

A G E N D A

REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF COTTONWOOD, ARIZONA, TO BE HELD MAY 3, 2011, AT 6:00 P.M., AT THE CITY COUNCIL CHAMBERS BUILDING, 826 NORTH MAIN STREET, COTTONWOOD, ARIZONA.

- I. CALL TO ORDER
- II. ROLL CALL
- III. PLEDGE OF ALLEGIANCE
- IV. BRIEF SUMMARY OF CURRENT EVENTS BY MAYOR, CITY COUNCIL AND/OR CITY MANAGER—THE PUBLIC BODY DOES NOT PROPOSE, DISCUSS, DELIBERATE OR TAKE LEGAL ACTION ON ANY MATTER BROUGHT UP DURING THIS SUMMARY UNLESS THE SPECIFIC MATTER IS PROPERLY NOTICED FOR LEGAL ACTION.
- V. PROCLAMATION—DAYS OF REMEMBRANCE.
- VI. PROCLAMATION—BIKE MONTH.
- VII. CALL TO THE PUBLIC—This portion of the agenda is set aside for the public to address the Council regarding an item that is not listed on the agenda for discussion. However, the Council cannot engage in discussion regarding any item that is not officially listed on the agenda for discussion and/or action (A.R.S. §38-431.02.A.(H).) Comments are limited to a 5 minute time period.
- VIII. APPROVAL OF MINUTES—WORK SESSION OF JANUARY 11, 2011.

Comments regarding items listed on the agenda are limited to a 5 minute time period per speaker.
- IX. UNFINISHED BUSINESS - None.
- X. CONSENT AGENDA—No items.
- XI. NEW BUSINESS—The following items are for Council discussion, consideration, and possible legal action.
 1. ORDINANCE NUMBER 577—ZONE CHANGE FROM R-1 (SINGLE FAMILY RESIDENTIAL) TO PAD (PLANNED AREA DEVELOPMENT) TO ENABLE THE CONSTRUCTION OF A SENIOR LIVING FACILITY ON ABOUT THREE ACRES LOCATED AT THE SOUTHEAST CORNER OF WEST MINGUS AVENUE AND CANDY LANE; FIRST READING.
 2. PRESENTATION BY MATTHEW CAPALBY, MANAGING PARTNER OF THE AGASSIZ GROUP, LLC, OF THE REDISTRICTING OF ARIZONA'S LEGISLATIVE AND CONGRESSIONAL DISTRICTS.

A G E N D A
May 3, 2011/page 2

3. REQUEST FROM ERIC AND MICHELLE JURISIN, OWNERS OF THE TAVERN GRILLE LOCATED AT 914 NORTH MAIN STREET, TO PLACE A SECOND OUTDOOR PATIO ADJACENT TO THE TAVERN GRILLE WITHIN THE CITY OWNED PARKING LOT AREA ALONG NORTH MAIN STREET, TO BE ACCOMPLISHED THROUGH THE NEGOTIATION AND EXECUTION OF A LEASE FOR THE CITY-OWNED PROPERTY.
 4. REQUEST FROM STAFF FOR APPROVAL TO PARTNER WITH LEDBETTER LAW FIRM, P.L.C., TO PLACE BANNERS THROUGHOUT THE CITY OF COTTONWOOD, DEDICATED TO SPECIFIC CITIZENS CURRENTLY SERVING OR WHO HAVE SERVED IN THE U.S. MILITARY.
- XII. CLAIMS & ADJUSTMENTS
- XIII. ADJOURNMENT

Pursuant to A.R.S. § 38-431.02(B) the Council may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) (7) for discussion and consultation for legal advice or negotiations for the purchase, sale or lease of real property with the City Attorney.

The Cottonwood Council Chambers is accessible to the disabled in accordance with Federal "504" and "ADA" laws. Those with needs for special typeface print or hearing devices may request these from the City Clerk (TDD 634-5526.) All requests must be made 24 hours prior to the meeting.

Members of the City Council will attend either in person or by telephone conference call.



PROCLAMATION

Whereas, the Holocaust was the state-sponsored, systematic persecution and annihilation of European Jewry by Nazi Germany and its collaborators between 1933 and 1945—six million were murdered; Roma (Gypsies), people with disabilities, and Poles were also targeted for destruction or decimation for racial, ethnic, or national reasons; and millions more, including homosexuals, Jehovah's Witnesses, Soviet prisoners of war, and political dissidents, also suffered grievous oppression and death under Nazi tyranny; and

Whereas, the history of the Holocaust offers an opportunity to reflect on the moral responsibilities of individuals, societies, and governments; and

Whereas, we the people of the City of Cottonwood should always remember the terrible events of the Holocaust and remain vigilant against hatred, persecution, and tyranny; and

Whereas, we the people of the City of Cottonwood should actively rededicate ourselves to the principles of individual freedom in a just society; and

Whereas, the Days of Remembrance have been set aside for the people of the City of Cottonwood to remember the victims of the Holocaust as well as to reflect on the need for respect of all peoples; and

Whereas, pursuant to an Act of Congress (Public Law 96-388, October 7, 1980), the United States Holocaust Memorial Council designates the Days of Remembrance of the Victims of the Holocaust to be Sunday, May 1 through Sunday, May 8, 2011, including the Day of Remembrance known as Yom Hashoah, May 1, 2011;

Now, therefore, I, Diane Joens, Mayor of the City of Cottonwood, do hereby proclaim the week of Sunday, May 1 through Sunday, May 8, 2011, as

Days of Remembrance

in memory of the victims of the Holocaust and in honor of the survivors as well as the rescuers and liberators, and further proclaim that we, as citizens of the City of Cottonwood, should work to promote human dignity and confront hate whenever and wherever it occurs.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the seal of the City of Cottonwood, Arizona, this 3rd day of May 2011.

Diane Joens, Mayor



PROCLAMATION

Whereas, for more than a century, the bicycle has been an important part of the lives of most Americans; and

Whereas, today, Americans are turning to the bicycle more than ever before as a means of becoming a part of the solution in our nation's quest to better our citizens' health, improve our environmental quality, and promote our energy independence, and do overwhelmingly support improving our quality of life and providing quality recreational opportunities for our families and our visitors; and

Whereas, the League of American Bicyclists and its chapters have declared May as Bike Month since 1956; and

Whereas, the Verde Valley Cyclists Coalition, our valley's chapter of the League, and independent cyclists throughout Arizona are calling for greater public awareness of bicycle operation and safety in an effort to reduce accidents, injuries and fatalities and to increase enjoyment for all,

Now, therefore, I, Diane Joens, Mayor of the City of Cottonwood, Arizona, do hereby proclaim May 2011 as

Bike Month

and the week of May 16th-20th to be Bike-To-Work Week throughout all of Cottonwood; and urge all residents, schools, city departments, and civic groups to support bicycling; and for motorists, pedestrians and bicyclists to work together to share our streets, roads and trails.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the seal of the City of Cottonwood, Arizona, this 3rd day of May 2011.

Diane Joens, Mayor

Date

City of Cottonwood, Arizona
City Council Agenda Communication



Meeting Date: May 3, 2011

**Subject: Ordinance 577
PAD Zoning for Highland Square Senior Living Facility**

Department: Community Development

From: George Gehlert, Director

REQUESTED ACTION

Review of the Master Development Plan which supports the zone change request for the Highland Square Senior Living Facility. This will also be the first reading of Ordinance 577 (no action at this time).

BACKGROUND

The applicant is requesting approval of a zone change from R-1 (single family residential) to PAD (Planned Area Development) to enable the construction of a senior living facility on about three acres located at the southeast corner of West Mingus Avenue and Candy Lane. On April 18, 2011, the Planning and Zoning Commission recommended approval of this request, subject to the stipulations identified in Ordinance 577 (attached). The staff memo outlining the project is also attached for your review, together with the Master Development Plan. Once approved, the MDP will function as the zoning ordinance for this parcel.

As part of the P&Z Commission's review of this request, there was some discussion concerning the parking requirement for this facility. The staff memo points out that the parking provided on-site is roughly 2/3 of what would normally be required for a typical apartment complex of this scale. Staff has reviewed related parking requirements in other jurisdictions and has found that this ratio is not unusual. Regardless, the applicants are considering adding additional parking at the south of the project (10-15 spaces) as part of final site plan revisions associated with the Candy Lane access drives and nearby street improvements.

ORDINANCE NUMBER 577

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF COTTONWOOD, YAVAPAI COUNTY, ARIZONA, AMENDING THE ZONING MAP OF THE CITY OF COTTONWOOD, ARIZONA, FOR A PARCEL OF LAND TOTALING APPROXIMATELY THREE ACRES LOCATED AT THE SOUTHEAST CORNER OF WEST MINGUS AVENUE AND CANDY LANE, FROM R-1 (SINGLE-FAMILY RESIDENTIAL) TO PAD (PLANNED AREA DEVELOPMENT).

WHEREAS, the Planning & Zoning Commission held a public hearing on April 18, 2011, concerning the rezoning of property and has recommended approval of this request as presented to the City Council, and the requirements of A.R.S. § 9-462.04 have been met.

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF COTTONWOOD, YAVAPAI COUNTY, ARIZONA, AS FOLLOWS:

Section 1: That the following described parcels of land lying within the City of Cottonwood, Yavapai County, Arizona, shall be and are hereby reclassified from R-1 (Single Family) to PAD (Planned Area Development):

CANDY LANE & MINGUS AVENUE

A parcel of land located in the SE¼ of Section 33, T16N, R3E, G&SRB&M, Yavapai County, Arizona, more particularly described as follows:

Commencing at the SE corner of the NE¼ of said Section 33, from which the NE corner of said NE¼ bears N01°37' 18"E, a distance of 2641.68 feet; thence N01°37'18"E, along the east line of said NE¼, a distance of 43.46 feet; thence S72°20'57"W, a distance of 57.50 feet; thence S89°29'13"W, a distance of 306.16 feet; thence S02°08'22"W, along an existing fence, a distance of 183.62 feet; thence N89°38'56"W, along the north line of the parcel of land described in Book 3343, Page 714, Official Records of Yavapai County, a distance of 341.29 feet and the TRUE POINT OF BEGINNING; thence S00°34'58"W, along the west line of said parcel, a distance of 225.94 feet; thence N89°20'21"W, a distance of 90.37 feet; thence N89°15'31"W, a distance of 129.28 feet; thence N89°29'51"W, a distance of 118.25 feet; thence N03°43'05"E, along an east line of Candy Lane as described in Book 1813, Page 803, Yavapai County records, a distance of 167.61 feet; thence N00°02'02"W, along an east line of said Candy Lane, a distance of

196.19 feet; thence N89°35'58"E, along a south line of Mingus Avenue, as described in Book 389, Page 241, Yavapai County records, a distance of 330.89 feet to a ½" rebar with cap "LS #19853"; thence S00°34'58"W, a distance of 143.60 feet to the TRUE POINT OF BEGINNING.

The above described parcel contains 2.7878 acres more or less.

Section 2: That the Planning and Zoning Commission and City Council have determined the following items necessary as conditions of the zoning approval to protect the public health, safety and general welfare:

1. That the use comply with the Master Development Plan dated 3/30/11.
2. That the applicant work with Staff to provide for a transit stop at this location.
3. That the applicant submit an alternative to the use of horizontal bars on the upper deck enclosures.
4. That the applicant address all other Code Review comments from the meeting of 3/8/11.
5. That the applicant submit revisions to the final site plan which address improvements along Candy Lane (including the sidewalk, left turn bay, transit bay and residential access) for Staff review and approval prior to plan submittal.

Section 3: The zoning map shall be amended to reflect this zone change only upon compliance with all zoning conditions set forth herein.

Section 4: That at least three (3) copies of the zoning map of the City of Cottonwood, Arizona, as hereby amended be kept in the office of the City Clerk for public use and inspection.

Section 5: Severability: That if any section, subsection, sentence, clause, phrase or portion of this ordinance adopted herein is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such a decision shall not affect the validity of the remaining portions thereof.

PASSED AND ADOPTED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR OF THE CITY OF COTTONWOOD, YAVAPAI COUNTY, THIS 17TH DAY OF MAY 2011

Diane Joens, Mayor

ATTEST:

Marianne Jiménez, City Clerk

APPROVED AS TO FORM:

Steve Horton, Esq.
City Attorney



STAFF MEMO

TO: Planning and Zoning Commission

FROM: George Gehlert, Community Development Director

FOR: April 18, 2011

**SUBJECT: Z/PAD 11-006 and DR 11-006
Highland Square Senior Apartments**

Consideration of a zone change from R-1 (single family residential) to PAD (Planned Area Development); and associated Design Review to accommodate the construction of a 3-story, 60-unit senior living facility, outdoor recreation and parking areas on an approximately three-acre site at the southeast corner of West Mingus Avenue and Candy Lane. A portion of APN 406-32-022F Owner: Clemenceau Townsite LLC. Agent: Campbell-Hogue & Associates, Inc.

The property is a portion of a 33-acre parcel owned by Clemenceau Townsite LLC. It was formerly the location of a series of older single family residences located on a common parcel, previously owned by the Siler family. The site, together with the balance of the parcel, was cleared over the last three years by the current owner.

The property is located in a metes and bounds area criss-crossed by a series of egress and utility easements. It is surrounded by vacant land to the north and west. A residence is located to the south. Two churches are located to the east and southeast.

The Commission may be aware the City of Cottonwood is planning traffic improvements in this vicinity, including the redevelopment of the Mingus Avenue intersection at Willard Street (as a roundabout); and the complete re-construction of the Mingus Avenue corridor between Willard and 89A. The roundabout will be built this year, to be followed by the Mingus corridor project.

General Plan and Zoning Proposal

The City's General Plan supports high density residential uses in this portion of the community as essential to the nearby development focus area and services. Planned Area Development zoning is encouraged for this site by the General Plan.

