1.00
30°C	0.98
40°C	0.92

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **WST LED 2 10A700** platform in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.88	0.77

Electrical Load

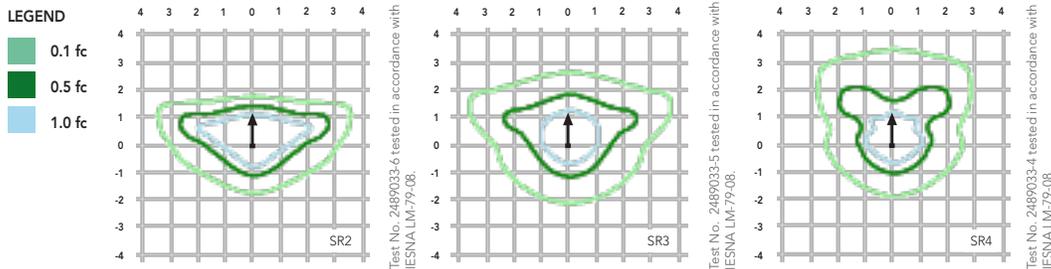
Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	700	24W	0.24	0.14	0.12	0.1	-	-
		29W ¹	-	-	-	-	0.09	0.07
2	700	47W	0.44	0.27	0.23	0.20	-	-
		53W ¹	-	-	-	-	0.17	0.12

1 Higher wattage is due to electrical losses from step-down transformer.

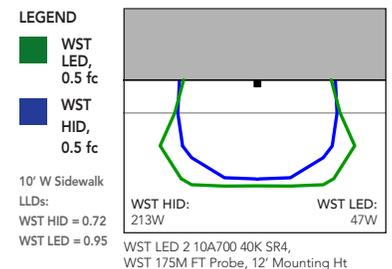
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [WST LED homepage](#).

Isfootcandle plots for the WST LED 2 10A700/40K SR2, SR3, and SR4. Distances are in units of mounting height (12').



Distribution overlay comparison to 175W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses are engineered for superior distribution, uniformity, and spacing in wall-mount applications. Light engines are 4000K (70 CRI). The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 25°C, L77). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated and suitable for wet locations when mounted with the lenses down. WLU option offers wet location listing in "up" orientation. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



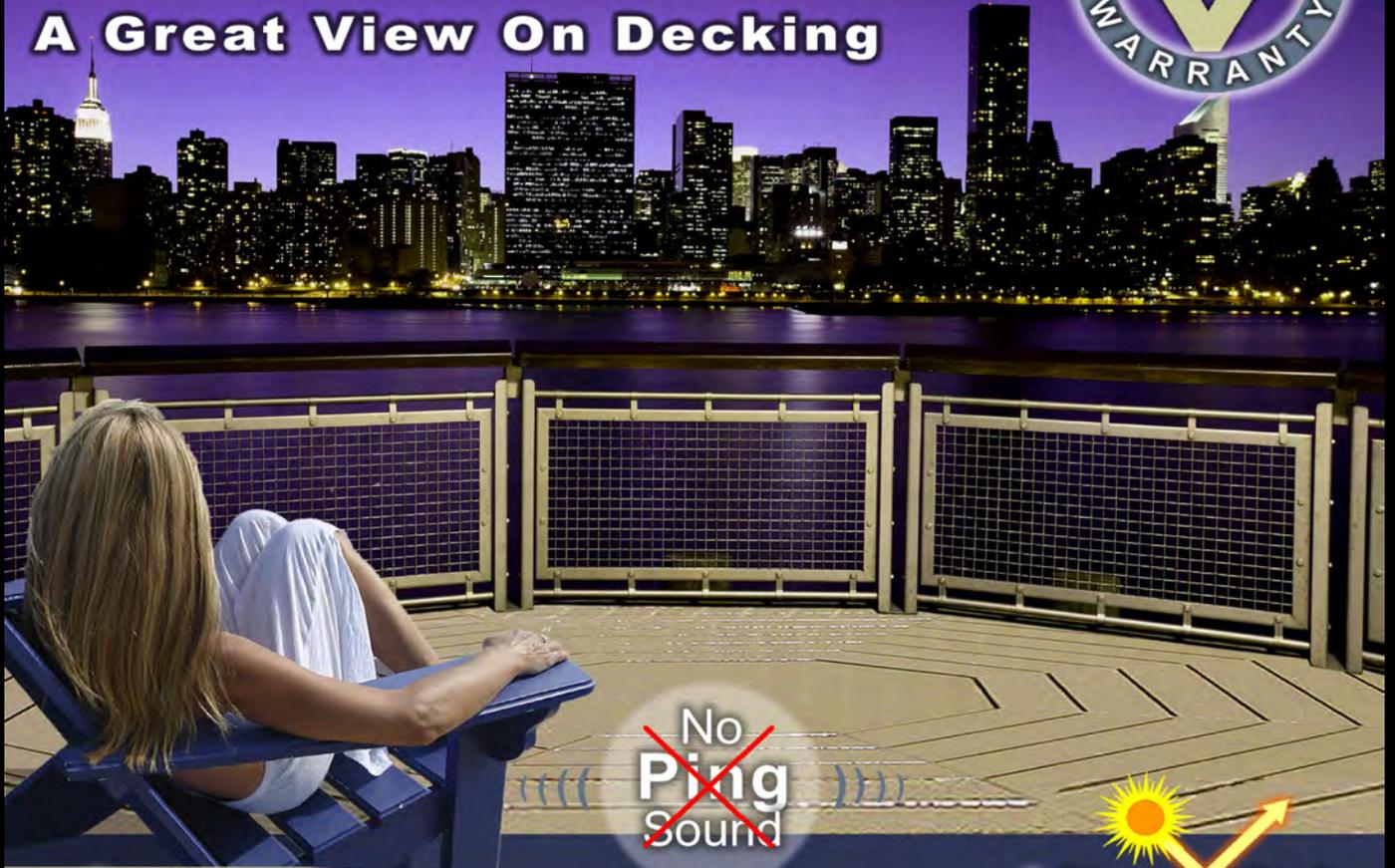
COMMERCIAL PLANK

Commercial Deck Suite C-60

Versadeck™ Plank, Waterproof, Modular - Combine-able



A Great View On Decking



✓ Scratch Resistant

✓ Stays Cool



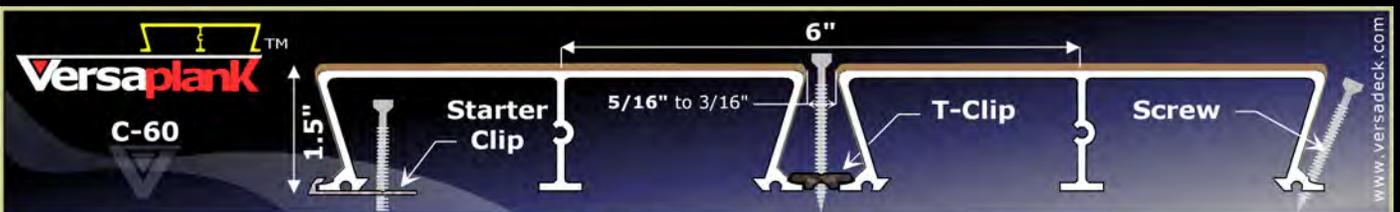
THICK
Comfort
Coating



Class "A"

- ✓ Slip-Resistant
- ✓ Dent Resistant

- ✓ No V.O.C's - Non-toxic
- ✓ Non-Combustible - Fire Safe
- ✓ Environmentally Responsible

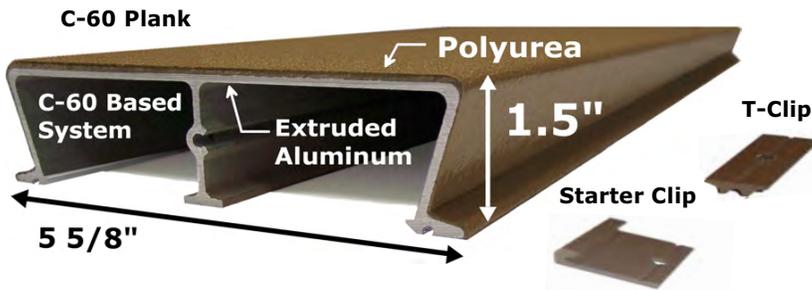


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- Supports 100 lbs psf at a 48 inch span.
- Supports 60 lbs psf at a 60 inch span.
- Light Weight - 3.5 lbs per sq. ft.
- Available in plank lengths up to 40 ft.
- Ideal for heavy commercial use.
- Environmentally responsible and recyclable.
- Contains zero VOC's and no solvents.
- NFPA Class "A" fire rated as noncombustible.

The Versatility Deck Designers and Architects Demand

Versadeck™ Polyurea Coated Aluminum Decking is a high end, high performance commercial grade decking product combined with the versatility deck designers and architects demand. Create a deck that is multifunctional, efficient and achieve the perfect outdoor deck solution. Why use a product that limits the ability to create an ideal layout? Versadeck™ Decking opens the doors, allowing designers and architects to create deck designs that incorporate plank decking, waterproof decking and modular decking all within one project if needed. No other deck system on the market today can match the Versatility of Versadeck's Three Combine-able Systems.

Unique Decking Maximizes Strength and Versatility

Versaplank™ aluminum decking features a unique extruded plank design that maximizes its strength to weight ratio. The plank legs are angled inward and then step back out. The design is strong and versatile creating several advantages for the deck designer as well as the installer. Quick and easy to install, Versaplank™ aluminum decking is an ideal decking solution for resurfacing existing deck structures and new deck construction.

Thick Durable Polyurea Protective Coating

Versadeck™ Decking is covered with a thick polyurea coating that provides comfort, durability and no-ping sound with a rich quality look and feel. The Versadeck™ thick polyurea coating and design versatility, is what sets Versadeck™ Decking apart from the competition. Versadeck™ Commercial Decking is a strong outdoor decking solution designed for heavy everyday commercial use.

Thick Comfort Coatings

Standard Heavy

Coating #1 Coating #2

2 Coating Thickness Options

Texture Options

Choose from three slip-resistant textures.

Standard Medium Coarse

Color Selection

Five standard colors that keep looking great year after year.

Terra Cotta Light Clay

Light Slate Dark Slate Rustic Brown

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Combine-able Design is Class "A" Fire Rated Noncombustible

Versadeck™ Versaplank™ aluminum decking is combine-able with Versamods™ modular decking creating versatility for the deck designer and builder. The thick polyurea deck coating is Class "A" rated making Versadeck decking a fire safe decking solution ideal for residential and commercial outdoor deck applications.

Combine Versaplank™ & Versamods™ Decking

Versaplank™ is available in lengths up to 40' minimizing the need for splicing. Combine Versaplank™ with the Versamods™ modular octagon kit to achieve a custom look with ease. Use the Versamods™ modular stair treads for added strength, simplify and quicken the stair installation.

Aluminum Decking That's Easy and Quick to Install

Versaplank™ aluminum decking is easy and quick to install. In many applications, Versaplank™ aluminum decking can be fastened by inserting a screw directly through the aluminum plank foot. This option can be used for aluminum planks that are 12' or less in length.

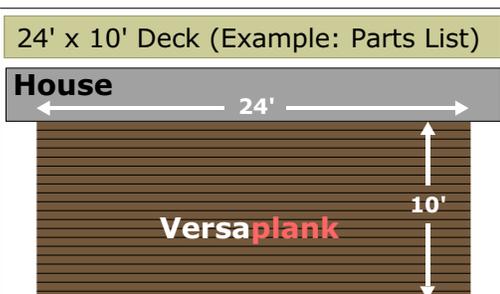
Use the T-Clips to fasten Versaplank™ decking to the supporting structure on planks longer than twelve feet. T-Clips mount the plank firmly in place yet allow the planks to expand and contract with the temperature changes preventing the fasteners from shearing off. The T-Clips are easy to install from the top side of the deck yet stay hidden between the plank gaps resulting for a clean look.

Use the Starter Clips to install the first plank side that's next to a wall. The first plank slides into the Starter Clip and locks in place followed by a T-Clip to fasten the other side. The Starter Clips are used for the first plank and the T-Clips are used throughout the rest of the deck.

The T-Clips feature an optional drop-in method allowing the installer to position several planks first and then go back and quickly drop and fasten them in place. The T-Clips do not have to be installed as you go plank by plank making installation several times quicker. The T-Clips also support a variance in plank spacing from 1/4" up to 1/2" if needed.

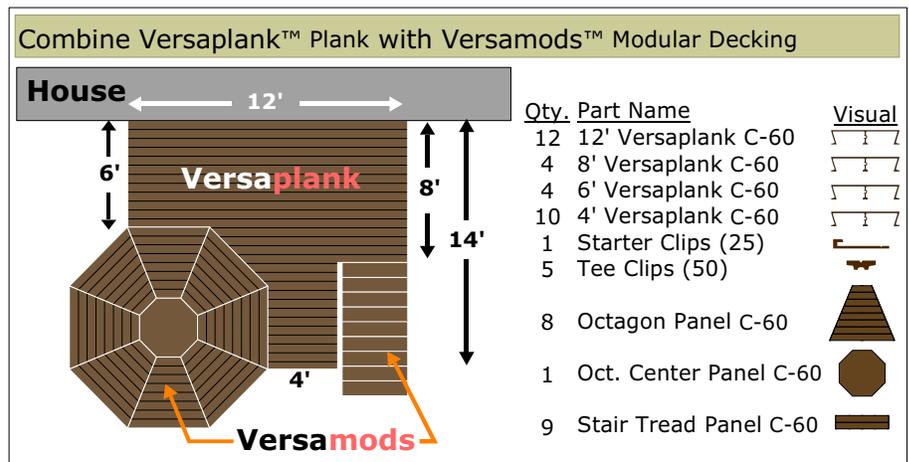
The Starter Clips and T-Clips can be used for both the R-40 and the C-60 Versaplank™ aluminum decking systems.

24' x 10' Deck (Example: Parts List)



Qty.	Part Name	Visual
20	24' Versaplank C-60	
1	Starter Clips (25)	
6	Tee Clips (50)	

Combine Versaplank™ Plank with Versamods™ Modular Decking



Qty.	Part Name	Visual
12	12' Versaplank C-60	
4	8' Versaplank C-60	
4	6' Versaplank C-60	
10	4' Versaplank C-60	
1	Starter Clips (25)	
5	Tee Clips (50)	
8	Octagon Panel C-60	
1	Oct. Center Panel C-60	
9	Stair Tread Panel C-60	

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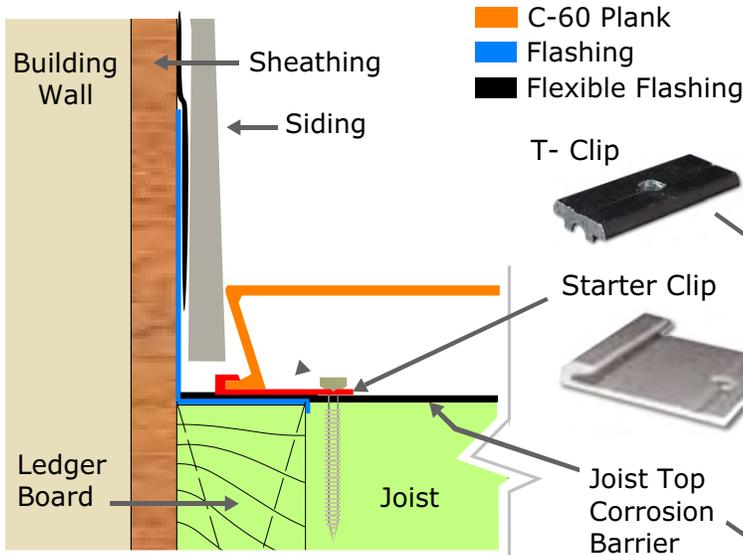
Aluminum Decking is Light, Strong and Safer to Install

Compared to most wood and composite decking materials, Versaplanck™ aluminum decking is 2 to 3 times lighter, yet 2 to 3 times stronger. There is less structure needed to support the decking saving time and money. Heavy back breaking labor is minimized making installation easier, safer and enjoyable. Versaplanck™ can be cut with the same saws used to cut wood. There is no need for special saws with metal cutting blades.

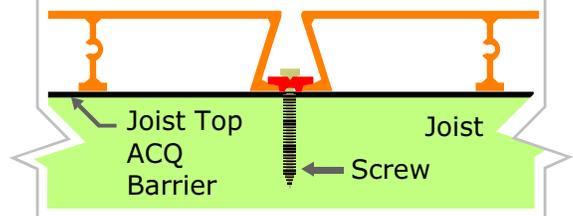
Extruded Aluminum Decking for Consistent Results

Versaplanck™ aluminum decking is always straight and consistent in width unlike most wood and many composite products. Versaplanck™ decking won't twist, shrink or warp over time when installed on a properly built supporting structure. The size and colors are always uniform. There is no need to pick and sort to strategically place them to hide inconsistencies and blemishes like with most wood and composite decking products. The final installed look is virtually flawless resulting in a pleasing, quality look and feel.

Start at Wall Example



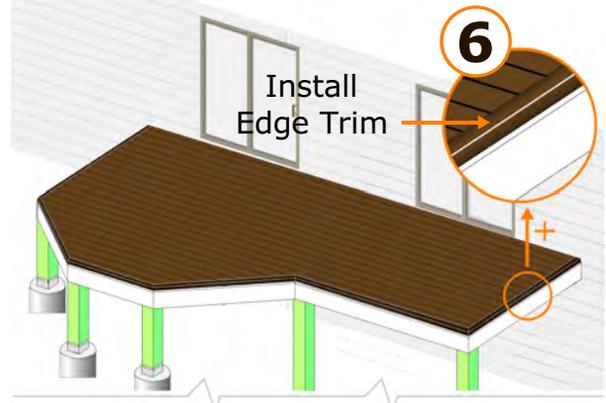
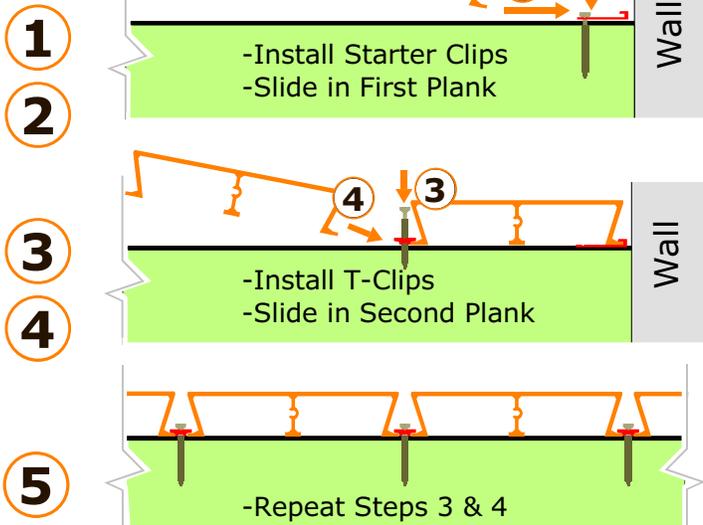
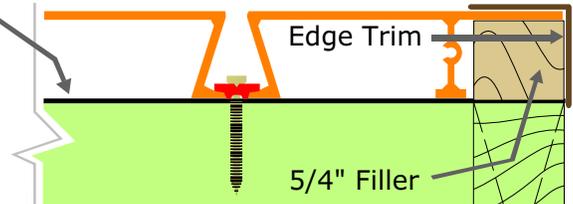
Plank To Plank Attachment



Full Plank End Attachment



Cut Plank End Attachment



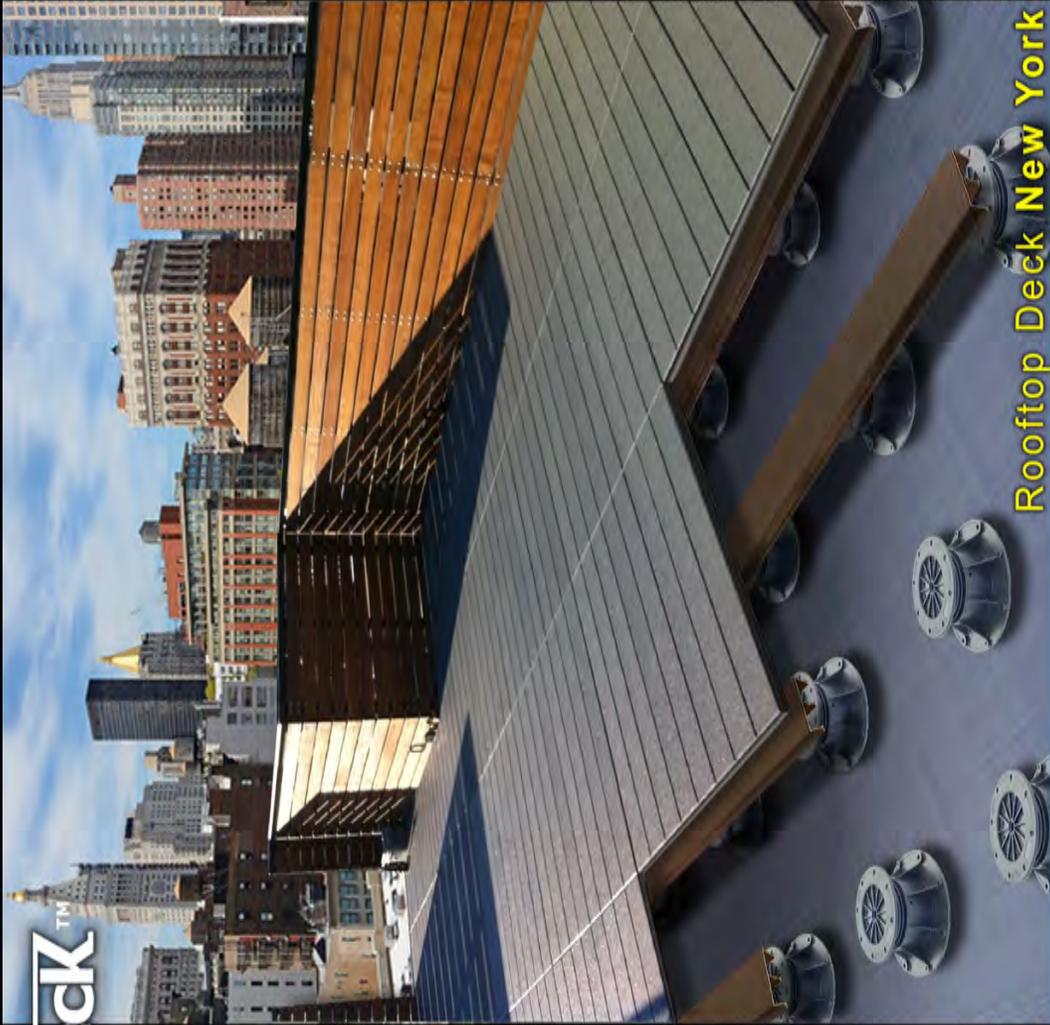
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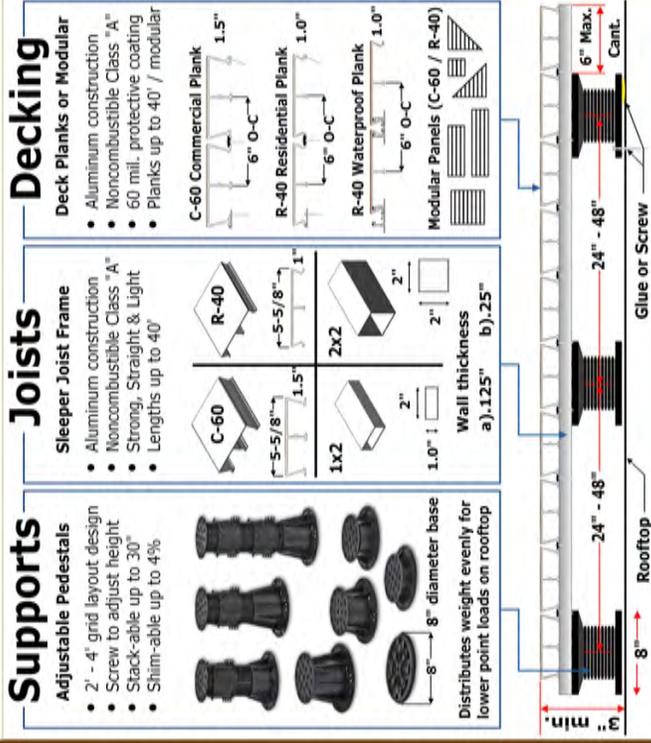
Versadeck™

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Commercial Rooftop Decking Floating Deck Design



Versadeck™
Rooftop Decks



Supports

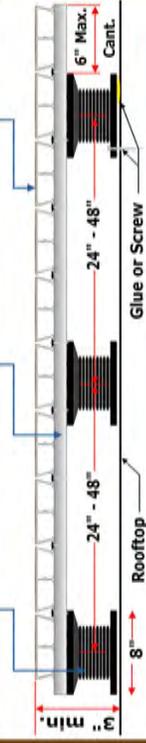
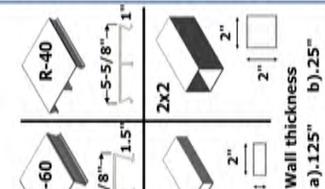
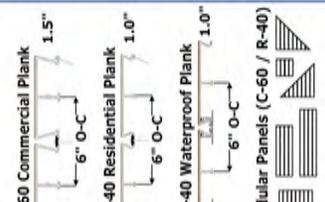
- Adjustable Pedestals**
- 2' - 4' grid layout design
 - Screw to adjust height
 - Stack-able up to 30"
 - Shim-able up to 4%

Joists

- Sleeper Joist Frame**
- Aluminum construction
 - Noncombustible Class "A"
 - Strong, Straight & Light
 - Lengths up to 40'

Decking

- Deck Planks or Modular**
- Aluminum construction
 - Noncombustible Class "A"
 - 60 mil. protective coating
 - Planks up to 40' / modular



Rooftop Deck New York



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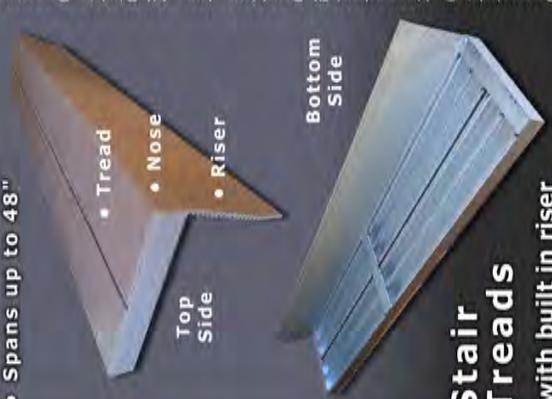