Master Development Plan and Site Proposal

Cottonwood's PAD Code requires review and approval of a Master Development Plan which addresses the specific components of the code (Section 424). The Master Development Plan is attached for your review.

The project will provide housing for the low income senior population, as part of a developer tax-credit program administered by the Arizona Department of Housing. If approved, the facility would provide a total of 60 residential units (including 50 one-bedroom units and 10 two-bedroom units).

The 3-story structure is configured in an L-shape in order to screen the parking from the street and to consolidate open areas at the rear. The building contains a large variety of building materials, with stucco being the predominant material used for the exterior. The building also includes a varied front, with several step out sections for porches. Building heights vary between two and three stories with a series of different pitched roofs.

The building is also set close to the street so that the architectural attributes will help to enhance the overall character of the streetscape. Mingus Avenue will be improved with curbs gutters and sidewalks as part of the Mingus Avenue Reconstruction project. The applicant will also provide public street and sidewalk improvements along Candy Lane, as well as a variety of trees and other landscaping. Low screen walls are also proposed between the buildings and the sidewalks. The project meets the 30% open space requirement of the PAD Code.

Included in the attachments is a statement of water use which predicts an increase in potential water demand for this site of about 270% (due to the requested density increase). The MDP points out this figure would be offset by use of low-flow fixtures, xeriscaping and placement of purple pipe for later connection to the City's reclaimed water line (when it becomes available). The included letter of intent also elaborates on the other energy efficiency attributes of the design.

The site has less parking than would typically be required for a multi-family facility. The applicant is suggesting the senior use of the facility would result in a lowered parking demand. The site plan provides for 62 parking spaces. The code would otherwise require 92 parking spaces for a multi-family apartment project of this scale.

Access to the parking areas will be from both Mingus Avenue and Candy Lane. The entrance off of Mingus Avenue will be a shared driveway with the parcel to the east, also coordinated with the pending improvements to Mingus Avenue. The entrance will follow the former Cholla Street alignment. The Candy Lane access will also be shared with the single family residence located to the south. A traffic study provided in support of this proposal demonstrated no need for additional traffic improvements to accommodate the impact generated by this proposal.

Specifically, this proposal would:

- Change the land use designation from single family to multi-family
- Increase the allowable density from 16 units to 60 unit (21.5 units per acre).
- Increase the allowable building height to approximately 40 feet (3 full stories).
- Reduce the front yard setback from 25 feet to 10 feet.
- Reduce required parking by approximately a third.

Community Involvement and Notification

The Zone Change process requires special legal notice, a community meeting in advance of P&Z review, related mailings to adjacent property owners, and special site posting in advance of Planning and Zoning Commission review. Adjacent property owners were contacted twice in writing regarding 1) the community meeting; and 2) the P&Z hearing. Staff has received no written responses on this proposal.

ISSUES

- **Architecture, Streetscape and Setbacks:** Because the site exists within a large vacant area at the corner of two collector streets, it will be very visible. Staff has therefore been encouraging the applicant to provide architecture and streetscape improvements that will help to set the standard for this area as it continues to develop. The submittal incorporates an interesting mix of stucco, metal and rock treatments, together with the use of pop-outs and color variety which help to give it some depth. The building is taller than would otherwise be allowed by code, exceeding 40 feet in height. Along Mingus Avenue it will also be perched on an 8' tall berm, which slopes northward toward the street. There are other taller buildings located nearby on Willard Street (hospital and churches). The applicant feels the height is necessary for the use, in order to prevent longer hallways that would be present in a one or two story building. Staff would like to hear the Commission's thoughts on the relatively modern style of the architecture, the added height and reduced setbacks.
- **Use of Horizontal Bars on Upper Deck Enclosures:** Staff would like to see an alternative to the use of horizontal-bar deck enclosures on the upper stories, which may be climbable by children.
- **Candy Lane Improvements:** Staff would like to encourage detaching the sidewalk along Candy Lane to accommodate placement of trees between the street and the sidewalk which may provide added shade from the west and southwest during the summer months.
- **Existing Trees:** There are a few matures trees located on the site. The Commission may want to discuss whether any can be saved as part of this project.

- **Transit Stop/Bicycle Facilities-** Staff is suggesting placement of a bus pull-out on Candy Lane with a shelter and bench. Bicycle racks may also be useful both for residents and caretakers.

RECOMMENDATION

This project will provide added affordable housing for our qualifying senior population. Together with the elements of the physical site design and public improvements, Staff believes the proposal helps to meet the objectives established by the City's General Plan for this area of the community; and those of the Planned Area Development Ordinance.

Staff therefore recommends approval of the **Z/PAD 11-006** and **DR 11-006** subject to the following stipulations:

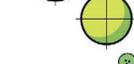
1. That the use comply with the Master Development Plan dated 3/30/11 (as may be modified by the Commission).
2. That the applicant work with staff to provide for a transit stop at this location.
3. That the applicant submit an alternative to the use of horizontal bars on the upper deck enclosures.
4. That the applicant address all other Code Review comments from the meeting of 3/8/11.
5. Any other stipulations that the Commission deems necessary.



PROJECT SITE

PROJECT SITE

PLANT SCHEDULE:

	PINUS HALAPENSIS ALEPPO PINE	15 GALLON 6' HT., 3.5'
	ULMUS PARVIFOLIA EVERGREEN ELM	15 GALLON 7' HT., 3' S
	FRAXINUS VELUTINA MODESTO ASH	15 GALLON 7' HT., 3' S
	PRUNUS CERRASIFERA "AUTOPURPUREA" FLOWERING PURPLE-LEAF PLUM	15 GALLON 7' HT., 3' S
	MALUS FLOWERING CRABAPPLE	15 GALLON 7' HT., 3' S
	PHOTINIA SERRULATA CHINESE PHOTINIA	5 GALLON M FULL, PAST
	SALVIA GREGGII AUTUMN SAGE	5 GALLON M FULL, PAST
	PITTIOSPORUM TOBIRA PITTIOSPORUM	5 GALLON M FULL, PAST
	NANDINA DOMESTICA HEAVENLY BAMBOO	5 GALLON M FULL, PAST
	JUNIPERUS SABINA "BUFFALO" BUFFALO JUNIPER	5 GALLON M FULL, PAST
	JUNIPERUS CHINENSIS "MINT JULEP" MINT JULEP JUNIPER	5 GALLON M FULL, PAST
	JUNIPERUS CHINENSIS HORIZONTALIS SPREADING JUNIPER	5 GALLON M FULL, PAST
	COTONEASTER DIVARICATA SPREADING COTONEASTER	5 GALLON M FULL, PAST
	COTONEASTER HORIZONTALIS ROCK COTONEASTER	5 GALLON M FULL, PAST
	SODDED LAWN	
	DECOMPOSED GRANITE	

PLAN KEY NOTES:

- ① SODDED LAWN
- ② 6"x6" CONCRETE HEADER
- ③ 2" DEEP, 3/4" SCREENED DECOMPOSED GRANITE
- ④ DECORATIVE SEAT WALL
- ⑤ RAISED GARDEN PLANTERS
- ⑥ POOL AREA, RAMADA & B-B-Q
- ⑦ LOW RETAINING WALL
- ⑧ DECORATIVE SCREEN WALL
- ⑨ NEW SIGN WALL (SEE ELEVATION BELOW)
- ⑩ FIRE ACCESS LANE TO SUPPORT 75,000 LBS. (2" DEEP DE OVER COMPACTED ABC PER SOILS REPORT)
- ⑪ AREA LIGHT



LANDSCAPE REQUIREMENTS:

A. INTERIOR PROPERTY LINE LANDSCAPING:

REQUIRED: 10' WIDTH MINIMUM (660 L.F.)
 PROVIDED: 10' WIDTH MINIMUM
 REQUIRED TREES: 27 TREES (MIN. 15 GALLON SIZE)
 PROVIDED TREES: 27 TREES
 REQUIRED SHRUBS: 81 SHRUBS 9MIN. 5 GALLON SIZE)
 PROVIDED SHRUBS: 81 SHRUBS

C. STREET FRONTAGE LANDSCAPING:

REQUIRED: 10' WIDTH MINIMUM (660 L.F.)
 PROVIDED: 10' WIDTH MINIMUM
 REQUIRED TREES: 27 TREES (MIN. 15 GALLON SIZE)
 PROVIDED TREES: 27 TREES
 REQUIRED SHRUBS: 81 SHRUBS 9MIN. 5 GALLON SIZE)
 PROVIDED SHRUBS: 88 SHRUBS

Landscape Plan Scale 1:30





NORTH ELEVATION

SCALE: 1/8" = 1'-0"

**HIGHLAND SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA



WEST ELEVATION

SCALE: 1/8" = 1'-0"

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
3/5 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

4.10
1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**EXTERIOR ELEVATIONS
PRELIMINARY**

NOTE:
LANDSCAPING SHOWN IS FOR ARTISTIC PURPOSES ONLY. PLEASE
REFER TO LANDSCAPING DRAWINGS FOR ACTUAL LOCATIONS, SPECIES
AND GROUND COVERINGS.



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

WHITNEYBELL PERRY INC
1102 Lost Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

4.11
1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**EXTERIOR ELEVATIONS
PRELIMINARY**

NOTE:
LANDSCAPING SHOWN IS FOR ARTISTIC PURPOSES ONLY. PLEASE
REFER TO LANDSCAPING DRAWINGS FOR ACTUAL LOCATIONS, SPECIES
AND GROUND COVERINGS.



EAST ELEVATION SCALE: 1/8" = 1'-0"



EAST ELEVATION SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
3/5 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

4.12
1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**EXTERIOR ELEVATIONS
PRELIMINARY**

NOTE:
LANDSCAPING SHOWN IS FOR ARTISTIC PURPOSES ONLY. PLEASE
REFER TO LANDSCAPING DRAWINGS FOR ACTUAL LOCATIONS, SPECIES
AND GROUND COVERINGS.



**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

PERSPECTIVE RENDERING
PRELIMINARY



VIEW LOOKING WEST



VIEW LOOKING NORTH



VIEW LOOKING EAST



VIEW LOOKING SOUTH



VIEW LOOKING WEST



VIEW LOOKING SOUTH DOWN CANDY LN



VIEW LOOKING EAST DOWN MINGUS AVE



HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA

DEVELOPER

Campbell-Hogue & Associates
2223 112th Ave NE #102
Bellevue, WA 98004
Phone: 425-455-3879
Attn: Terry Campbell

DEVELOPER

Foundation for Senior Living
1201 E Thomas Rd
Phoenix, AZ 85014
Phone: 602-285-0505
Attn: Steve Hastings

ARCHITECT

Whitneybell Perry Inc.
575 W Chandler Blvd. Ste 123
Chandler, AZ 85225
Phone: 602-265-1891
Attn: Brian M Andersen, AIA

SITE OWNER

Clemenceau Townsite LLC
1490 Riordan Ranch Rd
Flagstaff, AZ 86001
Phone: 928-853-6644
Attn: Joe Nackard

**PLANNED AREA DEVELOPMENT ZONING
MASTER DEVELOPMENT PLAN - March 30, 2011**

TABLE OF CONTENTS

1-7	Project Narrative
A.	Graphic Exhibits:
B.	Conceptual Site Development Plan
C.	Vicinity Map
D.	Areal Photo Map
E.	Photographic Exhibits
F.	Reductions of Submitted Plans and Renderings

Table of Contents

Project Narrative

1. **Name of Development**
Highland Square Senior Apartments

2. **Contact Information**

Developer Terry Campbell Campbell-Hogue & Associates Inc. 2223 112 th Ave. NE # 102 Bellevue, WA 98004 Office (425) 455 3879 Cell (206) 369 2424	Developer Steve Hastings Foundation for Senior Living 1201 E. Thomas Road Phoenix, AZ 85014 Office (602) 285 0505
Architect Brian M Andersen AIA Whitneybell Perry Inc 575 W Chandler Blvd Ste 123 Chandler, AZ 85225 Office (602) 265 1891	Land Owner Joe Nackard Clemenceau Townsite LLC 1490 Riordan Ranch Flagstaff, AZ 86001 Office (928) 853 6644

3. **Description of Location**

Parcel #406-32-022F, Cottonwood, AZ
This vacant 2.78 acre parcel is part of the 33 acre site known as the Clemenceau Town site in the SE ¼ of Section 33, T16N, R3E, G&SRB&M, Yavapai County, Arizona. This zoning request (PAD) only addresses the 2.78 acre parcel and is confined to residential use.

4. **Summary of Proposed Land Use and Development Standards**
 - a. Residential Use: The structure will include fifty (50) one bedrooms, one bath units and ten (10) two bedrooms, two bath units contained in an “L” shaped design. Based on the parcel size of 2.78 acres (121,096 square feet) the density is calculated as 21.5 units per acre.

 - b. Commercial Use: No commercial use is proposed for this PAD application.

 - c. Parcel Data:
 - Parcel: #406-32-022F
 - Existing area: 121,096 s.f. gross area (2.78 acres)
 - Zone: Existing R-1. Proposed R-3 PAD
 - Existing Use: The lot is currently vacant
 - Proposed Use: 60 units, 3 story Senior Apartment Community.