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Commercial Stair Treads c-60 Modular Stair Solution

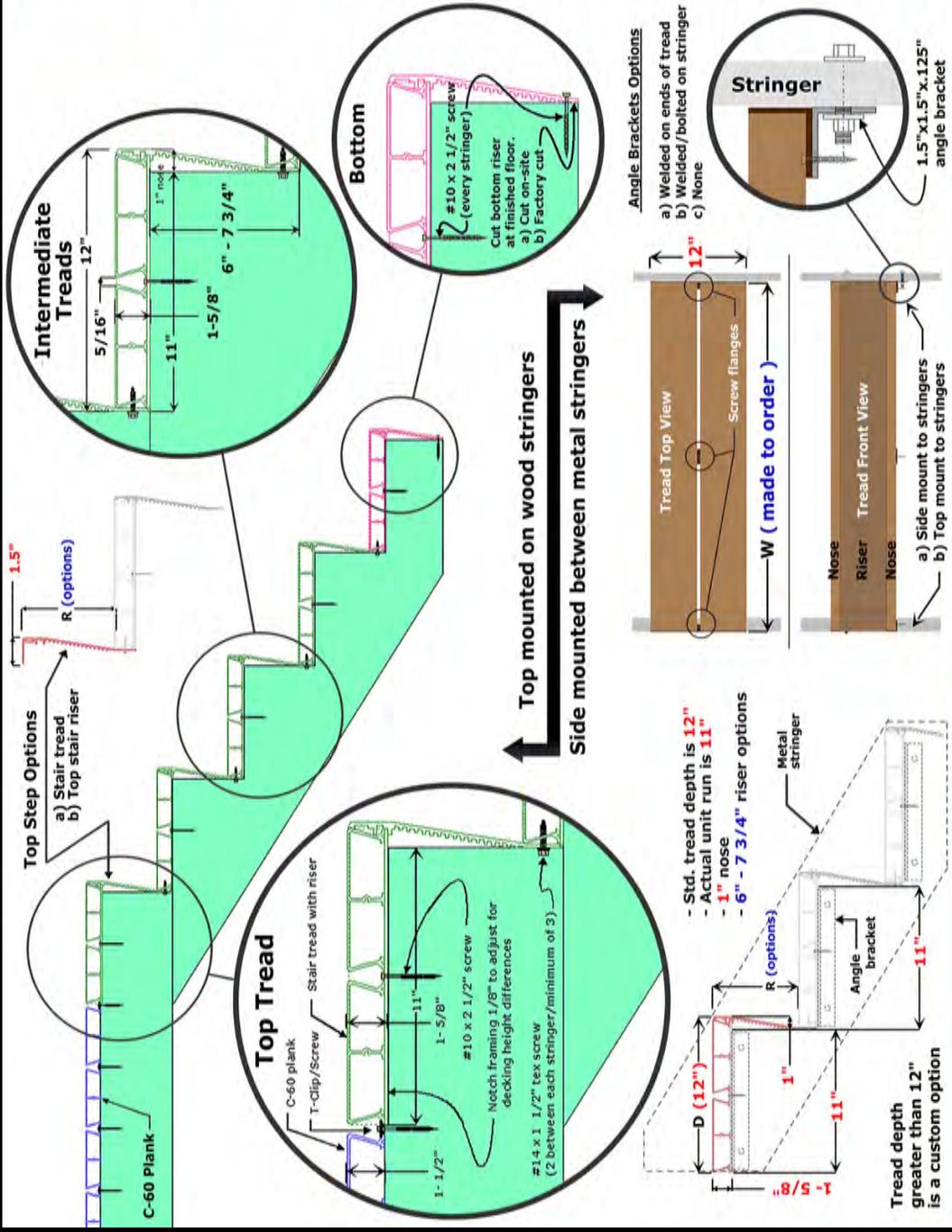


- 80-100 mil protective coating
- Solid aluminum construction
- Spans up to 48"



Stair Treads
with built in riser

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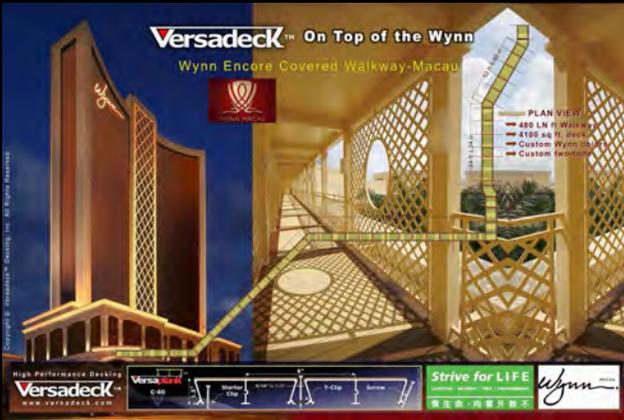
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PROJECTS Versadeck C-60 Commercial Decking Projects

Wynn Hotel Macau



FFC Rooftop Pool Deck IL



State Park NC



Restaurant Rooftop MN



Resorts World Casino NY



Scenic Overlook WA



State Park WI



Wrigley Field Ball Club IL



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Mingus Ave ↗

02/11/2016



02/11/2016



02/11/2016



02/11/2016



Green sign with a white arrow pointing right, likely a directional sign.

Red sign with white text, possibly a school name or address sign.

02/11/2016



STAFF MEMO

TO: Planning and Zoning Commission

FROM: Scott Ellis, City Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: February 22, 2016

PROJECT NUMBER: **Z 16-001 AAA Cool Storage**

Applicant is requesting a zone change on a single parcel from Light Commercial (C-1) to Planned Area Development (PAD) in order to redevelop land for construction of a climate-controlled self-storage unit on 1.71 acres at 950 S. Camino Real.

PROJECT DATA AND FACTS:

Property Owner	V & D Enterprises
Representative	Tom Pender
Location of Property	950 S. Camino Real
Present Zoning and Land Use	C-1 (Light Commercial). Vacant car wash.
Description of Applicant’s Request	Rezone the property to Planned Area Development (PAD) to construct storage units.

LAND USE:

Adjacent Land Uses and Zoning	
North:	C-1 (Light Commercial) Hotel
South:	AR-43 (Agricultural/Residential) Church
East:	C-2 (Heavy Commercial) Shuttle Service (across Camino Real)
West:	R-3 (Multiple Family Residential) Apartment Complex

PROJECT PROPOSAL:

Background:

The property has an existing structure on it that was used as a car wash. The car wash business has been closed for several years and the owner of the property would like to remove the current structure and redevelop it into indoor climate-controlled self-storage units. Current zoning for the property is C-1 which would require a zone change to PAD to accommodate the proposed development. The property owner also owns storage units across Camino Real to the southeast of the project which also has a PAD zoning. There are approximately 176 proposed new units to be developed on site.

The site is approximately 1.71 acres, 74,488 square feet. The storage building will be approximately 36,831 square feet in size.

The proposed use does not conflict with the city's General Plan and does not require any amendments.

Structure Design

Number and Proposed Use of Building	1 building 36,831 square feet
Number of Stories	1 story at 20' 1" in height

Parking

Section 406 of the Cottonwood Zoning Ordinance relating to parking does not identify storage facilities for parking requirements. After discussion between staff and the applicant, it has been determined that these types of uses do not generate heavy daily traffic, therefore, only six (6) parking spaces are proposed in front of the office, with two additional loading zones on the southwest side of the building near Elm Street.

Lighting:

All lighting will be designed to be in compliance with section 408 of the City of Cottonwood Outdoor Lighting Ordinance and all Dark Sky regulations.

Signage:

A single monument sign is proposed to be installed in front of the building along S. Camino Real. This sign will be internally illuminated and is 21 square feet, with the sign structure being 54 square feet. The stone base for the sign is currently existing on site.

Access:

Access will be off S. Camino Real. A wrap around driveway will allow vehicles to go around the north side of the building and traffic will circulate one-way to exit the property onto E. Elm Street.

Landscape Plans:

A new landscape plan has been submitted for the property with numerous trees, shrubs, and xeriscape to provide adequate coverage. Some existing landscaping will remain on site.

Utilities:

All utilities are available to the site.

CRB Review:

This project was reviewed by the Code Review Board on June 9, 2015 and applicant will be required to comply with all comments prior to development of site.

Architecture, Materials, Colors:

The new facility will share similar color schemes as the facility to the southeast. The main building will be metal with Terra Cotta, will have a Parchment roof, and Sandstone or Parchment siding. Roof materials will not be reflective and will have a matte finish with muted colors.

GENERAL PLAN:

Analysis: As per Arizona Revised Statutes (ARS), a change of zoning must conform to the adopted General Plan of the municipality as relates to the range of uses, densities and intensities indicated in the land use element. Such conditions are specifically described through the Land Use Map. The applicable section of ARS Title 9 (Cities) is as follows:

ARS 9-462.01. Zoning regulations; public hearing; definitions

F. All zoning and rezoning ordinances or regulations adopted under this article shall be consistent with and conform to the adopted general plan of the municipality, if any, as adopted under article 6 of this chapter. In the case of uncertainty in construing or applying the conformity of any part of a proposed rezoning ordinance to the adopted general plan of the municipality, the ordinance shall be construed in a manner that will further the implementation of, and not be contrary to, the goals, policies and applicable elements of the general plan. A rezoning ordinance conforms to the land use element of the general plan if it proposes land uses, densities or intensities within the range of identified uses, densities and intensities of the land use element of the general plan.

GENERAL PLAN CONFORMANCE:

Since this project was last presented to the Commission, the City's new General Plan 2025 was approved by voters and is now in effect. The General Plan 2025 indicates the Land Use classification for this area as General Commercial (GC).

The State Statute allows such rezoning requests to be considered in terms of goals and policies of the General Plan. In addition, the applicable State Statute section describes the method for making such determination as such: "the [rezoning] ordinance shall be construed in a manner that will further the implementation of, and not be contrary to, the goals, policies and applicable elements of the general plan." In this case, the General Plan supports general commercial use in this area. The proposed PAD zoning is indicated as in conformance with General Plan goals for this area.

STAFF REVIEW:

Staff has reviewed this submittal and finds the overall proposed use of the project meets General Plan guidelines, and fits with at least two other storage facilities in the area. If approved, staff recommends the following stipulations:

1. The project is developed in conformance with the Master Development Plan dated January 25, 2016.
2. That the project conforms to Code Review Board comments dated June 18, 2015.
3. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued by the timeframe specified.
4. Any other stipulations the Planning & Zoning Commission deems necessary.





PO Box 1245
Cottonwood, Arizona 86326
Telephone: 928-639-0776
Fax: 928-639-3801

Letter of Intent AAA Cool Storage 950 Camino Real

1-25-16
Scott Ellis, Planner
City of Cottonwood
111 N. Main Street
Cottonwood, AZ 86326

Regarding: PAD application for the rezone of APN 406-04-046H

Greetings Scott,

AAA Cool Storage is a planned 176 unit indoor climate-controlled facility to be located where the carwash building exists. The existing carwash building on the subject property will be completely removed and replaced by the planned 36,831 square foot new building. Attached to this letter you will find the PAD submission. The ownership of the project is in transition. Presently V and D Enterprises of Cottonwood own the property. The developers and ultimate owners of the property will be Davis & Silesky Real Estate Investment Services, 14537 W Grand Ave. #140-233, Surprise, AZ 85374.

The placement of an indoor storage facility is not an identified use within the existing commercial zoning. However, the use planned in our opinion is a more compatible pseudo-commercial use and is consistent with the exiting neighboring storage facilities. The property location off of the main street corridor creates sustainability challenges for strictly commercial endeavors. These facilities will provide a gradual transition from heavy commercial to the north and east to the multifamily developments to the west.

The existing use of the property is a abandoned carwash. In our opinion the carwash is not a very compatible and proven to be a unsustainable use for the area. The property is also located away from the main commercial corridor making most business uses unviable.

There was a neighborhood meeting conducted and there were no neighbors in attendance. Two emails with concerns were submitted. Specifically, the motel to the north is concerned about the possible noise from the HVAC. The noise will be significantly less than the noise generated by the carwash. In addition the units will be ground-set to help mitigate any additional concern. The

AAA Cool Storage Letter of Introduction
1/25/16

neighbor to the east has advised that sheet flooding from the existing driveway has been a concern in the past and requested that this be addressed within our final construction plans which we have agreed to do.

There have been minor color changes to mute the reflectivity from what was originally planned and the addition to more landscape has been proposed to help break up the building's façade and buffer the surrounding properties.

We have provided this Planned Area Development request due solely to the fact that that the development of the indoor storage was not listed within the commercial zoning. We fully consider the indoor storage as commercial use. We feel that this was an oversight originally in the code, however, in order to conform and move forward we are submitting this request.

Please feel free to contact me if you have any questions or comments.