- d. Proposed Public Streetscape and Open Space Improvements
- The site design focuses the buildings at the perimeter to create an upscale urban streetscape and screen the parking area from public view on Mingus and Candy Lane.
 - The development will contain no public or private streets within the boundaries of the site.
 - The perimeter streets (Mingus and Candy) will be improved with curb, gutter and walks per the Mingus Ave Extension project.
 - The areas between the walk and the building perimeter will be improved with appropriate plantings and low screen walls fronting the units.
 - The parking area will be accessed from both Mingus and Candy Lane, providing good emergency vehicle access (ingress/egress) to all areas of the property.
 - At the time of this submittal a Traffic Impact Analysis was being done and will be submitted to the city upon completion.

e. Summary of Property Development Standards

- Required Zone R-3 Standards: Front Yard Setback 10', Side Yard Setback 15', Rear Yard Setback 15', Maximum Lot Coverage 40%, Maximum allowed height 2 ½ stories 35', Allowed density 81 d.u.
- Proposed Zone Standards (PAD): Front Yard Setback 10', Side Yard Setback 15', Rear Yard Setback 15', Actual Lot Coverage 27%, Actual height 3 stories 40'-5", Provided Density 60 d.u.

f. Architectural Theme

- The architectural theme is a contemporary style of different sized layered volumes, colors and materials, and strategically placed linear horizontal elements. The overall footprint of the building is of an "L" shape. By doing this it creates a dynamic streetscape while containing and shielding the site interior. The building is primarily three stories but reduced to two stories at the corners along both adjacent streets to help reduce the scale. A leasing office and common space are located at the main entry with usable attached patio areas.
- The main building material is stucco painted four colors in different locations to add additional interest to the building and depth. Three of the colors are in the tan earth tones complimented with white to add contrast and pop. Some

stucco pop out areas will have score patterns so as not to have a continuous flat finish.

- Prefinished metal panels will add a second material to help enhance the architecture. Corrugated panels will be used along the top of various parapet walls and certain balcony area's at internal corridors while perforated panels will be used at some unit balcony guards. The perforated metal will also be used at third floor awnings on the south, east, and west elevations to help with shading of these units. Additional metal overhangs supported by metal rods are located at some unit balconies and third floor elements to help break the verticalness with a thin horizontal line. Lastly, metal pipe rail will also be used at unit balconies.
- This project generally meets the R-3 zoning criteria with a conditional use for the height requirement. We are requesting a PAD zone to eliminate the conditional use for building height.

g. Landscape Theme

- Landscaping is desert and xeric to minimize water use.
- Deciduous and conifer trees are placed throughout the site for shade and a small variety of shrubs and other plantings to enhance the overall appeal of the site.
- Sodded lawn is within the interior of the site by the tenant amenities and at the main entry off of Mingus Ave to provide a lush appearance. Decomposed granite will be used for general ground cover for the remainder of the site and along both adjacent streets.
- Community raised planters, a wrought iron fenced in pet area, and a pool area with tree shading is provided for the residents.

h. Arterial and Collector Streets

- The project is a single parcel and too small for arterial and collector streets within the property. Mingus Ave. and Candy Ln. will be improved as indicated throughout the narrative.

i. Dedicated Public Space

- The project parcel size and use intention does not allow opportunity for dedicated space for public purposes.
- Public area's along Mingus Ave an Candy Ln will have meandering sidewalks and be landscaped.
- Spaces within the parcel allowed for tenant use will consist of a pool with ramada and BBQ, raised garden planters, and an

enclosed pet area. The remaining open space will be landscaped.

j. Preliminary Drainage Report

- A Preliminary Drainage Report and drawings have been submitted as part of the Hearing Application requirements.

5. **Project Objectives**

- As part of the 33 acre Clemenceau Town site, under common ownership, the PAD approach through the Master Development Plan (MDP) allows Highland Square to exceed certain zoning standards. It is also anticipated the remaining 30 Plus acres will at some point proceed with an MDP.
- Density, building heights and parking are the primary objectives under which the request is presented. The proposed use, senior housing, is the driving factor involved with this application. Residential development for seniors usually takes one of two design forms, single story or elevator serviced multi-story. Accessibility becomes a primary concern fostering clustered density for both avenues of design. The focus for Highland Square was to cluster the units in a single building while not disrupting the compatibility with the surrounding properties. The three story structure accomplishes the goal of minimizing long hallways (compared to a two story design) and does not overwhelm the neighborhood.
- An additional objective was to promote economical, innovative, and efficient land use while providing a more modern streetscape with view corridors taking advantage of the “red rock” and Mingus Mountain scenery. The “L” shaped design allows the parking area (with a reduced number of spaces) to be screened from both Mingus Ave. and Candy Lane thus minimizing the “asphalt jungle” look so prevalent in many existing developments. Also, it should be noted the Mingus entrance is a shared access with the adjoining property (Clemenceau) thus eliminating additional required ingress/egress off of Mingus. This entrance will be aligned with Cholla Street, a to-be-developed access to a large portion of the Clemenceau Township site.

General Plan Review

1. The parcel for the proposed Highland Square Senior Apartments, to be developed on a portion of the Clemenceau Townsite, is in an area considered

ripe for redevelopment. The Clemenceau Townsite as shown on the Land Use Map is in the R-1 category and is assumed to be developed in the future through a master Plan approach allowing various uses and densities. This is one of four Focus Areas designated in the Growth Areas Element of the Cottonwood General Plan adopted in 2004. The Growth Areas Element encourages a focused pattern of development in those areas of the community that are the most able to support development. Focused development minimizes traffic and other impacts, and *better enables opportunities to provide affordable housing*. In an effort to further this approach, the city has encouraged the land owner to remove old dilapidated structures from portions of the larger 33 ac tract. To date, several and uninhabitable houses have been removed and the city has recently committed funding for the extension of improvements fronting Highland Square along Mingus Avenue.

The Growth Areas map may provide opportunities for the types of densities and land use mixtures supporting the General Plan. Since critical mass may not be sufficient to support these focus areas, additional densities are encouraged, subject to development guidelines and performance standards associated with “planned development”. Highland Square will utilize the Planned Area Development (PAD) approach to land use.

2. The Land Use Element of the General Plan supports this proposed community. Paragraph 11 in the Key Issues sections specifically identifies the Clemenceau property as follows: Encourage development and redevelopment in identified focus areas including: Old Town; Main and Mingus area; Willard and Mingus (Siler property *and Clemenceau*); and the slag pile and fairgrounds.

This proposal addresses the Community Vision Element of the General Plan where the plan calls for Diversity of Housing, “housing that meets all needs”. Further, Highland Square promotes the concept of “sense of place by defining neighborhoods, such as Clemenceau. It also addresses the vision of desirable neighborhood streetscapes.

The Housing Element of the General Plan is appropriately addressed by this proposal as the following excerpts speak to the need for affordable and senior housing.

“Ensuring a balanced mix of quality and affordable housing addressing the critical housing conditions of the community”. “Seniors and those employed in the health care industry are key factors in Cottonwood’s economy. Recognizing this fact, the housing strategy seeks to build on the city’s economic development plan by ensuring that the demand for housing by these groups is understood and adequately addressed.”

The Economic Development Element of the plan is addressed in several ways by the development of this apartment community. New housing of almost any type is usually seen as a driver of the following:

- Increased purchase of labor and materials for the construction phase.
- The enhancement of value for surrounding properties.
- The generation of municipal fees and taxes.

- Increased retail trade as new residents migrate to the area.
- Additional housing options relate to “quality of life” issues and overall desirability of the community which can attract new residents who help drive local economies.
- The resulting improvements to infrastructure in the Mingus/Willard corridor will support attraction and growth of the local medical services industry and encourage the future development of the Clemenceau Townsite.

The Business Development section of the plan specifically states “senior living is a business development target”.

With the local transit stop in close proximity, Highland Square specifically addresses Objective 3.2 under Healthy Community-“Ensure that all have access to housing and public transportation”.

Although this proposal does not have major impacts on the Circulation Element of the General Plan, two important transportation issues will benefit the residents residing at Highland Square. The planned “roundabout” at the corner of Mingus Ave. and Willard Street will enhance the traffic flow and circulation in the immediate area. (See Traffic Impact Study for specifics regarding counts and flow issues) Also, the transit stop at this same corner will provide access to public transportation so important to seniors. In the event of increased demand resulting from the development of this proposal, the Northern Arizona Intergovernmental Public Transportation Authority (NAIPTA) has indicated interest in establishing a transit stop adjacent to Highland Square.

This proposal meets Goals and Objectives of the Circulation Element by:

- Encouraging development in “focused areas”.
- Encouraging use of transit as discussed above.
- Improving streetscape design to enhance pedestrian friendly corridors.
- Minimize daily trip counts which is inherent in this type of housing (ie; seniors)

Highland Square has virtually no impact on the Open Space Element of the General Plan due to its size and footprint in the community. However, although for the private use of residents, this proposal does address the objective of “encouraging the development of open space and recreational amenities as part of new development.

Highland Square will address the Environmental Planning Element with numerous energy efficient components to meet the “green criteria” as required by the Arizona Department of Housing. (see attached criteria selection).

Further, this proposal meets the following objectives of this element of the General Plan:

- Encourage the use of native trees, shrubs and ground cover in new development, particularly those with little reliance on irrigation.
- Encourage methods for decreasing auto dependency with the promotion of pedestrian sidewalks and the Cottonwood Area Transit System (CATS)
- Develop building codes which encourage green development and energy efficient construction.

This proposal will promote the objectives of the Water Resources Element by providing low flow fixtures, selecting appropriate landscaping to conserve irrigation and using municipal water and sewer as referenced in the plan. Highland Square addresses the Cost of Development Element through the following statement in the Element:

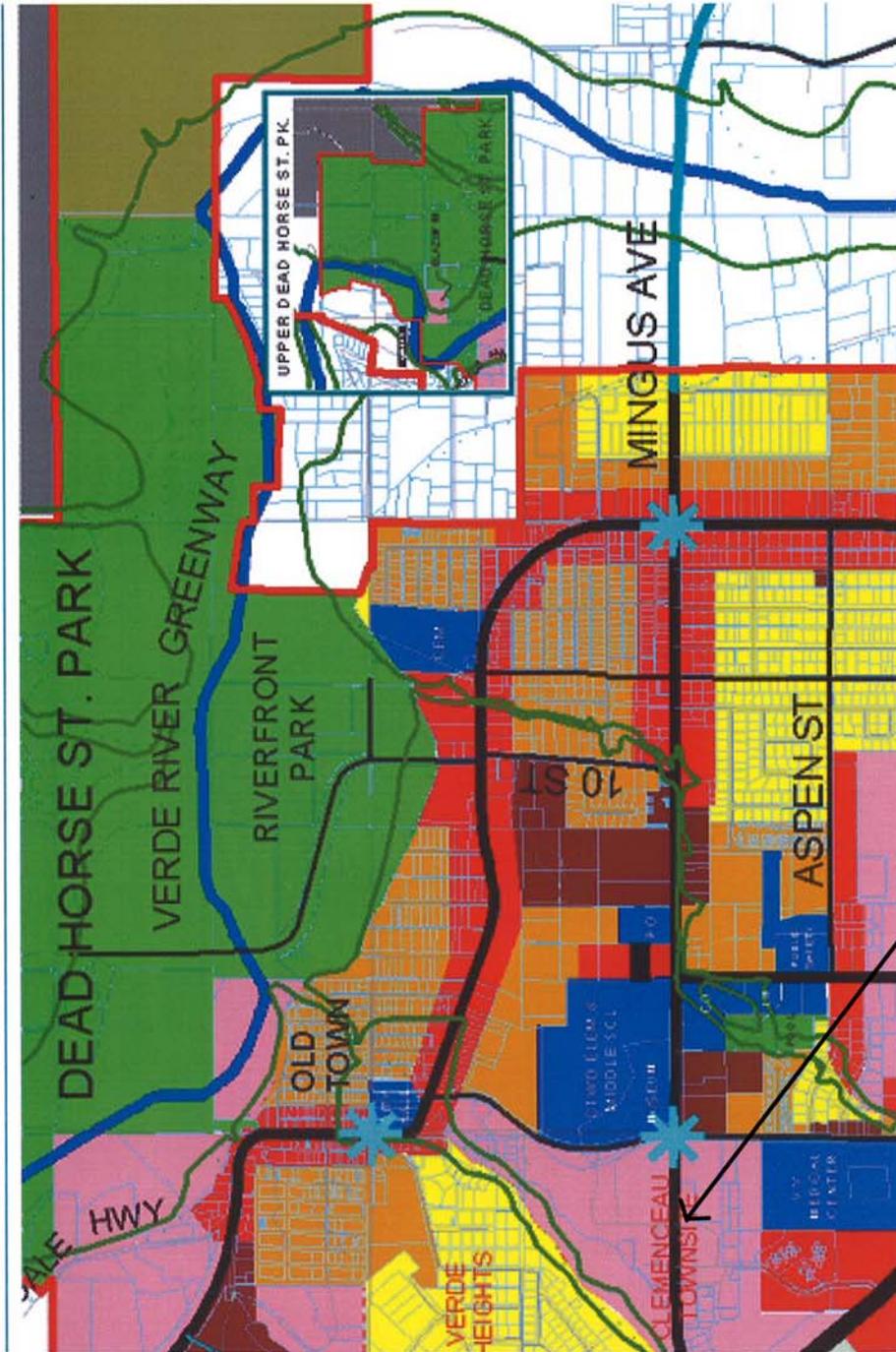
“The General Plan can reduce infrastructure costs related to new development by encouraging focused development and development of the highest densities in locations where infrastructure is already available.”

In addition, Highland Square will adhere to the objectives related to the collection of certain impact fees associated with the development.

Conceptual Site Development Plan

Vicinity Map

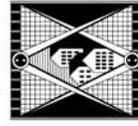
- LAND USE KEYS**
- RESIDENTIAL / LOW DENSITY
 - RESIDENTIAL / MED. DENSITY
 - RESIDENTIAL / HIGH DENSITY
 - COMMERCIAL
 - INDUSTRIAL
 - PERFORMANCE COMM / IND.
 - PLANNED DEVELOPMENT
 - PUBLIC / INSTITUTIONAL
 - PUBLIC LAND USE
 - PARKS / OS
 - TRAILS OVERLAY
 - FOCUS AREAS



HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA

WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste. 103
 Chandler, Arizona 85226-7532
 (602)265-1891



ARCHITECTURE AND PLANNING

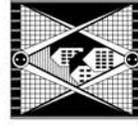


Aerial Photo Map



**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
57 West Chandler Avenue, Ste. 103
Chandler, Arizona 85225-1532
(602)265-1891



ARCHITECTURE AND PLANNING

1114
COPYRIGHT WHITNEYBELL PERRY INC
15 Mar 2011

AERIAL MAP

Photographic Exhibits



VIEW LOOKING NORTH



VIEW LOOKING EAST



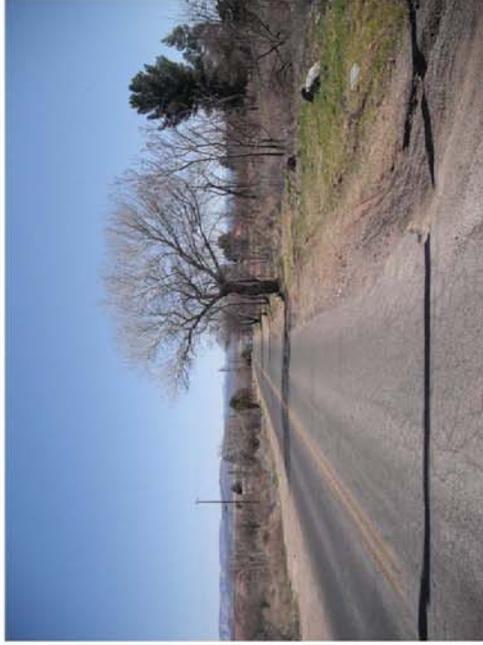
VIEW LOOKING SOUTH



VIEW LOOKING WEST



VIEW LOOKING SOUTH DOWN CANDY LN



VIEW LOOKING EAST DOWN MINGUS AVE

HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA
114

COPYRIGHT WHITNEYBELL PERRY INC
10 MAR 2011

SITE CONTEXT BOARD

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)955-1881



ARCHITECTURE AND PLANNING

Plans and Renderings



HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

PERSPECTIVE RENDERING
PRELIMINARY

Contractor must verify all dimensions of project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect. No part of these drawings or specifications shall be used by anyone in any other project for addition to this project or for completion of this project by others except by the expressed written permission of the Architect.

© Copyright, Whitneybell Perry Inc 2011

PROJECT DATA

DEVELOPERS:
 CAMPBELL-HOGUE & ASSOCIATES, INC
 2223 112TH AVE., NE
 SUITE 102
 BELLEVUE, WA 98004
 CONTACT: TERRY N. CAMPBELL
 PHONE: (425) 455-3879
 FAX: (425) 454-3468

FOUNDATION FOR SENIOR LIVING
 1201 E. THOMAS RD
 PHOENIX, AZ 85014
 CONTACT: STEPHEN L. HASTINGS
 PHONE: (602) 285-0505
 FAX: (602) 285-0225

GENERAL CONTRACTOR:
 CHDA CONSTRUCTION
 23021 N 15TH AVE, SITE 106
 PHOENIX, AZ 85027
 CONTACT: RON DENISLEY
 PHONE: (623) 784-6590
 FAX: (623) 321-1473

ARCHITECT:
 WHITNEYBELL PERRY INC
 575 W. CHANDLER BLVD, SUITE 123
 CHANDLER, AZ 85223
 ARCHITECT: MICHAEL PERRY AIA AZ REG #21410
 PHONE: (602) 265-1891
 FAX: (480) 821-0148

SITE DATA

ADDRESS: SEC MINGUS AVE, CANDY LN COTTONWOOD, AZ

APN NUMBER: 406-32-022F
 SITE AREA (GROSS): APPROX. 2.78 ACRES (121,097 S.F.)

APPROVED ZONING: R-1
 PROPOSED ZONING: R-3 PAD
 PROPOSED USE: MULTIFAMILY SENIOR COMMUNITY

BUILDING HEIGHT: 2 1/2 STORIES, 35'-0"
 ALLOWED: 3 STORIES, 40'-0"

DENSITY (GROSS): 29 D.U. x 2.78 ACRES = 81 D.U. MAX
 PROVIDED: 60 UNITS/2.78 ACRES = 22 D.U./ACRE

LOT COVERAGE (NET) ALLOWED: 40%
 PROVIDED: 25,081

OPEN SPACE MIN. ALLOWED: 30%
 PROVIDED: 27,501

PAVED PARKING AREA: 160
 POOL RAMADA: 160
 PROVIDED: 32,693/121,097 = 27%

OPEN SPACE PROVIDED: 52,742
 121,097-52,742/121,097 = 56%

UNIT MIX

UNIT TYPE	# OF UNITS
1 BEDROOM UNIT	50
2 BEDROOM UNIT	
TOTAL UNITS	60

APPROX BUILDING AREA

TOTAL	70,858± S.F.
-------	--------------

PARKING REQUIRED:

REQUIREMENT	# QTY	SPACES REQ'D
1 PER 2 BEDS	68	= 34 P.S.
1 PER 2 NON-RESIDENT EMPLOYEES	3	= 2 P.S.
TOTAL		36 P.S.

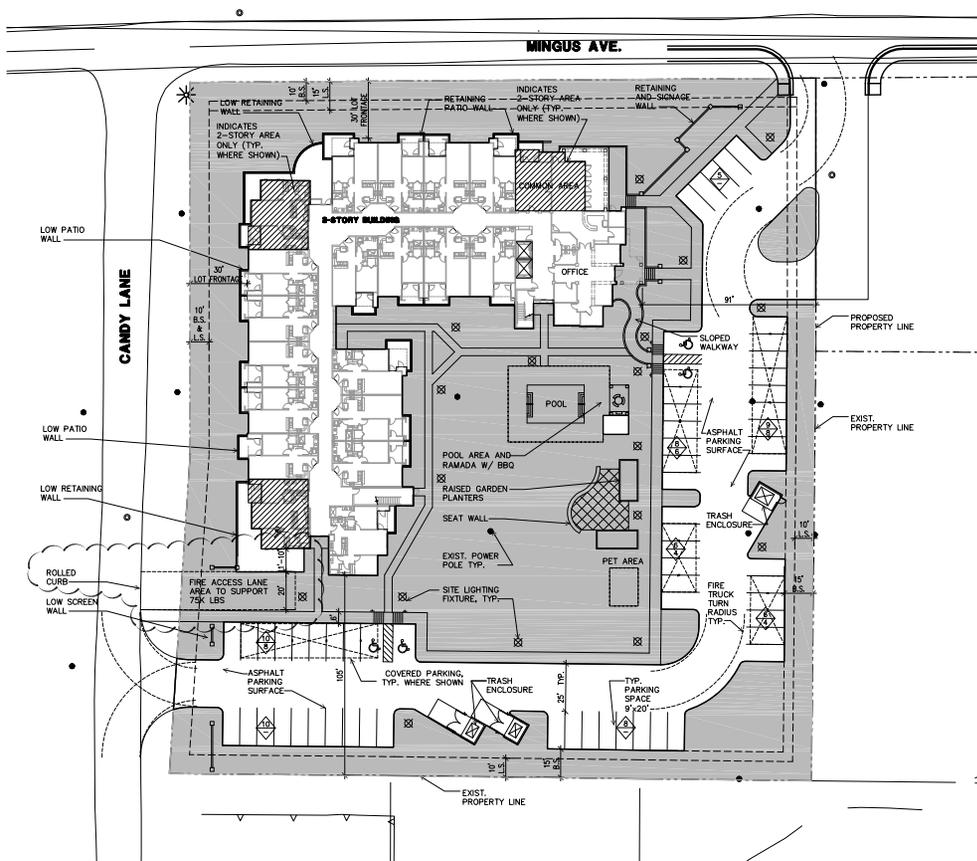
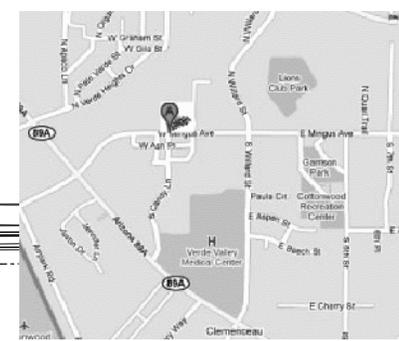
OPEN (UNCOVERED) =
 COVERED (BY CARPORTS) =

ACCESSIBLE PARKING

TOTAL	4 SPACES
REQUIRED:	4 SPACES
PROVIDED:	4 SPACES

LEGEND

- ♿ DENOTES ACCESSIBLE PARKING
- P DENOTES NUMBER OF PARKING SPACES
- ⌂ DENOTES NUMBER OF COVERED PARKING
- DENOTES PROPERTY LINE
- ⦿ DENOTES FIRE HYDRANT
- DENOTES OPEN SPACE



PRELIMINARY BUILDING AREAS

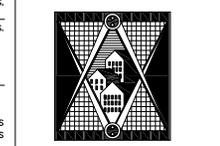
FLOOR	A1	B3	TOTAL	NET LIVABLE UNIT A1	NET LIVABLE UNIT B3	NET LIVABLE PER FLOOR	NET PATIO/BALC PER FLOOR	NET CORRIDOR	NET COMMON AREA	TOTAL NET AREA	APPROX GROSS BLDG AREA
FIRST FLOOR	16	3	19	11,752	2,850	14,642	1,158	3,496	3,551	22,847	25,081
SECOND FLOOR	17	5	22	12,529	4,750	17,279	1,321	3,551	--	22,151	24,490
THIRD FLOOR	17	2	19	12,529	1,900	14,429	1,171	3,490	--	18,090	21,287
	50	10	60	36,850	9,500	46,350	3,650	10,537	3,551	64,088	70,858



HIGHLAND SQUARE SENIOR APARTMENTS
 COTTONWOOD, ARIZONA



WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste 123
 Chandler, Arizona 85225-7532
 (602)265-1891



1.10
 1114

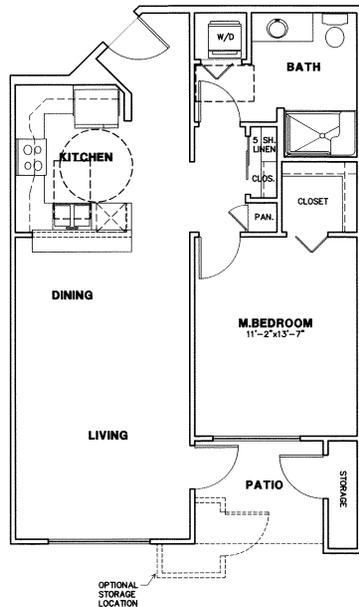
COPYRIGHT WHITNEYBELL PERRY INC
 30 Mar 2011

SITE PLAN PRELIMINARY

K:\0915114_Cottonwood Senior Apartments\perry\03061114 site plan.dwg 2/7/2011 9:57 AM dmh

Contractor must verify all dimensions of project before proceeding with this work. Do not modify these drawings and specifications without the written approval of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect, whether the project for which they are made is executed or not. These drawings and specifications shall not be used for any other project, for addition to this project, or for revision of this project by others except by the consent of the architect or his architect.

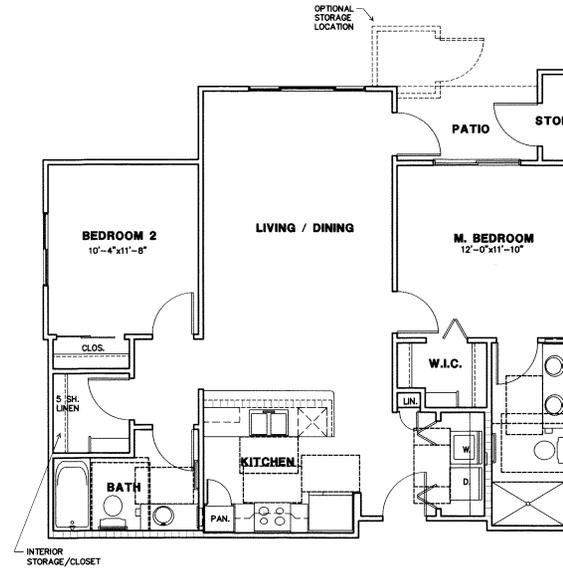
© Copyright Whitneybell Perry Inc. 2011



UNIT A1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVABLE NET: 737 SF
STORAGE: 23 SF
BALCONY: 63 SF
UNIT NET TOTAL: 867 SF



UNIT B1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

LIVABLE NET: 950 S.F.
STORAGE: 12 S.F.
BALCONY: 50 S.F.
UNIT NET TOTAL: 1,012 S.F.

HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA



Expires 12/31/2012

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

2.10

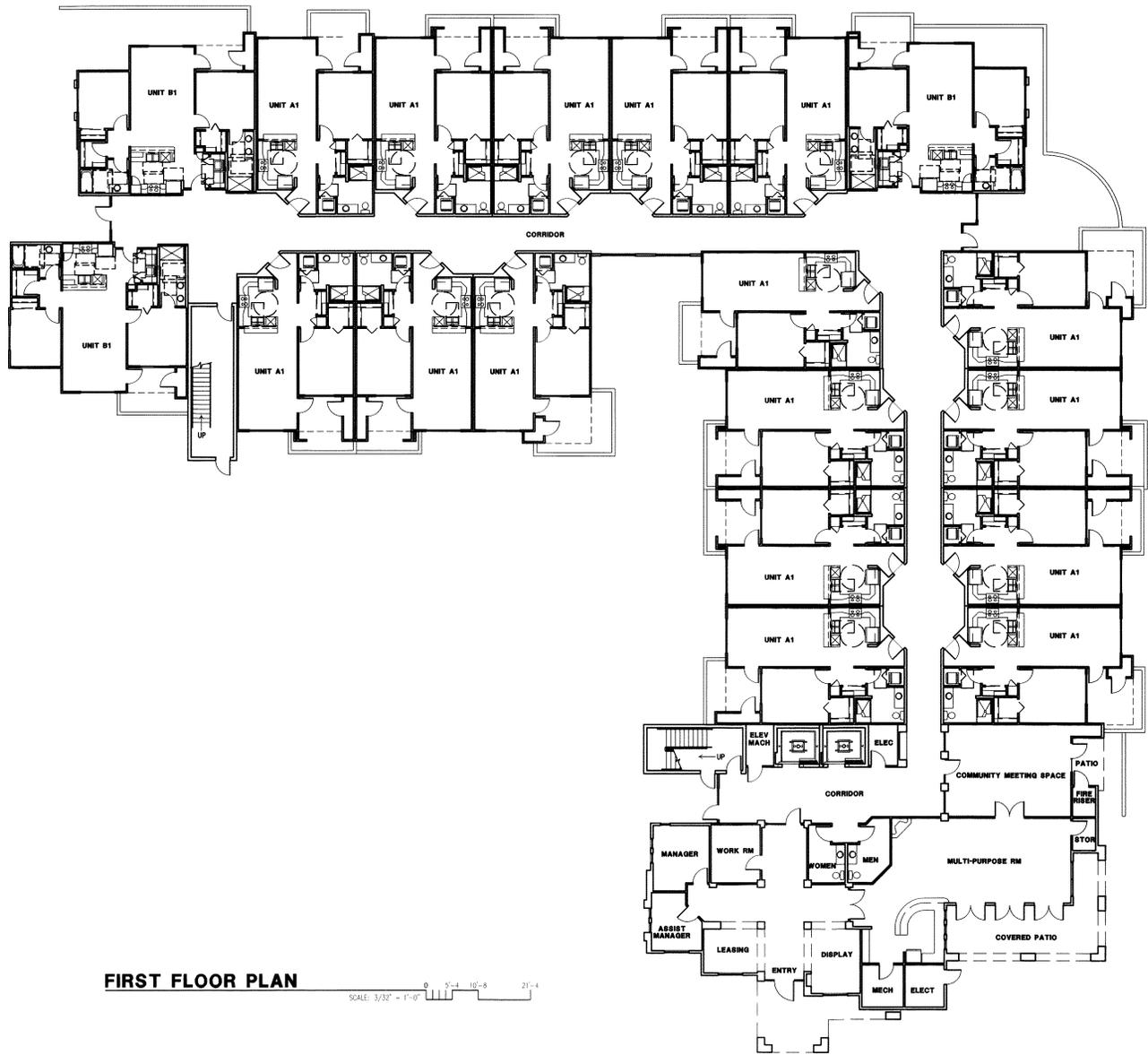
1114

COPYRIGHT WHITNEYBELL PERRY INC
16 Mar 2011

UNIT PLANS
PRELIMINARY

Contractor must verify all dimensions of project before proceeding with this work. Do not override these drawings and specifications without the necessary written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect. Whether the project for which they are made is executed or not. These drawings and specifications shall not be used for any other projects, for addition to this project, or for completion of this project by others except by the architect, written consent of the architect.

© Copyright, WhitneyBell Perry Inc 2011



FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA



WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

3.10

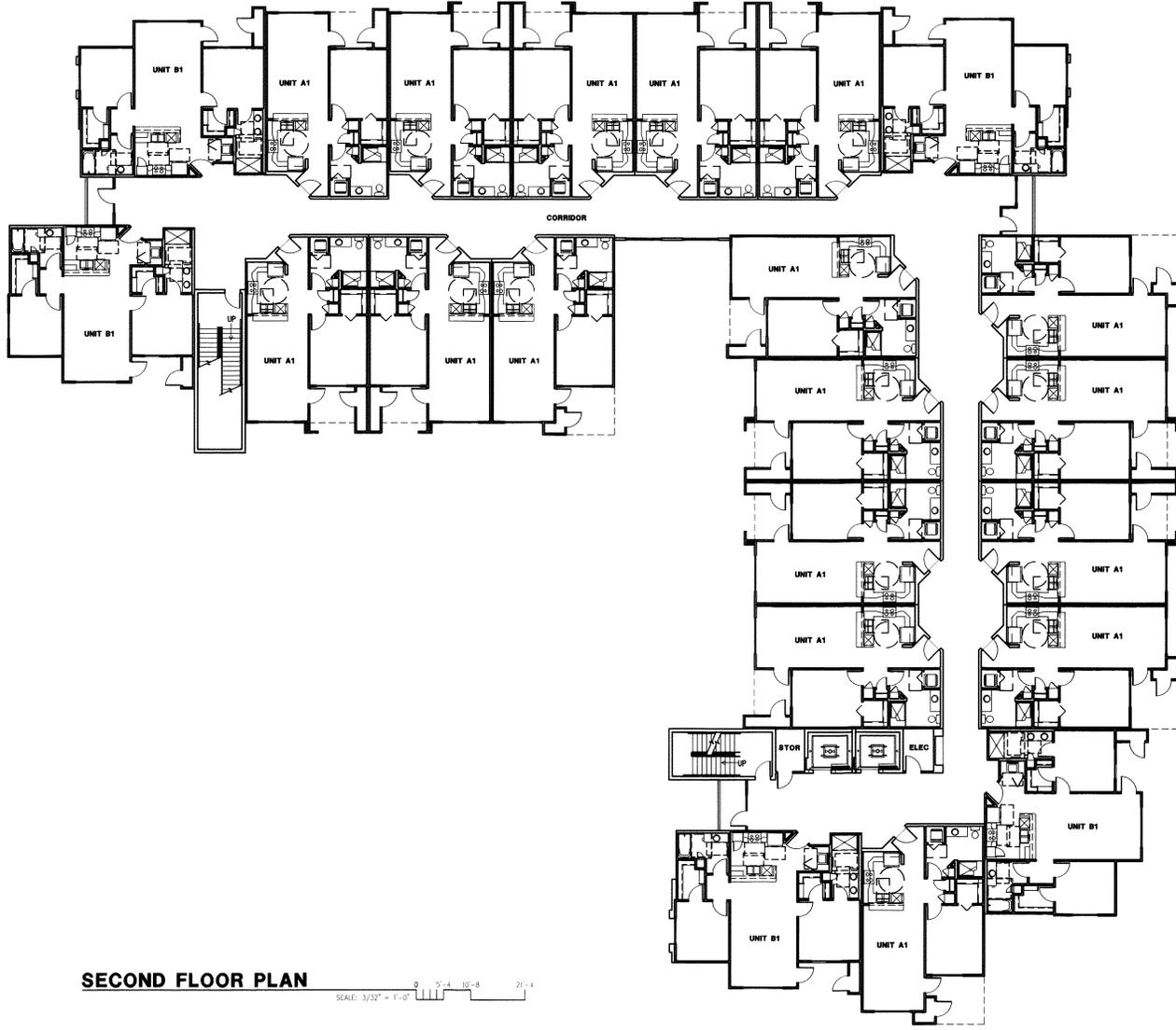
1114

COPYRIGHT WHITNEYBELL PERRY INC
16 Mar 2011

**FIRST FLOOR PLAN
PRELIMINARY**

Contractor must verify all dimensions of project before proceeding with this work. Do not increase these dimensions and specifications without the written written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for other or any other projects, for addition to this project, or for completion of this project by others without the written consent of the architect.

© Copyright WhitneyBell Perry Inc. 2011



SECOND FLOOR PLAN
 SCALE: 3/32" = 1'-0"
 0 5'-4" 10'-8" 21'-4"

HIGHLAND SQUARE SENIOR APARTMENTS
 COTTONWOOD, ARIZONA



WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste 123
 Chandler, Arizona 85225-7532
 (602)265-1891



ARCHITECTURE AND PLANNING

3.11
 1114

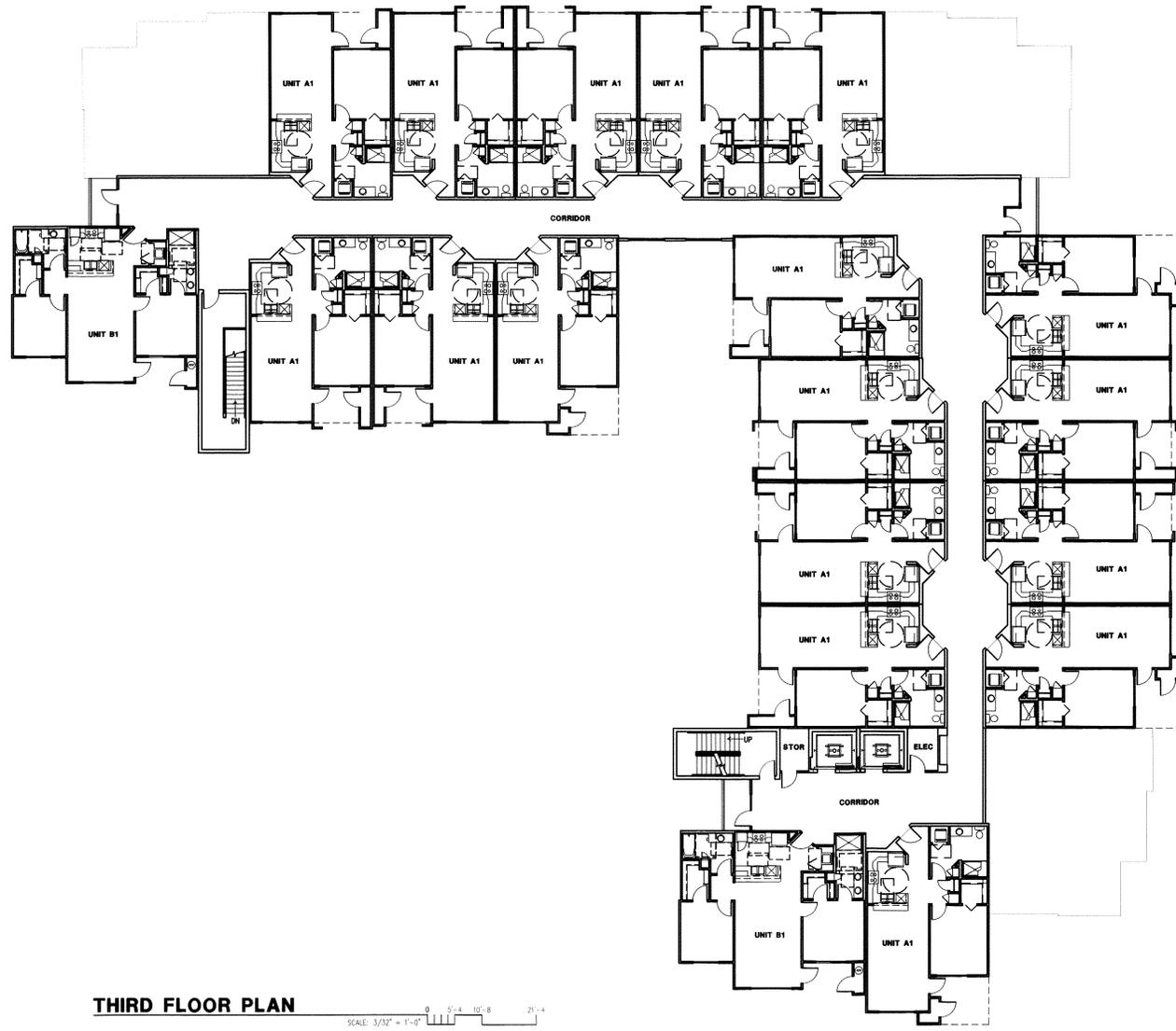
COPYRIGHT WHITNEYBELL PERRY INC
 16 Mar 2011

SECOND FLOOR PLAN PRELIMINARY

K:\04\1114 Cottonwood Senior Apartments\WhitneyBell\2nd floor plan\1114_3.10.dwg (Rev. 27/03/2011) 11:27 AM 3046

Contractor must verify all dimensions of project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for any other project, or addition to this project, or for completion of this project by others except by the express written permission of the architect.