Respectfully,



Tom Pender, P.E.; Agent

AAA COOL STORAGE

950 South Camino Real
Cottonwood, AZ 86326
406-04-046H

Owners:

V and D Enterprises
P.O. Box 2127
Cottonwood, AZ 86326

Project Developers:

Davis & Silesky Real Estate Investment Services
14537 W Grand Ave
#140-233
Surprise, AZ 85374

Project Engineer / Agent:

Tom Pender
Pender Engineering
P.O. Box 1245
Cottonwood, AZ 86326
928-639-0776
tomp@pender-engineering.com

Project Architect:

Jackson I Main Architecture, P.S.
311 First Avenue South
Seattle, WA 98104
206.324.4800 x109
www.JacksonMain.com

Landscape Architect:

Ken Large
21803 NE 17th Court
Sammamish, WA 98074

January 25, 2016

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Exhibits

1. Elevations
2. Metal Storage Material Color Guide
3. AAA Discount Mini Storage at 1055 So. Camino Real
4. Site Plan with Monument Sign
5. Site Section
6. Landscape Plan and Plant List
7. Irrigation Plan and Details
8. Street Corner Rendering
9. Exterior Lighting Specifications
10. Exterior Lighting Lumen Output
11. Project Overview
12. Vicinity map with zoning on surrounding parcels
13. Neighborhood Notification Information and Letter
14. Emails from Neighbors
15. Aerial Photo of APN 406-04-046H
16. Massing Study
17. Water and Wastewater Assessments
18. Drainage Assessment

PROJECT NARRATIVE

Proposed Name: **AAA Cool Storage**

Owners: V and D Enterprises
P.O. Box 2127
Cottonwood, AZ 86326

Developers: Davis & Silesky Real Estate Investment Services
14537 W Grand Ave. #140-233
Surprise, AZ 85374

Agent: Tom Pender, Pender Engineering
P.O. Box 1245
Cottonwood, AZ 86326
928.639.0776
tomp@pender-engineering.com

Location: 950 S. Camino Real, west side of Camino Real, at Elm Street, approximately 440 feet south of SR 89A; APN 406-04-046H



Summary of Proposed Land Use/Development Standards

This parcel is currently zoned C-1 and is 74,488 sq. ft. (1.71 acres) of which 7,872 sq. ft. had previously been developed into a car wash, constructed in 2004. The existing structures will be removed and replaced with a state of the art, climate controlled storage facility. The facility will be in one 36,831 sq. ft. building with 176 storage units.

Preliminary Parcel Data Table

A.P.N.	Total Land Area	Zone	Existing Use	Proposed Use
406-04-046H	1.71 acres, 72,488 sf	C 1	Carwash	Indoor Mini Storage

Self-Storage is a commercial use in many jurisdictions, however Cottonwood's zoning ordinance does not identify self storage as a permitted use, and self-storage is identified as a permitted use within the City's light industrial zoning designation. With multifamily zone adjacent to our site, it would be ideal to rezone this property to a PAD to allow for the development of self-storage. The City's "General Plan" identifies this property as a commercial use. In our opinion self-storage *is* a commercial use, however City planning staff has now advised that since the use is not specifically identified as a permitted use. The best method to resolve this would be to rezone to a PAD that will allow the development of a self-storage.

The AAA Cool Storage building will be an enclosed, one story, multi-colored metal building with offset roof lines with a maximum height of 20' 1" with interior and exterior entrances to storage units. Please see Exhibit 1.

The east side of the building will set back from the property line a minimum of 20 feet; the north side of the building will be set back approximately 42 feet; the west side will be set back approximately 45 feet; the south side of the building will be set back from the property line a minimum of 10 feet. A one-way driveway behind the gates, a minimum width of 20 feet, will provide access to the facility. The office traffic will enter and exit the facility from Camino Real. Renters will enter on Camino Real and exit on Elm Street. The Elm Street exit is approximately 150 feet from the corner of Camino Real. The gates at the entry will be set back from the main roadway to provide maneuvering space outside of the roadway. The Elm Street exit will not be used to access the project it will only be used thus the gate will not be set back from the roadway. A total of six parking spaces, five-standard and one Handicap space will be available at the office area and two 12X45 foot loading zones will be inside the gates on the south side of the building. The driveway is designed 20' for fire access and will also be used for temporary parking while the renters are accessing their storage areas. The trash enclosure will be screened and located on the west side on property. One monument sign, 3.5' x 6' placed on a 5' x 6 stone base, will be located on the south side of the entrance on Camino Real. Please see Exhibit 4.

The developers of AAA Cool Storage also own AAA Discount Mini Storage at 1055 S. Camino Real. The new storage facility will share similar color themes. The main body of the metal building will feature Terra Cotta (W72); the roof and "tower" will be Parchment (W74); siding will be Sandstone (W51) or Parchment (W74); window and door frames in office area will be black; all other doors and frames will be Silhouette Gray. The surface of the roofs will not be reflective. They will have a matte finish and color will be muted to tone down the LRV. The use of differing siding color and the abundance of landscaping will reduce visual impact of the wall length. It is the intent of the design to provide varying depth of view to break up the look of a large building. Please see Exhibit 1.

Drought tolerant trees and shrubs will be utilized along the project perimeter in order to provide screening and buffering from surrounding properties. Please see Exhibits 6 and 7.

The combination of good site planning, compatible architectural design and colors, drainage improvements, and low water use landscaping will benefit the existing neighborhood. This facility will generate less noise and fewer traffic trips per day than the previous business. In addition this facility will provide the owners with two complimenting facilities enhancing the sustainability of the overall business. The project is compatible with the surrounding properties and will provide a community benefit.

Comparison chart of current zoning and proposed PAD

	C-1 Zoning	PAD Zoning
Min. Lot Area	5,000 sq. ft.	74,488 sq. ft.
Min. Lot Width	50'	180' +
Setbacks: Front	20'	>20'
Side	None	11'
Rear	5'	42'
Max Height	2 ½ Stories not to exceed 35'	20' 1"
Open Space	10%	24%
Lumens Count	100,000 per acre	34,000 total 19,883 per acre

PROJECT OBJECTIVES

AAA Cool Storage is in harmony with surrounding properties as there are two other mini storage facilities within 1000 feet, one having the same owners. It is also a sustainable infill business with proven need with the higher density apartment houses and small garden style homes in close proximity. Specific General Plan Goals and Objectives that are met by the project are as follows:

2025 General Plan Goals and Objectives realized with this project:

Land Use

GOAL 3-6. SUPPORT REVITALIZATION OF EXISTING NEIGHBORHOODS.

Objective 3-6. C. Encourage in-fill development and re-development that is compatible with the established neighborhood character.

Objective 3-6. F. Support development proposals that provide opportunities for quality commercial uses.

Economic Development

GOAL 12-22 ENCOURAGE RE-USE AND INFILL DEVELOPMENT OF VACANT, UNDER USED AND OBSOLETE LAND PARCELS SO AS TO PROMOTE EFFICIENT AND COST-EFFECTIVE USE OF LAND AND INFRASTRUCTURE.

Objective 12-22. B. Prioritize revitalization and redevelopment projects in consideration of overall General Plan goals and objectives, including both individual properties and sub-area improvements.

Objective 12-22. D. Support the Sub-area planning process to promote careful redevelopment of areas in the community that are vacant and underutilized.

Objective 12-22. F. Promote sensitive redevelopment of areas within the community that are in a process of transition and reflect a need for reinvestment, particularly in older neighborhoods and along arterial streets.

GOAL 12-23 REMEDIATE DETERIORATED AND BLIGHTED CONDITIONS.

Objective 12-23. A. Coordinate area-wide efforts to improve and enhance conditions, including assembly of underutilized and blighted properties for redevelopment at a level appropriate and compatible with surrounding neighborhood character.

PROPERTY DEVELOPMENT STANDARDS

The subject property will not be a phased development so the term Development Standards is not specifically applicable. However, the narrative and exhibits are provided to detail how the project will ultimately be designed and constructed.

DESIGN GUIDELINES

Please see pages 1 through 3 and Exhibits 1, 2, 4, 6 and 8.

Black wrought iron fencing 6' tall will border the property for security. The office and parking area will not be fenced. The existing retaining wall on the north and west sides of the property will be utilized. Additional evergreen shrubs and trees will be planted to provide more screening to the adjoining properties.

All exterior building and site lighting will be designed to complement building architecture and will be compliant with Section 408 (Outdoor Lighting Code) of the Zoning Ordinance. No tall outdoor lighting standards will be utilized, and parking area lighting will be fully shielded bollard-style. Special care will be taken to eliminate any off-site light spill. Please see Exhibits 9 and 10.

Over 200 low-water use trees and shrubs will buffer the property, providing attractive screening, building mass reduction and enhance the overall appearance of the property. The landscape will be drip irrigated. The system will provide water to the plants using a timer so as to not consume excess water. Please see Exhibits 6 and 7.

OPEN SPACE

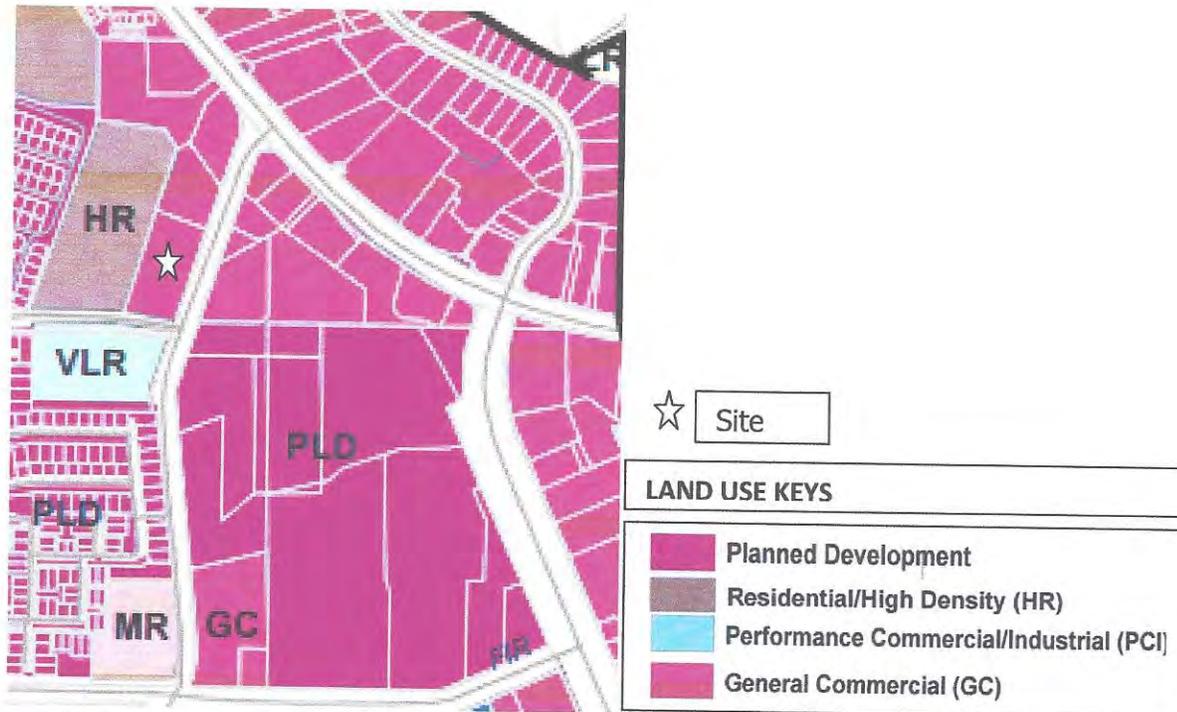
Open Space will be 17,957 sq. ft. or 24% which will all be landscaped. Please see Exhibit 5. The parcel is 74,488 sq. ft.; the building is 36,831 sq. ft. and the impervious area is 19,780 sq. ft. for a total of 56,611 sq. ft. or 76%.

GENERAL PLAN REVIEW

The proposed PAD will provide compatibility within the neighborhood and conformance with the GP 2025 for the following reasons:

The new facility will improve and enhance conditions in the area, redeveloping an underutilized, unsustainable property at a level appropriate and compatible with surrounding neighborhood character. The low building height design, color variation and extensive landscaping will be an attractive addition to the street. The project will be consistent with the existing developments along the roadway. There are two storage facilities, within 1000 feet, south on Camino Real and the closest facility is owned by the same Development Group. There will be less noise and traffic generated from the facility than the current use. The proposed development will also resolve an existing drainage problem. Please see Exhibit 18.

General Plan 2025 Land Use Map



CITIZEN PARTICIPATION AND REVIEW

The Neighborhood meeting was held on October 14, 2015 at the property on Camino Real. No neighbors or other interested parties attended the meeting. Please see Exhibit 13.

Two neighbors provided written comments. Please see Exhibit 14.

Exhibits

Elevations

ELEVATIONS



NORTH



SOUTH



EAST



WEST



AAA Cool Self Storage

950 S Camino Real, Cottonwood, AZ 86326

ELEVATIONS

Street Level Use



NORTH



SOUTH



EAST



WEST

Metal Storage Material Color Guide

AAA Cool Storage Material Colors

Roofing/Siding

Parchment (W74)

Siding

Sandstone (W51)

Siding

Terra Cotta (W72)

Exterior Roll-Up Doors

Silhouette Gray

METAL SALES

JANUS

AAA Discount Mini Storage at 1055 So. Camino Real



1103 Camino Real



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© 2015 Google
© 2015 Europa Technologies

Google

Imagery Date: 1/2012 34°43'11.83" N 112°00'23.30" W elev. 3346 ft. ex

Site Plan with Monument Sign

PARCEL
406-04-046E
PROPERTY LINES
N 90° 00' 00" W
409.08'

Lot Acreage: 1.71 Acres
Lot SF: 74,488 SF
Gross SF: 37,271 SF
Percent Cover: 50%
Percent Open: 24%

TRASH

6'-0" TALL BLACK METAL FENCE

325' - 0 15/16"
OVERALL BUILDING LENGTH

ELM STREET

2 LOADING ZONES
@ 12' x 45'
(BACK IN PARKING)

176 STORAGE UNITS

PARCEL
406-04-046H

SECURITY GATE

PROPERTY LINES
N 0° 00' 00" E
202.17'

PARCEL
406-04-046C

136' - 9 1/2"
OVERALL BUILDING LENGTH

42' - 0 13/16"
TO P.L.

15' - 1 3/4"

PEDESTRIAN
ACCESS

Parking Stalls:
Standard: 6
Handicap: 1

6'-0" TALL BLACK METAL FENCE

PROPERTY LINES
S 90° 00' 00" E
362.15'

LEGAL FRONT OF BLDG.

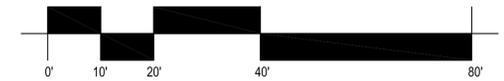
Monument Sign

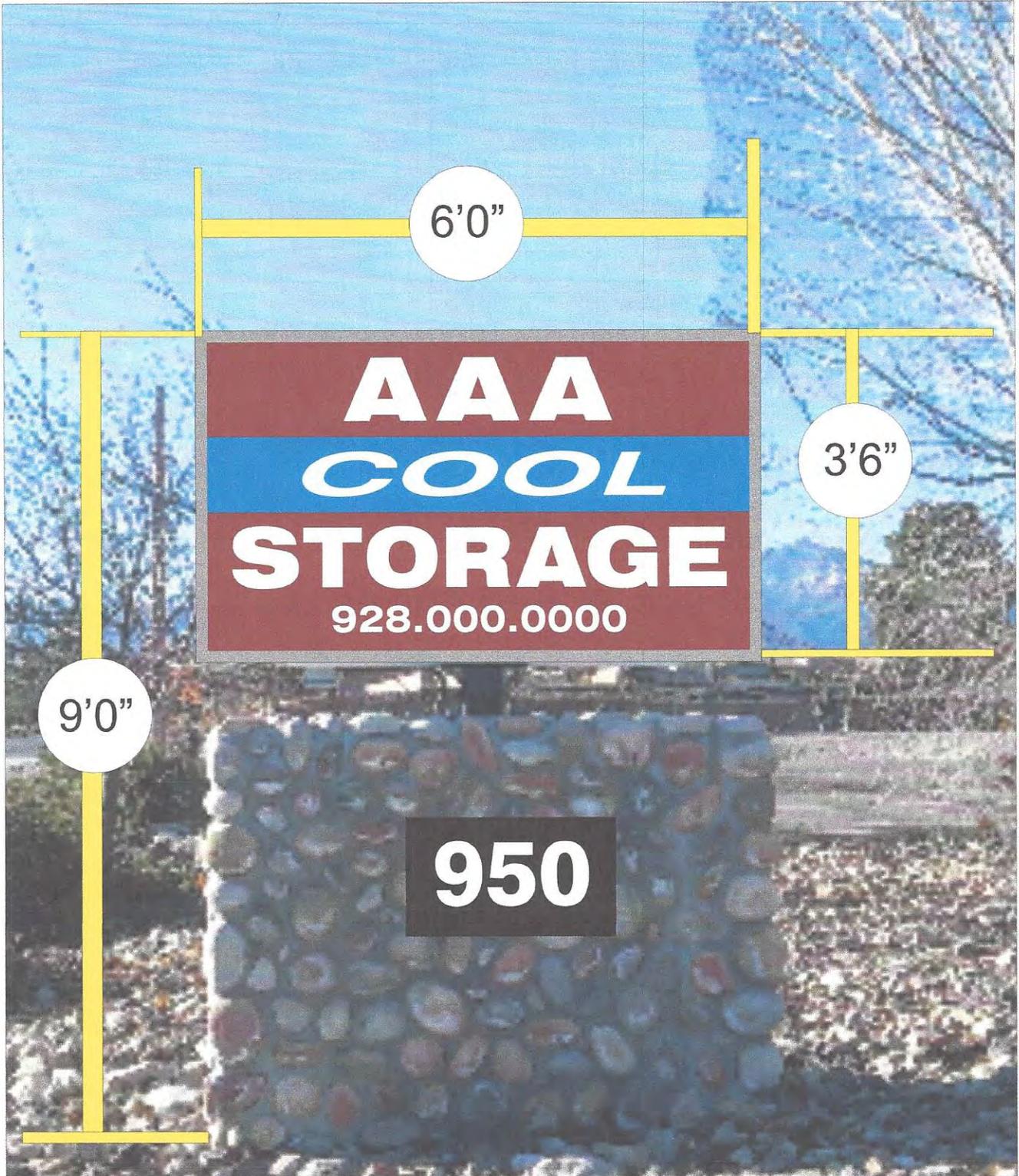
30' - 9 1/2"

CAMINO REAL



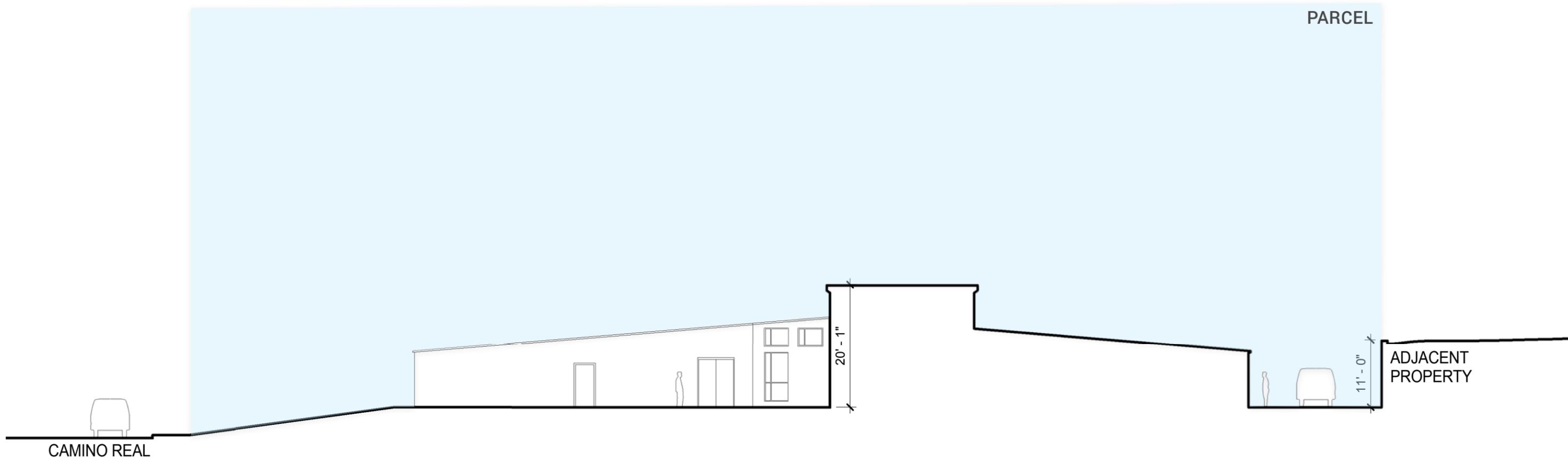
SITE PLAN





14" x 42" x 72" INTERNALLY LIT SIGN CABINET.
EXISTING STONE BASE

Site Section

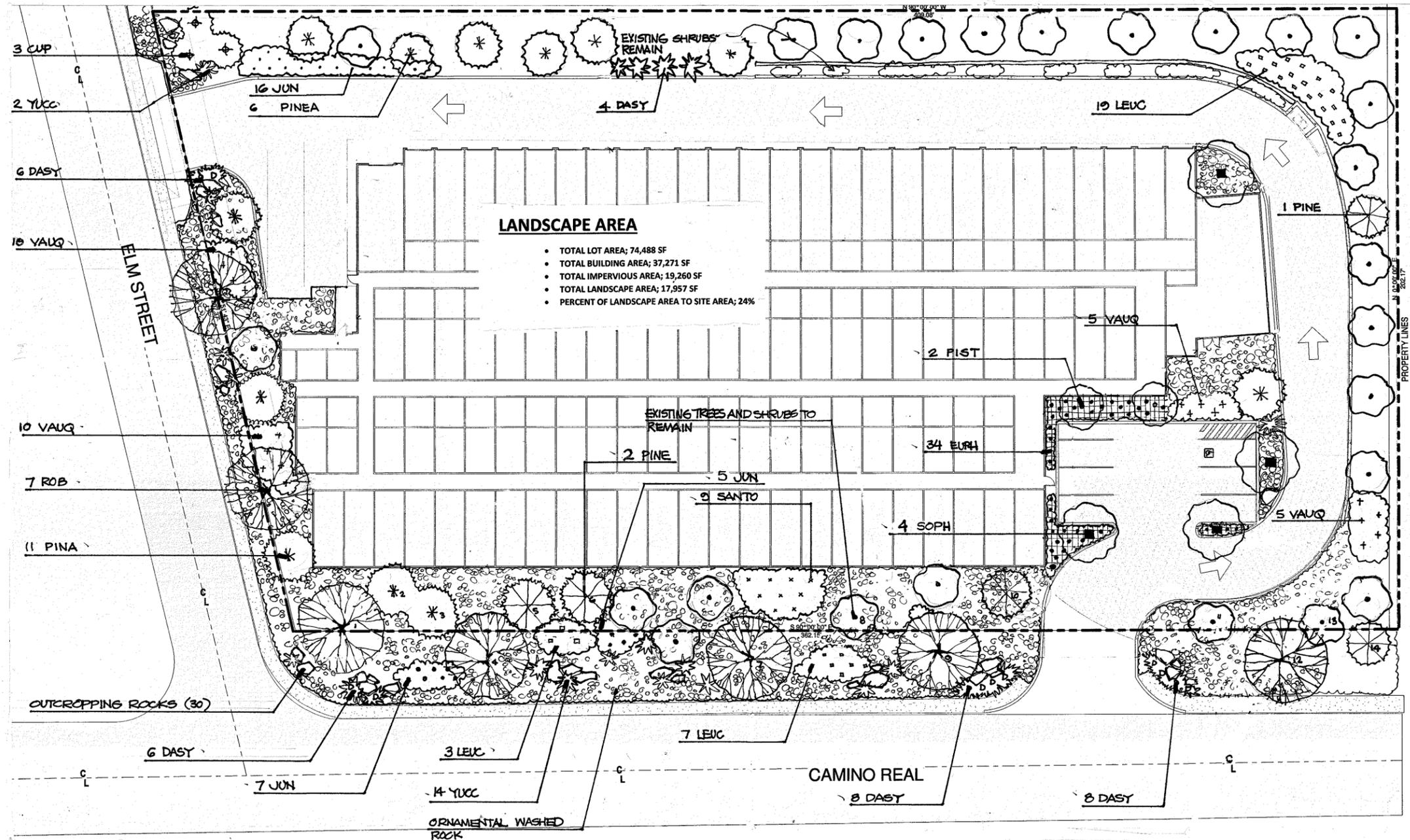


Landscape Plan and Plant List

PLANT LIST

QUANTITY	SYMBOL	PLANT NAME	SIZE/SPACING
		ORNAMENTAL WASHED ROCK	4" DEPTH
30		OUTCROPPING ROCK	VARIES MIN 2 X4'
3		CUPRESSUS ARIZONICA/ ARIZONA CYPRESS	6-7' B/B 15 GALLON
24		DASYLIRION WHEELERI/ DESERT SPOON	ONE GALLON CAN
34		EUPHORBIA RESINIFERA/ RESIN SPURGE	ONE GALLON CAN
23		JUNIPEROUS SABINA/ SABINA JUNIPER	ONE GALLON CAN
29		LEUCOPHYLLUM FRUTESCENS COMPACTA/ TEXAS RANGER	FIVE GALLON CAN
11		PINUS HALEPENSIS/ ALEPPO PINE	6-7' B/B
7		PINUS ELДАРICA/ MONDALE PINE	6-7' B/B
2		PISTACHIA CHINENSIS/ CHINESE PISTACHE	1-1/2" CALIPER
7		ROBINIA AMBIGUA "PURPLE ROBE"/ PURPLE ROBE LOCUST	2" CALIPER
4		SOPHORA SECUNDIFLORA/ TEXAS MOUNTAIN LAUREL	15 GALLON CAN
55		VAUQUELINIA CALIFORNICA/ ARIZONA ROSEWOOD	15 GALLON CAN
16		YUCCA ALIOIFOLIA/ SPANISH BAYONET YUCCA	2 GALLON CAN