© Copyright WhitneyBell Perry Inc 2011



THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA



Expires 12/31/2012

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

3.12

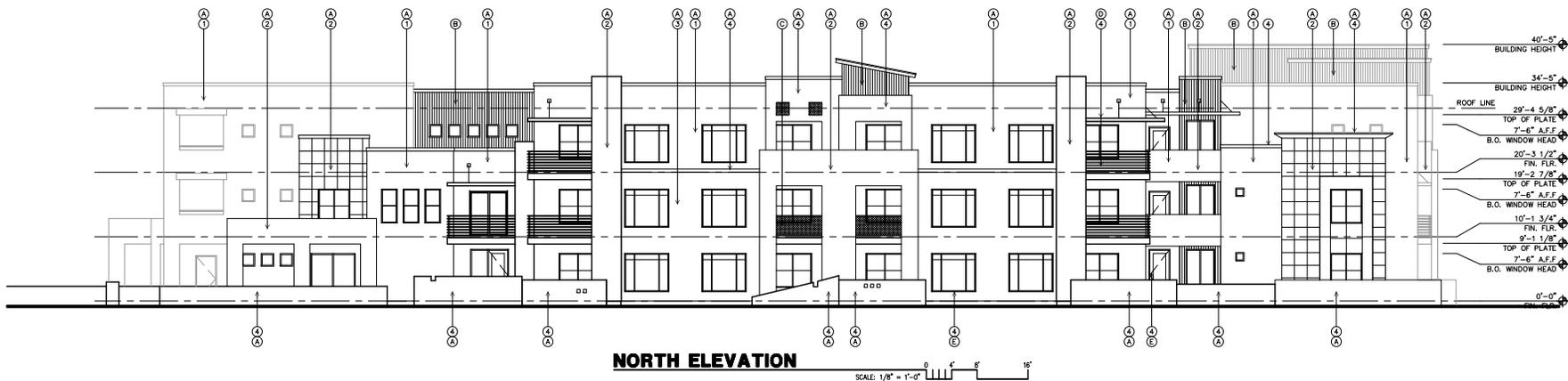
1114

COPYRIGHT WHITNEYBELL PERRY INC
16 Mar 2011

**THIRD FLOOR PLAN
PRELIMINARY**

K:\DWG\1114_Governor's Senior Apartments\3rd Floor.dwg (114_3.12.dwg) 27/03/2011 9:37 AM User

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written consent of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect under the terms of the contract. No part of these drawings or specifications shall be used for any other project or for any other purpose without the written consent of the Architect. © Copyright Whitneybell Perry Inc. 2011



- 42'-5" BUILDING HEIGHT
- 34'-5" BUILDING HEIGHT
- ROOF LINE
- 29'-4 5/8" TOP OF PLATE
- 7'-6" A.F.F. B.O. WINDOW HEAD
- 20'-3 1/2" FIN. FLR.
- 19'-2 7/8" TOP OF PLATE
- 7'-6" A.F.F. B.O. WINDOW HEAD
- 10'-1 3/4" FIN. FLR.
- 9'-1 1/8" TOP OF PLATE
- 7'-6" A.F.F. B.O. WINDOW HEAD
- 0'-0" FIN. FLR.

HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA



- 34'-5" BUILDING HEIGHT
- ROOF LINE
- 29'-4 5/8" TOP OF PLATE
- 7'-6" A.F.F. B.O. WINDOW HEAD
- 20'-3 1/2" FIN. FLR.
- 19'-2 7/8" TOP OF PLATE
- 7'-6" A.F.F. B.O. WINDOW HEAD
- 10'-1 3/4" FIN. FLR.
- 9'-1 1/8" TOP OF PLATE
- 7'-6" A.F.F. B.O. WINDOW HEAD
- 0'-0" FIN. FLR.



WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste 123
 Chandler, Arizona 85225-7532
 (602)265-1891



ARCHITECTURE AND PLANNING

4.10

1114

COPYRIGHT WHITNEYBELL PERRY INC
 21 Mar 2011

EXTERIOR ELEVATIONS
 PRELIMINARY

EXTERIOR FINISH SCHEDULE:

①	MAIN BODY COLOR	DUNN EDWARDS DE157 BISQUE TAN
②	ACCENT BODY COLOR	DUNN EDWARDS DE194 NATURAL BRIDGE
③	ACCENT BODY COLOR	DUNN EDWARDS DE193 BAMBOO SCREEN
④	ACCENT BODY COLOR & TRIM	DUNN EDWARDS DEW383 COOL DECEMBER
⑤	3 COAT STUCCO SYSTEM & POP-OUT'S WITH LIGHT SPANISH LACE FINISH	
⑥	PRE-FINISHED CORRUGATED METAL PANELING	
⑦	PRE-FINISHED PERFORATED METAL PANELING	
⑧	METAL WORK	
⑨	ALUMINUM FRAMED WINDOW AND DOORS - CLEAR INSULATED GLASS	
⑩	METAL AWNING WITH PERFORATED METAL PANEL	

GENERAL NOTES:

ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACK-FLOW DEVICES AND ANY OTHER UTILITY EQUIPMENT, NOT ABLE TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.

ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.

ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**

COTTONWOOD, ARIZONA



WEST ELEVATION

SCALE: 1/8" = 1'-0"

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

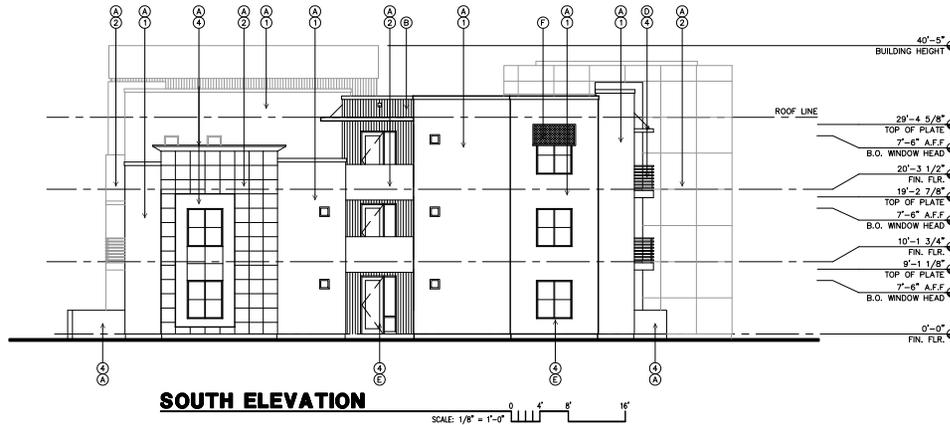
4.10
1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**EXTERIOR ELEVATIONS
PRELIMINARY**

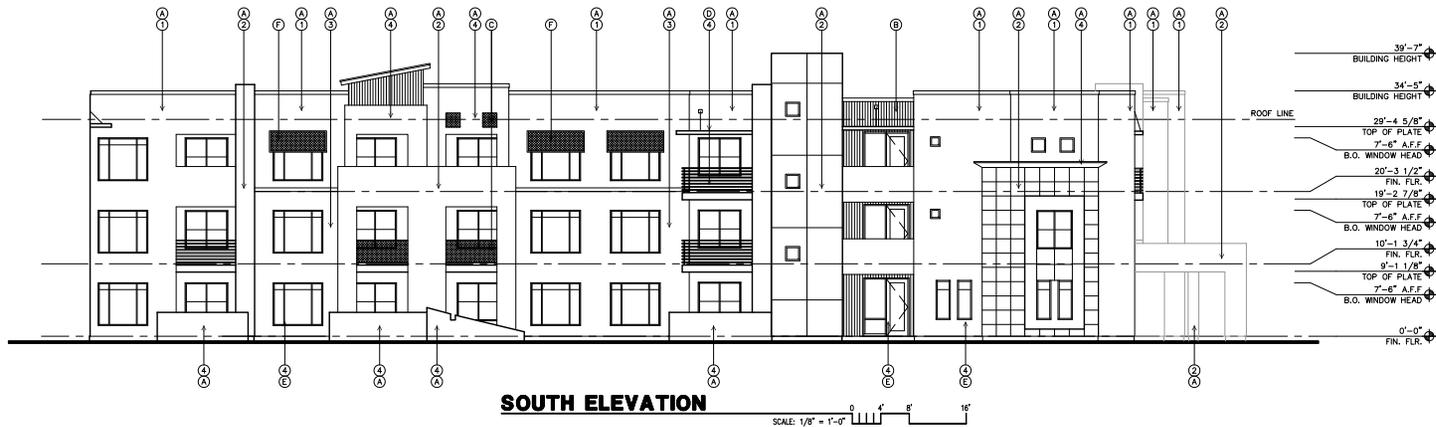
NOTE:
LANDSCAPING SHOWN IS FOR ARTISTIC PURPOSES ONLY. PLEASE
REFER TO LANDSCAPING DRAWINGS FOR ACTUAL LOCATIONS, SPECIES
AND GROUND COVERINGS.

Contractor must verify all dimensions of project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the Architect. The drawings and specifications are instruments of service and shall remain the property of the Architect. No part of this project or which they are made a material of art. These drawings and specifications shall not be used for any other project or for any other purpose without the written consent of the Architect. © Copyright WhitneyBell Perry Inc 2011



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE:

①	MAIN BODY COLOR	DUNN EDWARDS DE6157 BISQUE TAN
②	ACCENT BODY COLOR	DUNN EDWARDS DE6194 NATURAL BRIDGE
③	ACCENT BODY COLOR	DUNN EDWARDS DE6193 BAMBOO SCREEN
④	ACCENT BODY COLOR & TRIM	DUNN EDWARDS DEW383 COOL DECEMBER
⑤	3 COAT STUCCO SYSTEM & POP-OUT'S WITH LIGHT SPANISH LACE FINISH	
⑥	PRE-FINISHED CORRUGATED METAL PANELING	
⑦	PRE-FINISHED PERFORATED METAL PANELING	
⑧	METAL WORK	
⑨	ALUMINUM FRAMED WINDOW AND DOORS CLEAR INSULATED GLASS	
⑩	METAL AWNING WITH PERFORATED METAL PANEL	

GENERAL NOTES:

ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACK-FLOW DEVICES AND ANY OTHER UTILITY EQUIPMENT, NOT ABLE TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.

ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.

ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.

HIGHLAND SQUARE SENIOR APARTMENTS
COTTONWOOD, ARIZONA



Expires 12/31/2012

WHITNEYBELL PERRY INC

1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

4.11
1114

COPYRIGHT WHITNEYBELL PERRY INC
21 Mar 2011

EXTERIOR ELEVATIONS PRELIMINARY



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

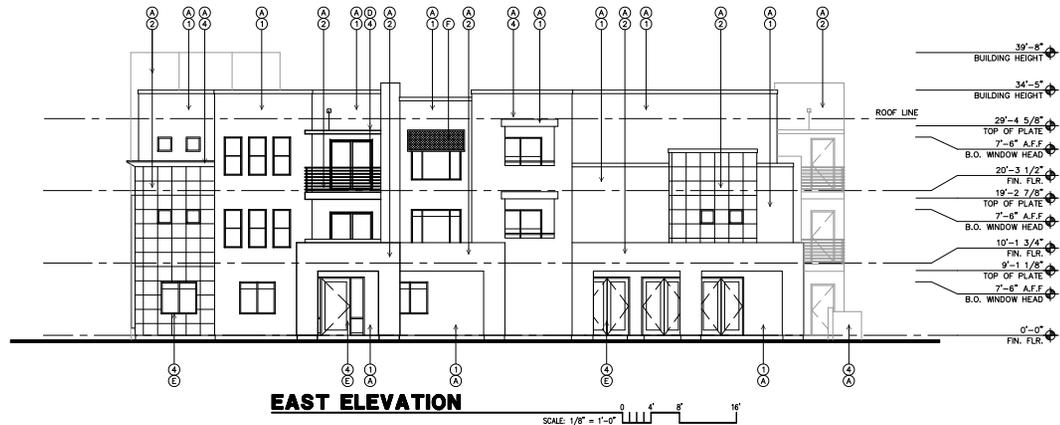
4.11
1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**EXTERIOR ELEVATIONS
PRELIMINARY**

NOTE:
LANDSCAPING SHOWN IS FOR ARTISTIC PURPOSES ONLY. PLEASE
REFER TO LANDSCAPING DRAWINGS FOR ACTUAL LOCATIONS, SPECIES
AND GROUND COVERINGS.

Contractor must verify all dimensions of project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect. No part of these drawings or specifications shall be used or reproduced in any way without the written consent of the architect. Copyright © WhitneyBell Perry Inc. 2011

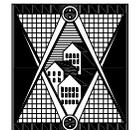


HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA



WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste 123
 Chandler, Arizona 85225-7532
 (602)265-1891



ARCHITECTURE AND PLANNING

4.12
1114

COPYRIGHT WHITNEYBELL PERRY INC
21 Mar 2011

EXTERIOR ELEVATIONS PRELIMINARY

EXTERIOR FINISH SCHEDULE

① MAIN BODY COLOR	DUNN EDWARDS DE6157 BISQUE TAN
② ACCENT BODY COLOR	DUNN EDWARDS DES194 NATURAL BRIDGE
③ ACCENT BODY COLOR	DUNN EDWARDS DE6193 BAMBOO SCREEN
④ ACCENT BODY COLOR & TRIM	DUNN EDWARDS DEW383 COOL DECEMBER
⑤ 3 COAT STUCCO SYSTEM & POP-OUTS WITH LIGHT SPANISH LAZE FINISH	
⑥ PRE-FINISHED CORRUGATED METAL PANELING	
⑦ PRE-FINISHED PERFORATED METAL PANELING	
⑧ METAL WORK	
⑨ ALUMINUM FRAMED WINDOW AND DOORS. CLEAR INSULATED GLASS	
⑩ METAL AWNING WITH PERFORATED METAL PANEL	

GENERAL NOTES:

ALL TRANSFORMER BOXES, METER PANELS AND ELECTRIC EQUIPMENT, BACK-FLOW DEVICES AND ANY OTHER UTILITY EQUIPMENT, NOT ABLE TO BE SCREENED BY LANDSCAPING OR WALLS SHALL BE PAINTED TO MATCH THE BUILDING COLOR.

ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY PARAPET WALLS EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT.

SOLID MASONRY WALLS AND GATES EQUAL TO, OR GREATER THAN, THE HIGHEST POINT ON THE MECHANICAL EQUIPMENT SHALL SCREEN ALL GROUND MOUNTED MECHANICAL EQUIPMENT.

ALL EXTERNAL LIGHTING SHALL BE LOCATED AND DESIGNED TO PREVENT RAYS FROM BEING DIRECTED OFF OF THE PROPERTY UPON WHICH THE LIGHTING IS LOCATED.



EAST ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**

COTTONWOOD, ARIZONA

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

4.12

1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**EXTERIOR ELEVATIONS
PRELIMINARY**

NOTE:
LANDSCAPING SHOWN IS FOR ARTISTIC PURPOSES ONLY. PLEASE
REFER TO LANDSCAPING DRAWINGS FOR ACTUAL LOCATIONS, SPECIES
AND GROUND COVERINGS.