EXISTING TREES AND SHRUBS TO REMAIN



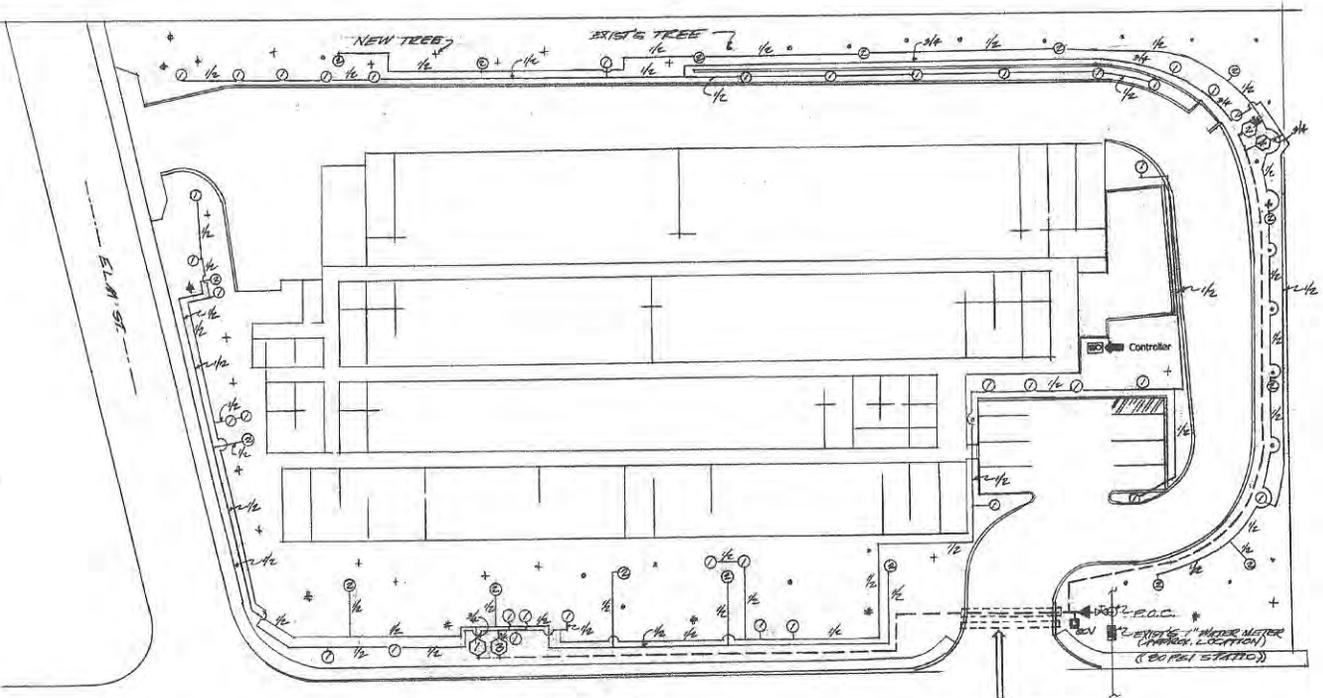
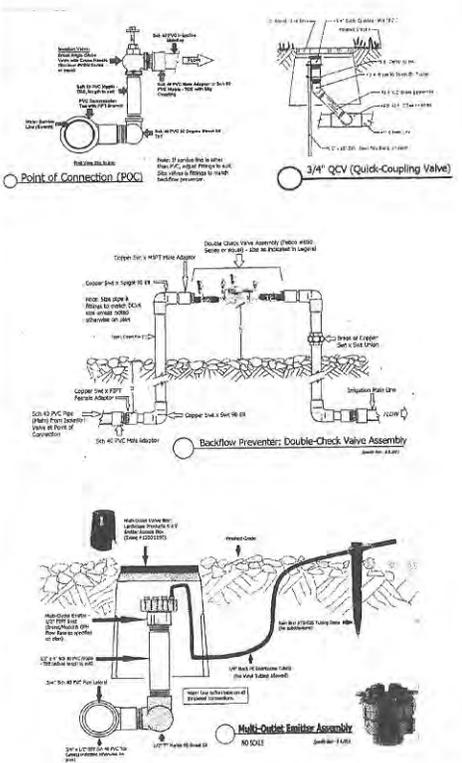
LANDSCAPE PLAN



AAA Cool Self Storage

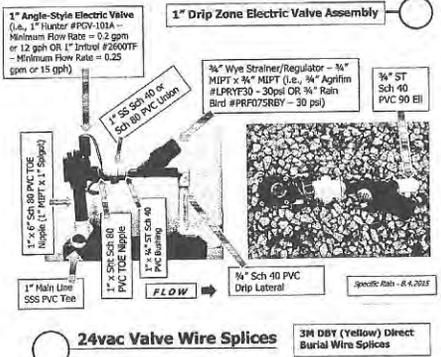
950 S Camino Real, Cottonwood, AZ 86326

Irrigation Plan and Details



Zone Valve Chart

Zone #	Area Description	Flow Rate (GPM/GPH)
1	South Corner Trees: 20- Existing & New Trees/Two Emitters/Tubes per Tree	80/L/3
2	North Corner Trees: 28 - Existing & New Trees/Two Emitters/Tubes per Tree	112/L/9
3	South Corner Shrubs: One Emitters/Tubes per Shrub	132/L/2
4	North Corner Shrubs: One Emitters/Tubes per Shrub	96/L/6
5	Vacant	
6	Vacant	



Irrigation Legend - Cottonwood Self-Storage

Symbol	Description
—	Main Line: 3/4" Sch 40 PVC Pipe - BE
---	Drip Lateral Line: 3/4" or 1/2" Sch 40 PVC Pipe - BE, as noted.
----	4" Sleeve (New): 4" Type 3034 PVC S & D or 4" ABS/DWV
①	Multi-Outlet Emitter Assembly - 1 gph per Outlet (Bowsmith #ML-210 - BLUE Cap - Six 3 gph Outlets - 1/2" FIPT)
②	Multi-Outlet Emitter Assembly - 2 gph per Outlet (Bowsmith #ML-220 - RED Cap - Six 2 gph Outlets - 1/2" FIPT)
③	1" 24vac Zone Valve: 1" Hunter #PGV-101A Angle-Style with Flow Control (minimum flow rate 0.2 gpm or 12 gph)
□	Controller/Outdoor Wall Mount: Irritol #RD-600-EXT-R 6-Station, Input = 120VAC-60 Hz, Output per Station = 24vac, 0.5 amps. Case dimensions: 7-3/4" H x 10-3/4" W x 4" Deep.
⊘	3/4" Brass Isolation Valve (see detail dwg.)
⊚	Backflow Preventer: 3/4" Febc #850 Series Double Check Valve Assembly
⊛	3/4" QCV: Rain Bird #3RC Quick Coupling Valve - 1 Piece Body - 3/4" FIPT. Provide one (1) #33-DK Key & one (1) RSH-0 Hose Swivel.

IRRIGATION PLAN AND DETAILS
Scale: 1" = 20'-0"

- Notes**
- (1) System designed for maximum 3 gpm @ 90 psi flowing from point designated as POC (Point-of-Connection). Per Cottonwood Utilities Dept., site static pressure is 90 psi. Each drip zone valve assembly incorporates a pressure regulator which reduces the outlet pressure to 30 psi.
 - (2) Controller specified in legend shall be outdoor wall mounted. Install securely to wall in plain position with digital screen display at 5'-0" height above finished grade. Locate horizontally a minimum of 3'-0" away from any electrical panel or device allowed for full opening of controller door. The 120vac input power supply side shall be installed by a state licensed electrician per the electrical code. The valve output 24vac valve cable shall be routed in 1/2" UL PVC Gey Electrical Conduit from bottom of controller into the ground at a minimum 6" depth of cover; cable shall be #18/7 (7-conductor) standard direct burial irrigation cable with black outer jacket & color coded #18 gauge single solid copper conductor wires.
 - (3) Double Check Valve Assembly shall be installed a minimum 12" above finished grade measuring from the bottom of the assembly. City of Cottonwood requires approval of the interlock assembly installation prior to issuance of any Interlock Code. If this installation including the check valve for the Point-of-Connection falls within the Right of Way, a Right of Way permit is also required by the City.
 - (4) Piping Minimum Depth of Cover: Main Line = 12" & laterals = 8".
 - (5) Install 1/2" King Automatic Drain Valves at all lateral low points; provide each with minimum 1 cubic foot of 7/8" reachd gravel temp. Drains are not shown on plan & shall be field located at lateral piping low points during system installation. Install on 1/2" FIPT branch of line at a 45 degree angle below horizontal.
 - (6) A 1/2" QCV (Quick-Coupling Valve) shall be installed for air blow out/winterization of the system; provide one 1/2" quick coupling valve key & one 1/2" hose lined to match QCV.
 - (7) Install 1" Drip Zone Valve Assemblies in standard rectangular 12" valve box (i.e., Carson #1419 Tan Color Box & Lid (Cat # 38001270), 11-3/4" x 17" top dimensions). Install no more than two (2) valve assemblies per box. Note: Position valves inside box with adequate clearance from box edges for maintenance purposes. Set box on level footing using a minimum of four (4) standard common concrete blocks; adjust & level box to grade to suit.
 - (8) 1/4" PE distribution lines with Rain Bird #7S-C25 stakes are not shown on the plan to maintain drawing clarity; only the Multi-Outlet Emitters are shown. See detail drawing for clarification. Contractors must estimate 1/4" tubing & stake quantities in their Material Takeoff.
 - (9) Multi-Outlet Emitters: Provide two (2) 3/4" emitter tubes for each existing or new tree; space 180 degrees apart & minimum 12" away from trunk for new trees and at the tree drip line for existing trees to suit. One Multi-Outlet emitter assembly shall irrigate up to three (3) trees, maximum. Provide one (1) 1/2" emitter tube for each shrub & adjust to suit as required. Each tree receives 1 gph and each shrub 1 gph.
 - (10) All solvent weld joints of PVC piping shall be made using both PVC Primer & PVC Cement (i.e., IPS #7-70 Primer & #700 Cement). Sewal ends of pipe to remove burrs. Thoroughly clean all lateral lines before installing Multi-Outlet emitters. All threaded connections shall be made using Teflon tape and/or pipe joint compound (i.e., Receptor #5).

KEN LARGE
Landscape Architect
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Summerville, WA 98074
Office: 425-836-4578, Cell: 206-396-7617
Fax: 425-898-9923



COTTONWOOD SELF STORAGE
950 SOUTH CAMINO REAL
COTTONWOOD, ARIZONA 86320

DRAWN: KEL
CHECKED:
DATE:
REVISIONS:
SHEET TITLE:
IRRIGATION PLAN AND DETAILS
PERMIT SET
SHEET NUMBER:

L-2

Street Corner Rendering

EXTERIOR ELEMENTS



12 RENDERINGS

Exterior Lighting Specifications

WST LED

Architectural Wall Sconce

Catalog
Number

Notes
Exterior wall mounted

Type
S

Introduction

The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.

The WST LED is ideal for replacing existing 50 – 175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.



Inverted available with
WLU option only.



Specifications Luminaire

Height: 7-1/4"
(18.4 cm)

Width: 16-1/4"
(41.3 cm)

Depth: 9-1/8"
(23.2 cm)

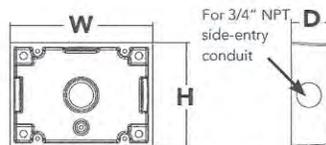
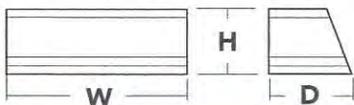
Weight: 17 lbs
(7.7 kg)

Optional Back Box (BBW)

Height: 4"
(10.2 cm)

Width: 5-1/2"
(14.0 cm)

Depth: 1-1/2"
(3.8 cm)



Ordering Information

EXAMPLE: WST LED 2 10A700/40K SR3 MVOLT DDBTXD

WST LED

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options ¹	Finish (required)
WST LED	1 One engine (10 LEDs)	700 mA options: 10A700/40K 4000K	SR2 Type II	MVOLT ¹	Shipped included	Shipped installed PE Photoelectric cell, button type ^{4,5} SF Single fuse (120, 277, 347V) ⁴ DF Double fuse (208, 240, 480V) ⁴ DMG 0-10V dimming driver (no controls) ELCW Emergency battery backup ⁶ WLU Wet location door for up orientation ⁷ PIR Motion/ambient light sensor ⁸ Shipped separately VG Vandal guard WG Wire guard	DDBTXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
	2 Two engines (20 LEDs)		SR3 Type III SR4 Type IV	120 ¹ 208 ¹ 240 ¹ 277 ¹ 347 480	(blank) Surface mount Shipped separately ² BBW Surface-mounted back box UTS Uptilt 5 degrees		

Emergency Battery Operation

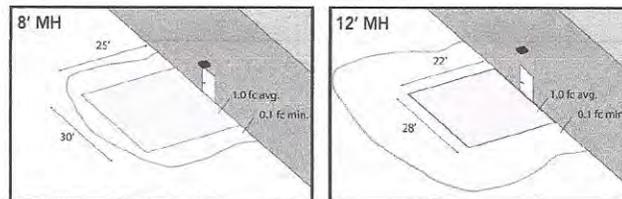
The emergency battery backup (ELCW option) is integral to the luminaire - no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product.

All ELCW configurations include an independent secondary driver with an integral relay to immediately detect AC power loss. Dual light engines are wired in parallel so both engines operate in emergency mode and provide additional component redundancy. These design features meet various interpretations of NFPA 70/NEC 2008 - 700.16

The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time supply power is lost, per International Building Code Section 1006 and NFPA 101 Life Safety Code Section 7.9, provided luminaires are mounted at an appropriate height and illuminate an open space with no major obstructions.

The examples at right show illuminance of 1 fc average and 0.1 fc minimum of the single-engine Type IV product in emergency mode.

WST LED 1 10A700/40K SR4 MVOLT ELCW
10' x 10' Gridlines
8' and 12' Mounting Height



NOTES

- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with photocell (PE option) or fusing (SF, DF options).
- May also be ordered separately as an accessory. Ex: WSBWW DDBXD U. Must specify finish.
- Must be ordered with fixture; cannot be field installed.
- Not available with MVOLT option. Button photocell (PE) can be ordered with a dedicated voltage option. Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Not available with 480V option. Not available with motion/ambient light sensor (PIR).
- Integral battery pack is rated for -20° to 60°C operating temperature. ELCW warranty is 3-year period. Not available with 347V or 480V. Not available with WLU.
- WLU not available with PIR or ELCW.
- Specifies the SensorSwitch SFD-7-ODP control (photocell included); see Motion Sensor Guide for details. Not available with "PE" option (button type photocell). Dimming driver standard. Not available with WLU, VG or WG.



Exterior Lighting Lumen Output

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%.

Light Engines	Drive Current (mA)	Performance Package	System Watts (MVOLT ¹)	Dist. Type	40K (4000K, 70 CRI)				
					Nominal Lumens	B	U	G	LPW
1 (10 LEDs)	700	10A700/-K	24W	SR2	2,005	1	0	1	84
				SR3	2,029	1	0	1	84
				SR4	1,959	1	0	1	82
2 (20 LEDs)	700	10A700/-K	47W	SR2	3,944	1	0	1	84
				SR3	4,028	1	0	1	86
				SR4	3,851	1	0	1	82

1 See electrical load chart for 347/480V system watts.

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.10
10°C	1.06
20°C	1.02
25°C	1.00
30°C	0.98
40°C	0.92

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the WST LED 2 10A700 platform in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.94	0.88	0.77

Electrical Load

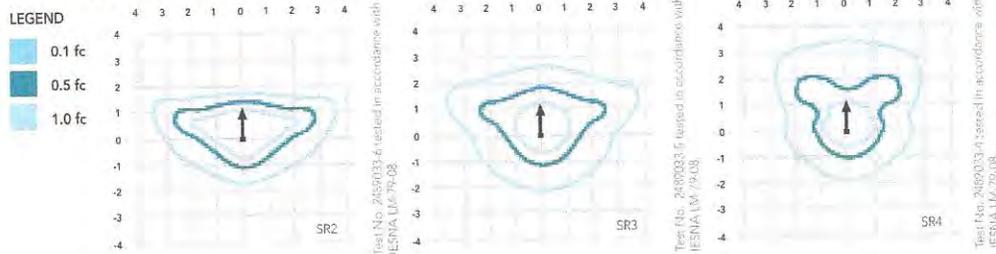
Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
1	700	24W	0.24	0.14	0.12	0.1	-	-
		29W ¹	-	-	-	-	0.09	0.07
2	700	47W	0.44	0.27	0.23	0.20	-	-
		53W ¹	-	-	-	-	0.17	0.12

1 Higher wattage is due to electrical losses from step-down transformer.

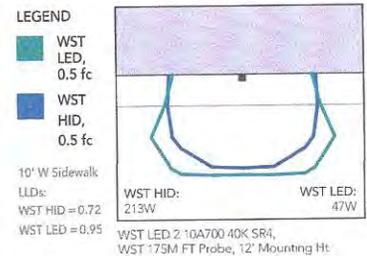
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's WST LED homepage.

Isofootcandle plots for the WST LED 2 10A700/40K SR2, SR3, and SR4. Distances are in units of mounting height (12').



Distribution overlay comparison to 175W metal halide.



FEATURES & SPECIFICATIONS

INTENDED USE

The classic architectural shape of the WST LED was designed for applications such as hospitals, schools, malls, restaurants, and commercial buildings. The long life LEDs and driver make this luminaire nearly maintenance-free.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP65 rating for the luminaire.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Precision-molded acrylic lenses are engineered for superior distribution, uniformity, and spacing in wall-mount applications. Light engines are 4000K (70 CRI). The WST LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) consist of 10 high-efficacy LEDs mounted to a metal core circuit board and integral aluminum heat sinks to maximize heat dissipation and promote long life (100,000 hrs at 25°C, L77). Class 2 electronic driver has a power factor >90%, THD <20%. Easily-serviceable surge protection device meets a minimum Category B (per ANSI/IEEE C62.41.2).

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The integral bubble level on the mounting plate provides assistance for level placement on every installation.

LISTINGS

CSA certified to U.S. and Canadian standards. Light engines are IP66 rated; luminaire is IP65 rated and suitable for wet locations when mounted with the lenses down. WLU option offers wet location listing in "up" orientation. Rated for -30°C minimum ambient.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

Five year limited warranty. Full warranty terms located at www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Specifications subject to change without notice.



Vicinity map with zoning on surrounding parcels

Context



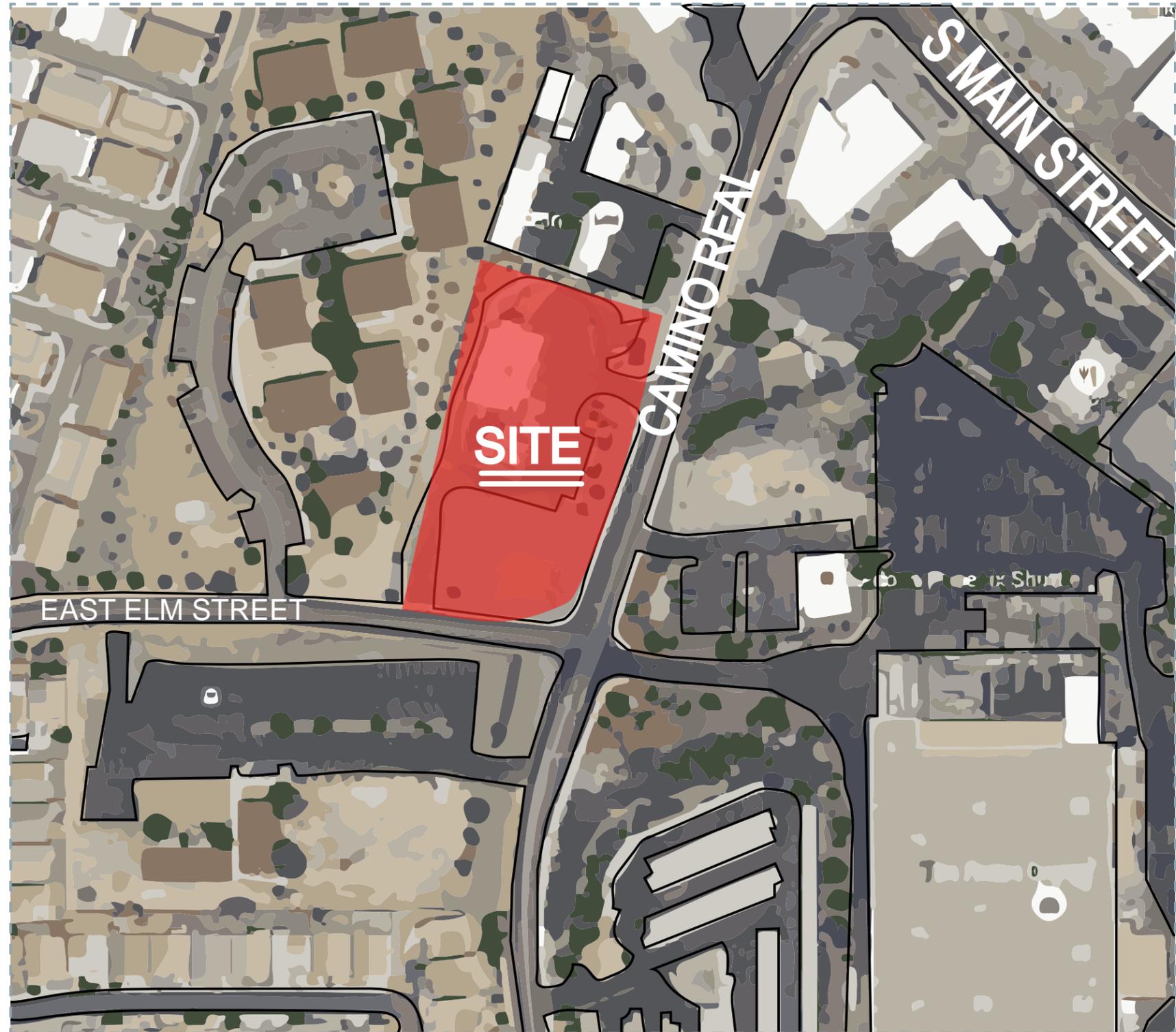
Lot Area

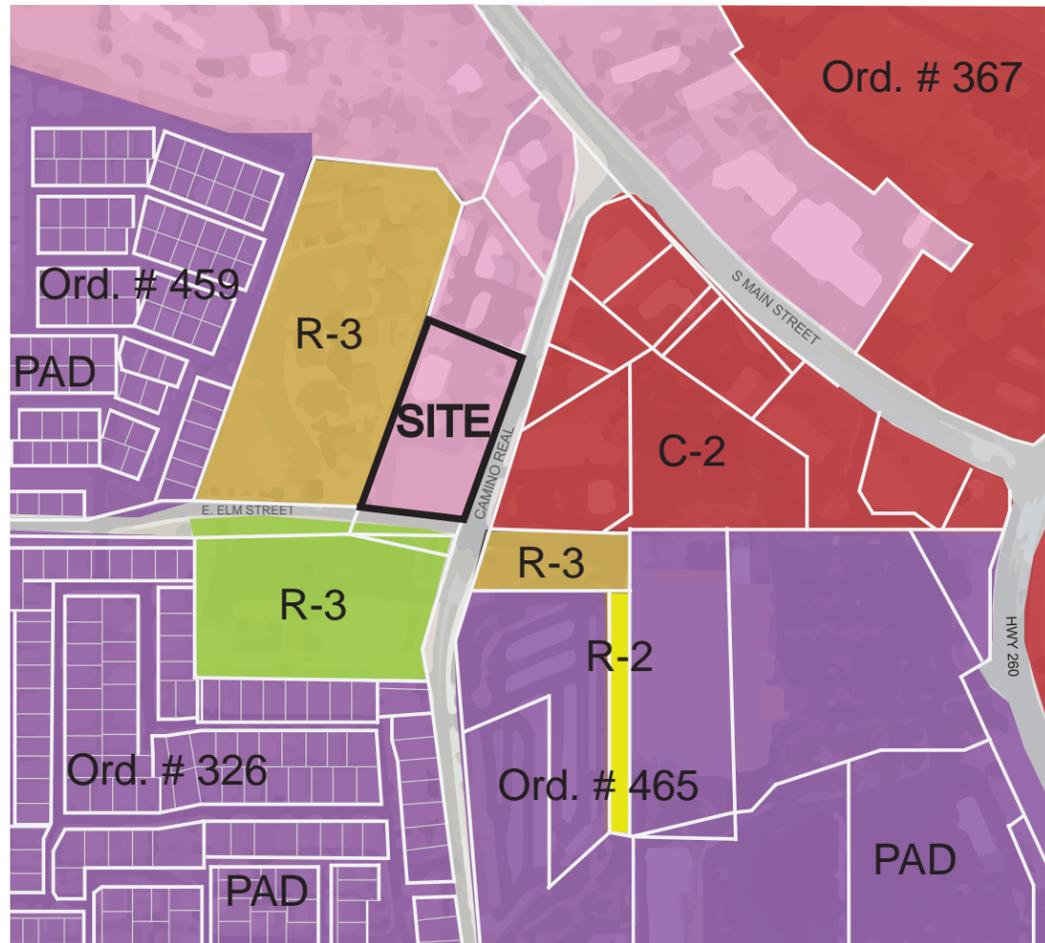
Zone:	Commercial C-1
Parcel Number:	406-04-046H
Min. Lot Area:	5,000 SF
Min. Avg. Lot Width:	50'
Setbacks:	
Front Yard:	20'
Side Yards:	0'
	15' when adjoining a lot in a residential district
	10' when abutting a street
Min. Rear Yard:	5'
Max. Height:	2 ½ stories, not to exceed 35 Ft., unless permitted under a Conditional Use Permit.