WEST ELEVATION

SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA



① ① (A)



② ① (A)



③ ① (A)



④ ① (A) ① (D)



③ ① (F)



③ (B)



③ (E)

EXTERIOR FINISH SCHEDULE:

①	MAIN BODY COLOR	DUNN EDWARDS DE6157 BISQUE TAN
②	ACCENT BODY COLOR	DUNN EDWARDS DE6194 NATURAL BRIDGE
③	ACCENT BODY COLOR	DUNN EDWARDS DE6193 BAMBOO SCREEN
④	ACCENT BODY COLOR & TRIM	DUNN EDWARDS DEW383 COOL DECEMBER
① (A)	3 COAT STUCCO SYSTEM & POP-OUT'S WITH LIGHT SPANISH LACE FINISH	
① (B)	PRE-FINISHED CORRUGATED METAL PANELING	
① (C)	PRE-FINISHED PERFORATED METAL PANELING	
① (D)	METAL WORK	
① (E)	ALUMINUM FRAMED WINDOW AND DOORS. CLEAR INSULATED GLASS	
① (F)	METAL AWNING WITH PERFORATED METAL PANEL	

NOTE:

* BUILDING PALETTE LOCATIONS AND SELECTIONS ARE SUBJECT TO CHANGE DURING PROJECT DESIGN DEVELOPMENT AND/OR PROJECT PRICING.

** COLORS ARE REPRESENTATIONS OF ACTUAL COLORS. COLOR CHIPS ARE AVAILABLE UPON REQUEST.

*** BUILDING MATERIALS ARE REPRESENTATIONS OF DESIGN INTENT. MANUFACTURERS AND MODEL NUMBERS ARE SUBJECT TO CHANGE.

WHITNEYBELL PERRY INC
1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 113
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING

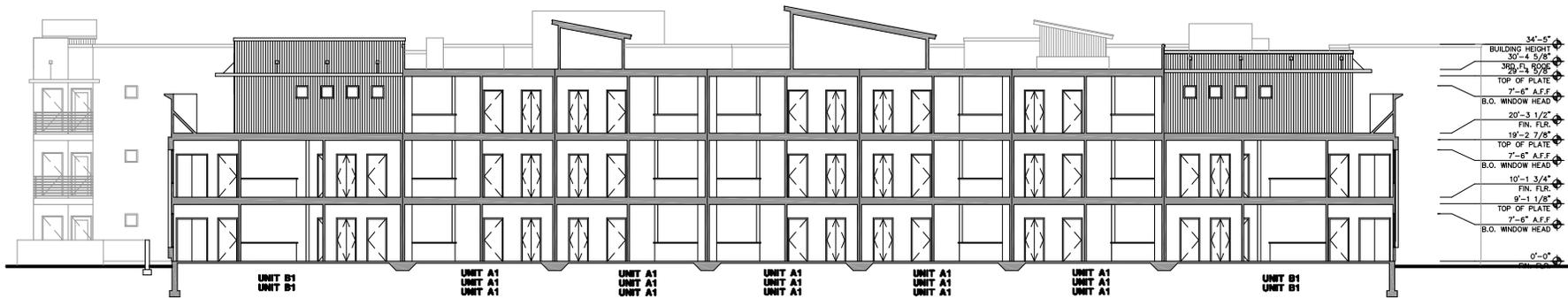
1114

COPYRIGHT WHITNEYBELL PERRY INC
10 Mar 2011

**MATERIAL BOARD
PRELIMINARY**

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect. No part of this drawing or specification shall be used by anyone in any project for which they are made to answer or act. These drawings and specifications shall not be used by anyone in any project for which they are made to answer or act without the expressed written consent of the architect.

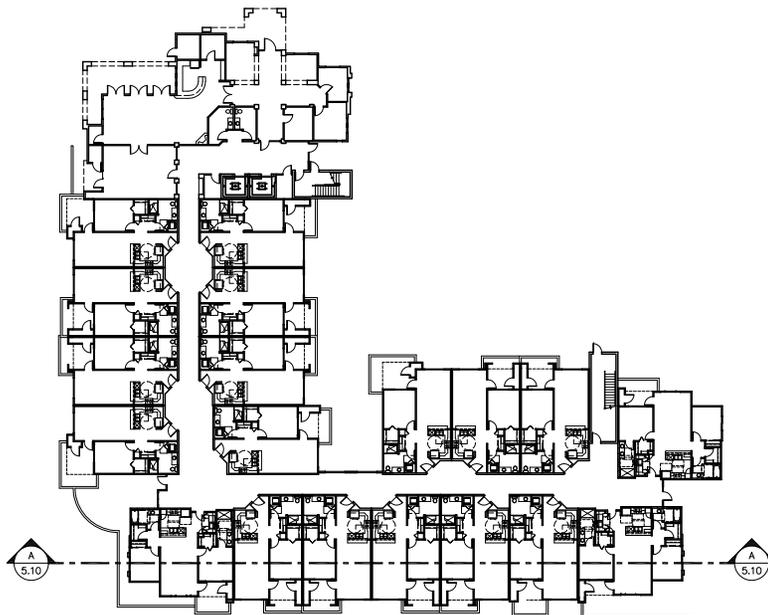
© Copyright WhitneyBell Perry Inc 2011



CROSS SECTION A-A

SCALE: 1/8" = 1'-0"

**HIGHLAND
SQUARE
SENIOR
APARTMENTS**
COTTONWOOD, ARIZONA



KEY PLAN

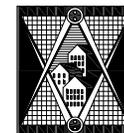
SCALE: 1" = 20'-0"



Expires 12/31/2012

WHITNEYBELL PERRY INC

1102 East Missouri Avenue
Phoenix, Arizona 85014-2784
575 West Chandler Avenue, Ste 123
Chandler, Arizona 85225-7532
(602)265-1891



ARCHITECTURE AND PLANNING



5.10

1114

COPYRIGHT WHITNEYBELL PERRY INC

21 Mar 2011

**CROSS SECTION
PRELIMINARY**

Contractor must verify all dimensions at project before proceeding with this work. Do not reproduce these drawings and specifications without the expressed written permission of the architect. The drawings and specifications are instruments of service and shall remain the property of the architect whether the project for which they are made is executed or not. These drawings and specifications shall not be used for any other project, or modified in any way, without the written consent of the architect.

© Copyright Whitteybell Perry Inc 2011

phillip r. ryan
 landscape architect p.c.
 landscape architecture & planning
 575 w. chandler blvd., suite 229
 chandler, arizona 85225
 (480) 899-5813 fax (480) 963-5874

HIGHLAND SQUARE SENIOR APARTMENTS

COTTONWOOD, ARIZONA



WHITNEYBELL PERRY INC
 1102 East Missouri Avenue
 Phoenix, Arizona 85014-2784
 575 West Chandler Avenue, Ste 123
 Chandler, Arizona 85225-7532
 (602) 265-1891



ARCHITECTURE AND PLANNING

L-1
1114

COPYRIGHT WHITNEYBELL PERRY INC

LANDSCAPE PLAN PRELIMINARY

PLANT SCHEDULE:

	PINUS HALAPENSIS ALEPPO PINE	15 GALLON MINIMUM 6' HT., 3.5' SP., 1" CAL.	43 TOTAL
	LILIUM PARVIFOLIA EVERGREEN ELM	15 GALLON MINIMUM 7' HT., 3' SP., 1" CAL.	16 TOTAL
	FRAXINUS VELUTINA MODESTO ASH	15 GALLON MINIMUM 7' HT., 3' SP., 1" CAL.	10 TOTAL
	PRUNUS CERASIFERA "AUTOPURPUREA" FLOWERING PURPLE-LEAF PLUM	15 GALLON MINIMUM 7' HT., 3' SP., 1" CAL.	17 TOTAL
	MALUS FLOWERING CRABAPPLE	15 GALLON MINIMUM 7' HT., 3' SP., 1" CAL.	6 TOTAL
	PHOTINIA SERRULATA CHINESE PHOTINIA	5 GALLON MINIMUM FULL, PAST CAN	53 TOTAL
	SALVIA GREGGII AUTUMN SAGE	5 GALLON MINIMUM FULL, PAST CAN	36 TOTAL
	PITTOSPORUM TOBIRA PITTOSPORUM	5 GALLON MINIMUM FULL, PAST CAN	10 TOTAL
	NANDINA DOMESTICA HEAVENLY BAMBOO	5 GALLON MINIMUM FULL, PAST CAN	20 TOTAL
	JUNIPERUS SABINA "BUFFALO" BUFFALO JUNIPER	5 GALLON MINIMUM FULL, PAST CAN	133 TOTAL
	JUNIPERUS CHINENSIS "MINT JULEP" MINT JULEP JUNIPER	5 GALLON MINIMUM FULL, PAST CAN	83 TOTAL
	JUNIPERUS CHINENSIS HORIZONTALIS SPREADING JUNIPER	5 GALLON MINIMUM FULL, PAST CAN	121 TOTAL
	COTONEASTER DIVARIGATA SPREADING COTONEASTER	5 GALLON MINIMUM FULL, PAST CAN	52 TOTAL
	COTONEASTER HORIZONTALIS ROCK COTONEASTER	5 GALLON MINIMUM FULL, PAST CAN	28 TOTAL
	SODDED LAWN		7,420 S.F.
	DECOMPOSED GRANITE		56,190 S.F.

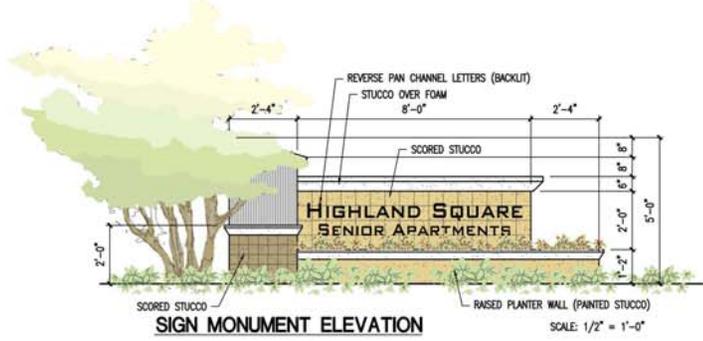
PLAN KEY NOTES:

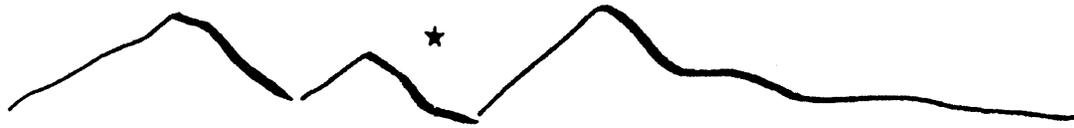
- 1 SODDED LAWN
- 2 6"x6" CONCRETE HEADER
- 3 2" DEEP, 3/4" SCREENED DECOMPOSED GRANITE
- 4 DECORATIVE SEAT WALL
- 5 RAISED GARDEN PLANTERS
- 6 POOL AREA, RAMADA & B-B-Q
- 7 LOW RETAINING WALL
- 8 DECORATIVE SCREEN WALL
- 9 NEW SIGN WALL (SEE ELEVATION BELOW)
- 10 FIRE ACCESS LANE TO SUPPORT 75,000 LBS. (2" DEEP DECOMPOSED GRANITE OVER COMPACTED ABC PER SOILS REPORT)
- 11 AREA LIGHT



LANDSCAPE REQUIREMENTS:

- A. INTERIOR PROPERTY LINE LANDSCAPING:**
 REQUIRED: 10' WIDTH MINIMUM (660 L.F.)
 PROVIDED: 10' WIDTH MINIMUM
 REQUIRED TREES: 27 TREES (MIN. 15 GALLON SIZE)
 PROVIDED TREES: 27 TREES
 REQUIRED SHRUBS: 81 SHRUBS 5 GAL. 5 GALLON SIZE
 PROVIDED SHRUBS: 81 SHRUBS
- B. PARKING LOT LANDSCAPING:**
 REQUIRED TREES: 15 TREES (MIN. 15 GALLON SIZE)
 PROVIDED TREES: 15 TREES
 REQUIRED SHRUBS: 30 SHRUBS 5 GAL. 5 GALLON SIZE
 PROVIDED SHRUBS: 39 SHRUBS
- C. STREET FRONTAGE LANDSCAPING:**
 REQUIRED: 10' WIDTH MINIMUM (660 L.F.)
 PROVIDED: 10' WIDTH MINIMUM
 REQUIRED TREES: 27 TREES (MIN. 15 GALLON SIZE)
 PROVIDED TREES: 27 TREES
 REQUIRED SHRUBS: 81 SHRUBS 5 GAL. 5 GALLON SIZE
 PROVIDED SHRUBS: 88 SHRUBS
- D. BUILDING AREA LANDSCAPING:**
 REQUIRED: 5' WIDTH (870 L.F.)
 PROVIDED: 5' WIDTH
 REQUIRED TREES: 17 TREES
 PROVIDED TREES: 17 TREES

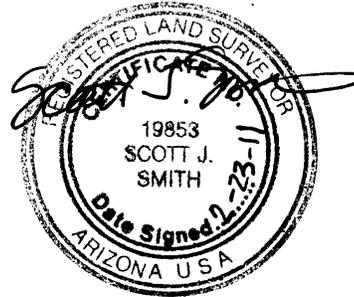




TRUE NORTH SURVEYS, INC.