Flood Boundary:	Above 500 year flood level (.2% annual chance)
Lighting Standards:	Abide by Dark Sky Law
Retaining Wall H:	132"

Proposed Building

Stories:	1 Story
Height:	20'
Gross SF:	36,831 SF
Storage SF:	35,609 SF
Office SF:	1,222 SF
Lumen Count:	34,000 Lumens





ZONING ⊕

ZONING LEGEND

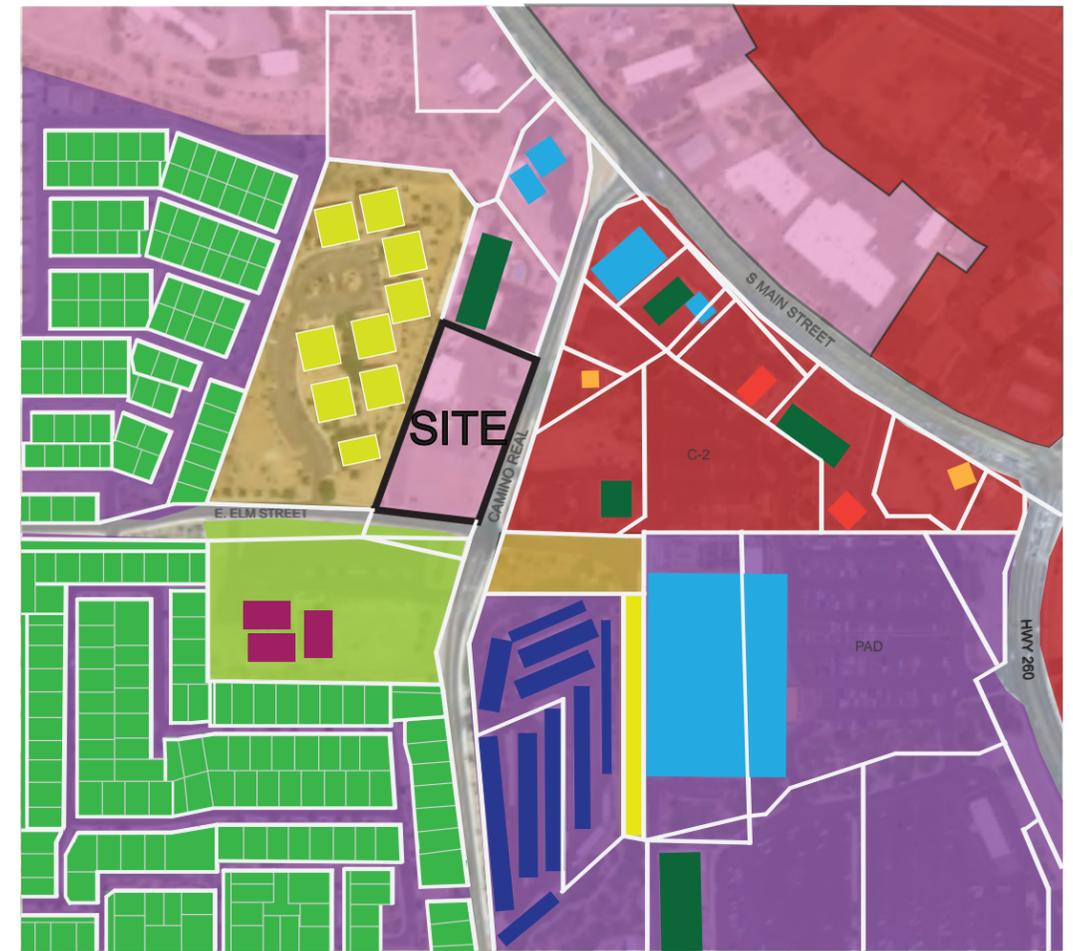
	SITE PARCEL #: 406-04-046H		C-2
	PAD		R-2
	AR-43		R-3
	C-1		

PAD	-Planned Area Development
AR-43	-Agricultural Residence
C-1, C-2	-Commercial
R-2, R-3	-Residential



AAA Cool Self Storage
 950 S Camino Real, Cottonwood, AZ 86326

Context



BUILDING TYPES ⊕

BUILDING TYPES

	BUSINESS		RETAIL
	OFFICE		INDUSTRIAL
	RESTAURANT		MULTI-FAMILY RESIDENTIAL
	ASSEMBLY		SINGLE-FAMILY RESIDENTIAL

CONTEXT MAPS

Zoning, Urban Village, Building Types, and Transportation Maps

Neighborhood Notification Information and Letter



P.O. Box 1245
Cottonwood, Arizona 86326
Tel: 928-639-0776
Fax: 928-639-3801
tomp@pender-engineering.com

September 28, 2015

Greetings neighbors and interested residents;

This is to inform you that Davis & Silesky, developers of the property at 950 South Camino Real, will be applying for a Planned Area Development (PAD) for that property. You are receiving this notice because your property is within 300 feet of the subject property. Additionally, this is to let you know that a brief informational neighborhood meeting will be held at the carwash located at 950 South Camino Real on October 14th, 2015 from 5:30 to 6:30 PM.

SUBJECT PROPERTY/ EXISTING ZONING

The property lies on the northwest corner of South Camino Real and Elm Street within the City of Cottonwood. The single parcel is 1.71 acres, currently zoned C1, Light Commercial.



950 South Camino Real - APN 406-04-046H

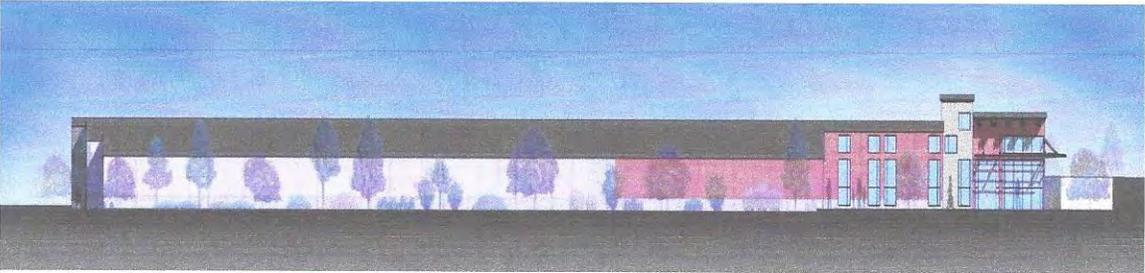
North Elevation



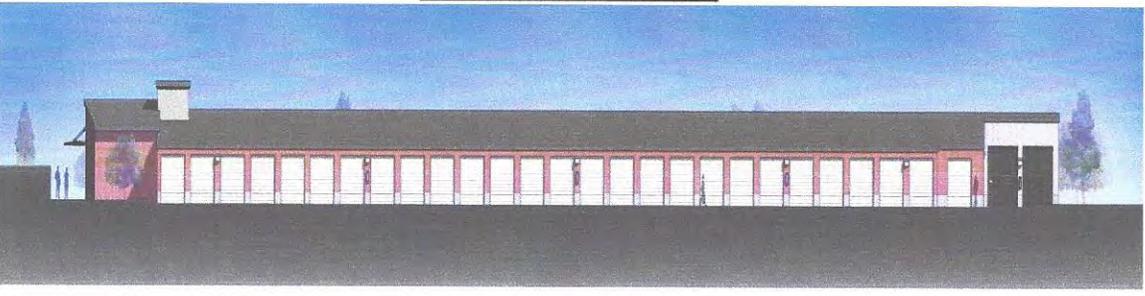
South Elevation



East Elevation



West Elevation



As a neighboring property owner, your comments and input regarding this proposal are welcome and important to us. Please plan to attend our neighborhood meeting on October 14th. If you are unable to attend, please send any comments to Pender Engineering by mail or email. Your involvement in the public planning process is important.

If you would like more information regarding this application and the public hearing process, please contact Scott Ellis, Planner, at the City of Cottonwood Development Services building, 111 N. Main St., or by phone at 928-634-5505 ext. 3321.

Thank you for your time and attention.

Sincerely,



Tom Pender
Pender Engineering
P.O. Box 1245
Cottonwood, AZ 86326
tomp@pender-engineering.com
928.639.0776
928.639.3801 Fax

Emails from Neighbors

RE: 950 camino real property change of use

Greetings John,

I received your comments.

Thanks,
Tom Pender

From: lazyvj@aol.com [mailto:lazyvj@aol.com]
Sent: Tuesday, October 13, 2015 2:51 PM
To: tomp@pender-engineering.com
Subject: Fwd: 950 camino real property change of use

Sorry Tom I forgot the dash

Sent from AOL Mobile Mail

From: Lazyvj <Lazyvj@aol.com>
Date: Thursday, October 8, 2015
Subject: 950 camino real property change of use
To: tomp <tomp@penderengineering.com>, sellis <sellis@cottonwoodaz.gov>

Hi Tom

I am not opposed to the storage facility at 950 Camino Real however there is a serious drainage problem coming off the parking lot and the driveway and going across the street into my property at 925 Camino Real and onto my property below this must be corrected. I don't know how it was ever approved the first time there should have been more sloping from the parking to the retention. I will try to be at the meeting. Please respond that you have received this letter.

John Verretto
lazyvj@aol.com
[602 549 6611](tel:6025496611)

Storage unit at 950 S Camino Real

From: Bob [mailto:bob@coryteam.com]
Sent: Tuesday, October 20, 2015 2:52 PM
To: tomp@pender-engineering.com
Subject: Storage unit at 950 S Camino Real

Anna May Cory and I own the Pines Motel. We were out of town when you had the meeting about this project. Our only concern is the impact any noise from the AC units, as this has been billed as a climate controlled facility. The placement and type of units used could cause a noise issue for our guests as they would probably be running at night. We would appreciate a response to this concern.

Anna May Cory amc@coryteam.com
Robert Uveges bob@coryteam.com

Thank you

Aerial Photo of APN 406-04-046H

This massing study shows the low lying form of the building. Like many of the structures around Cottonwood, this storage facility has a modest height.

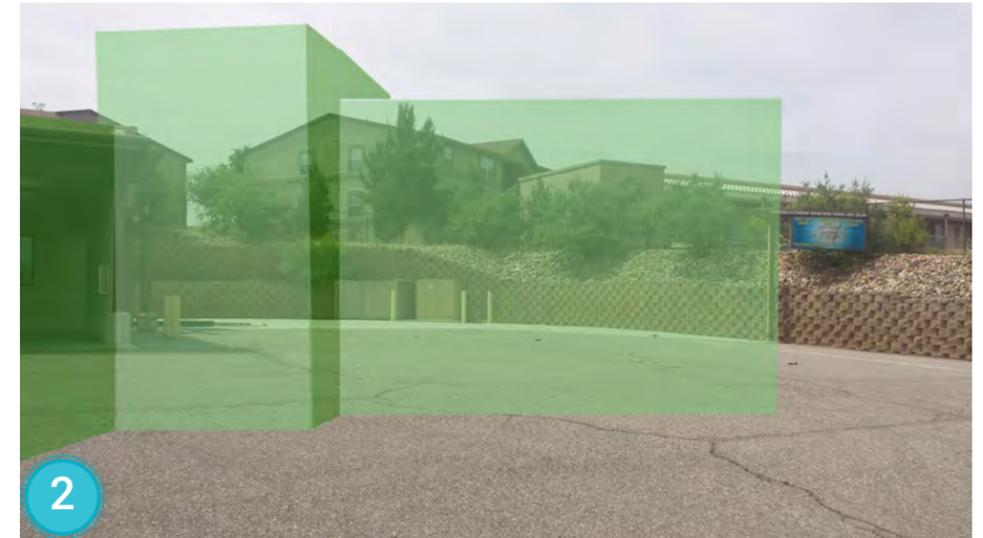
This prevents the structure from blocking any vistas from the neighboring buildings.

A low building also helps keep out light pollution, preserving the dark sky and allowing better visibility of the stars and sky.

Grading also helps; the storage facility is significantly lower than it's adjacent buildings to the north and the west. See studies 1, 2 and 4 on page 7.



Massing Study



Drainage Assessment



P.O. Box 1245
Cottonwood, Arizona 86326
Tel: 928-639-0776
Fax: 928-639-3801
tomp@pender-engineering.com

Preliminary Drainage Assessment for AAA Cool Storage.

The planned project is located at the outlet of the City of Cottonwood Concentration Point 62. The times of concentrations between the major basin and the projects drainage basin do not coincide thus the detention from the project is not necessary. All storm water will be directed through Flogard sediment and oil interceptors. The only existing issue discovered was storm water discharging out of the main driveway that has caused issues with the downstream property owners. This issue will be corrected with the re-grading of the driveway. No other drainage issues relating to the project were observed.

Respectfully Submitted



Tom L. Pender, P.E.

Exp 12-31-15



P.O. Box 1245
Cottonwood, Arizona 86326
Tel: 928-639-0776
Fax: 928-639-3801
tomp@pender-engineering.com

Preliminary Water and Wastewater Assessment for AAA Cool Storage.

The planned project will not require any offsite development of water or wastewater facilities. The existing use as a Car wash exceeds planned use as indoor storage. In addition the Cottonwood Fire Department has determined that there is adequate water for fire suppression.

Respectfully Submitted



Tom L. Pender, P.E.

Exp 12-31-15

PAPA'S

**CAR
WASH**

02/05/2016 11:22



02/05/2016 11:22



PAPA'S
CAR WASH

AUTO GLASS DETAIL
1st Floor Entry

02/05/2016 11:22



02/05/2016 11:23



02/05/2016 11:23



02/05/2016 11:23



SPEED LIMIT
25

OR
CA

02/05/2016 11:23

Cottonwood
Bible Church

02/05/2016 11:23



02/05/2016 11:23

**AAA DISCOUNT
MINI-STORAGE**
1055 CAMINO REAL
649-1123

02/05/2016 11:24



02/05/2016 11:24



02/05/2016 11:24



PARK'S
CAR
WASH

02/05/2016 11:25



02/05/2016 11:25



02/05/2016 11:25



02/05/2016 11:25



02/05/2016 11:26



02/05/2016 11:26