Job #03026
SJS:ss
January 22, 2004

Mr. Tom Pender
Pender Engineering
1010 N. Main St
Cottonwood, AZ 86326



Expires: 06/30/2013

Re: Legal Description - **CANDY LANE & MINGUS AVENUE**

A parcel of land located in the SE $\frac{1}{4}$ of Section 33, T16N, R3E, G&SRB&M, Yavapai County, Arizona, more particularly described as follows:

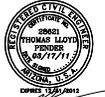
Commencing at the SE corner of the NE $\frac{1}{4}$ of said Section 33, from which the NE corner of said NE $\frac{1}{4}$ bears N01°37'18"E, a distance of 2641.68 feet; thence N01°37'18"E, along the east line of said NE $\frac{1}{4}$, a distance of 43.46 feet; thence S72°20'57"W, a distance of 57.50 feet; thence S89°29'13"W, a distance of 306.16 feet; thence S02°08'22"W, along an existing fence, a distance of 183.62 feet; thence N89°38'56"W, along the north line of the parcel of land described in Book 3343, Page 714, Official Records of Yavapai County, a distance of 341.29 feet and the TRUE POINT OF BEGINNING; thence S00°34'58"W, along the west line said of said parcel, a distance of 225.94 feet; thence N89°20'21"W, a distance of 90.37 feet; thence N89°15'31"W, a distance of 129.28 feet; thence N89°29'51"W, a distance of 118.25 feet; thence N03°43'05"E, along an east line of Candy Lane as described in Book 1813, Page 803, Yavapai County records, a distance of 167.61 feet; thence N00°02'02"W, along an east line of said Candy Lane, a distance of 196.19 feet; thence N89°35'58"E, along a south line of Mingus Avenue, as described in Book 389, Page 241, Yavapai County records, a distance of 330.89 feet to a $\frac{1}{2}$ " rebar with cap "LS #19853"; thence S00°34'58"W, a distance of 143.60 feet to the to the TRUE POINT OF BEGINNING.

The above described parcel contains 2.7878 acres more or less.

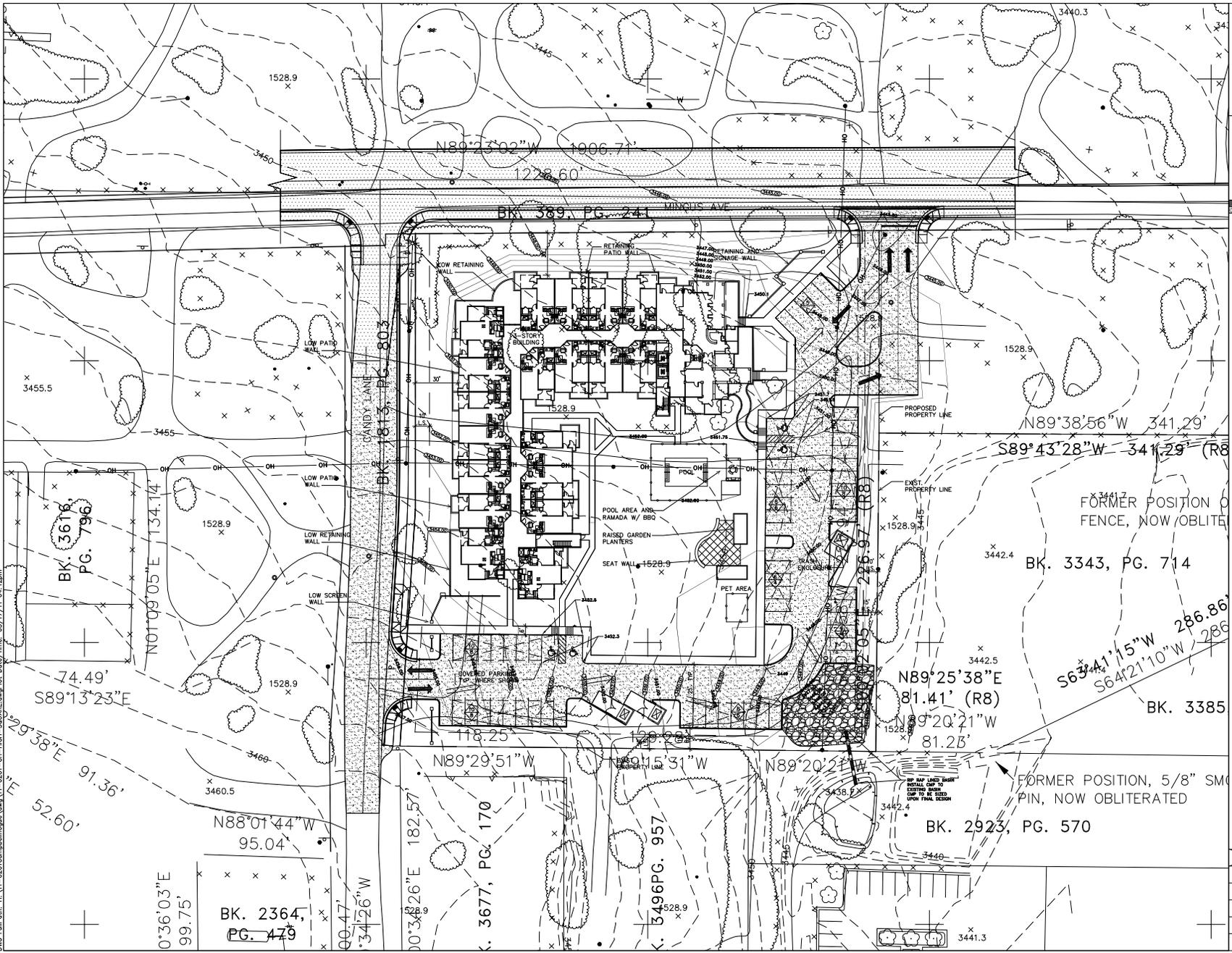
\\works\legals\11\11006a.wps



PENDER ENGINEERING
 Tom L. Pender, P.E.
 P.O. Box 1245
 Cottonwood, AZ 86326
 (928) 639-0776



SCALE: 1"=30' HORIZ.



**CONCEPTUAL GRADING
 AND DRAINAGE
 FOR
 HIGHLAND SQUARE
 SENIOR APARTMENTS**

LEGEND

FINISHED CONTOUR	---
EXISTING CONTOUR	- - - -
SPOT ELEVATION	XXXX
EX. OVERHEAD ELECTRIC	OH
DRAINAGE FLOW	→

	NAME	DATE
DESIGN	TLP	03-02-11
DRAWN	JJD	03-03-11
CHECKED	TLP	03-17-11
REVISED		

SITE PLAN

DWG File Path: H:\11-020\Comp\Highland\11-0201-Chi-High-Senior\DWG\Site.dwg Plot Date/Time: 03/17/11 04:18:58m



Jan-11

**Arizona Department of Housing
Low Income Housing Tax Credit Application**

Form 17
Insert at TAB 17

The following is a list of design and construction components for Sustainable Development that are required to be selected at the time of initial Application and confirmed at Final Tax Credit Allocation. The Project Architect is required to check all of the green criteria below that correspond to the respective point categories claimed. The Architect, and the Arizona Energy Office ("AEO") will be required, at Final Tax Credit Allocation, to certify that all specified green criteria have been met.

Project Name:	Highland Square Senior Apartments
Architect Name:	Mike Perry
Firm Name:	Witneybell Perry, Inc.

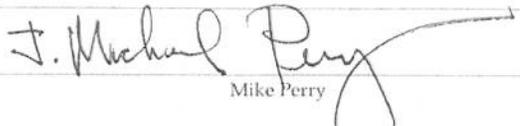
SUSTAINABLE DEVELOPMENT CHECKLIST				
SYSTEM COMPONENT	Construction U New/Rehab/Both	APP	GREEN CRITERIA	8609
Materials and Indoor Air Quality				
Material Selection	Both	<input checked="" type="checkbox"/>	All adhesives and finishes applied on-site utilize zero VOC products. All carpets are Green Label Plus certified by the Carpet and Rug Institute.	<input type="checkbox"/>
Flooring	Both	<input type="checkbox"/>	Hard surface flooring materials used throughout the dwelling units (excludes sheet vinyl).	<input type="checkbox"/>
Exhaust Fans	Rehab	<input type="checkbox"/>	Install power vented bath fans that exhaust to the exterior	<input type="checkbox"/>
		<input type="checkbox"/>	Install power vented range hoods that exhaust to the exterior.	<input type="checkbox"/>
Fresh Air	Both	<input checked="" type="checkbox"/>	Install an energy-recovery ventilator (ERV) in the dwelling units.	<input type="checkbox"/>
Preoccupancy Flush	Both	<input type="checkbox"/>	Seal all registers and any open duct work during construction; perform an extended occupancy flush (run all ventilation fans with windows open) for 48 hrs prior to occupancy	<input type="checkbox"/>
Smoke Free Building	Both	<input type="checkbox"/>	Enforce a "no smoking" policy in all common and individual living areas in all buildings (as per Enterprise Sustainable Communities standard 7.17).	<input type="checkbox"/>
Construction Waste Management	Both	<input checked="" type="checkbox"/>	Develop and implement a construction waste management plan to reduce the amount of materials to less than 3 lbs per sq. ft. of conditioned space sent to the landfill.	<input type="checkbox"/>

SYSTEM COMPONENT	Construction U New/Rehab/Both	APP	GREEN CRITERIA	8609
Water Efficiency				
Toilets	Both	<input checked="" type="checkbox"/>	Dual flush toilets throughout	<input type="checkbox"/>
Showerheads	Both	<input checked="" type="checkbox"/>	Maximum flow rate of 1.6 GPM	<input type="checkbox"/>
Kitchen Faucets	Both	<input checked="" type="checkbox"/>	Maximum flow rate of 2.0 GPM	<input type="checkbox"/>
Bathroom Faucets	Both	<input checked="" type="checkbox"/>	Maximum flow rate of 0.5 GPM	<input type="checkbox"/>
Water Distribution	Both	<input checked="" type="checkbox"/>	Insulate all hot water pipes (R-4 or greater) OR install a hot water recirculation system with the main recirculation loop insulated (R-4 or greater).	<input type="checkbox"/>
Irrigation	Both	<input type="checkbox"/>	Install a recycled gray water, roof water, collected site run-off or water from a municipal recycled water system for the irrigation system.	<input type="checkbox"/>
Turf	Both	<input checked="" type="checkbox"/>	In landscaping areas, use no turf or artificial turf only.	<input type="checkbox"/>

SYSTEM COMPONENT	Construction U New/Rehab/Both	APP	GREEN CRITERIA	6098
ENERGY EFFICIENCY				
Thermal Performance Roof I	Both	<input checked="" type="checkbox"/>	Improve the Uvalue of the Roof system by 15% over the current IECC requirements for climate zone.	<input type="checkbox"/>
Thermal Performance Roof II	Both	<input type="checkbox"/>	Radiant Barrier on all residential roofs - Emissivity rating of 0.35 or lower	<input type="checkbox"/>
Thermal Performance Wall	Both	<input checked="" type="checkbox"/>	Improve the Uvalue of the Wall System by 15% over the current IECC requirements for climate zone	<input type="checkbox"/>
Reduced Heat Island Effect <i>(*Applicable to warm climate locations only with <4,000 HDD per noaa.gov)</i>	Both*	<input checked="" type="checkbox"/>	Roofing: Install Roofing materials with high reflectivity and high emittance ratings for a min. of 75% of roof area. Low Slope roof (2:12 and ↓) min SRI of 78. Steep slope roof (>2:12), min SRI of 29.	<input type="checkbox"/>
	New*	<input type="checkbox"/>	Paving: Use open grid pavement and/or light colored, high albedo materials with a min. SRI of ≥ 29 for at least 30% of the site's hardscaped area.	<input type="checkbox"/>
	New*	<input type="checkbox"/>	Plantings: Locate trees or other plantings to provide shading for at least 50% of sidewalks, patios and driveways within 50 ft of residential units. Shading should be calculated for noon on 8/1, when the sun is directly overhead, based on five year's growth.	<input type="checkbox"/>
Passive Solar Design	New*	<input type="checkbox"/>	Shading: Design shading for at least 80% of the South, West and East facing windows that is appropriate for the climate zone.	<input type="checkbox"/>
		<input type="checkbox"/>	Orientation: Optimize the orientation of the building (or at least 75% of the sq.ft. in the multi-building campus) such that the ratio of Southern Wall Area to West (or East) Facing Wall Area is ≥ 2:1	<input type="checkbox"/>
		<input type="checkbox"/>	Clerestory Windows: Provide clerestory windows for optimized day lighting, ventilation, and passive solar heating where appropriate, for at least 50% of the sq. ft. of the Project.	<input type="checkbox"/>
		<input type="checkbox"/>	Thermal Mass: Provide internal, exposed thermal mass (e.g. tile floor, concrete floor, internal cmu wall) with a surface area that is at least 15% of the net square footage of each dwelling unit. Thermal mass must be located in at least 75% of the dwelling units and in any community spaces.	<input type="checkbox"/>
Renewable Energy (e.g. Solar PV and Solar Thermal)	Both	<input checked="" type="checkbox"/>	One or multiple renewable energy systems large enough to offset the estimated residential annual energy load by 10% and maximized use of incentives. This will require residential units to be master metered.	<input type="checkbox"/>
		<input type="checkbox"/>	One or multiple renewable energy systems large enough to off-set the estimated residential annual energy load by 5% and maximized use of incentives. This will require the residential units to be master metered.	<input type="checkbox"/>
		<input type="checkbox"/>	Site, design, engineer and wire the development to accommodate installation of solar PV in the future. This will require the residential units to be master metered.	<input type="checkbox"/>
		<input type="checkbox"/>	One or multiple renewable energy systems large enough to off-set the estimated common area energy load by 50% and maximized use of incentives.	<input type="checkbox"/>
Windows	Both	<input checked="" type="checkbox"/>	Install high performance windows that meet or exceed Energy Star Criteria.	<input type="checkbox"/>
Duct Leakage	Both	<input checked="" type="checkbox"/>	Keep the system (including air handler and ducts) entirely within the conditioned envelope or install a ductless system.	<input type="checkbox"/>
High Efficiency HVAC	Both	<input checked="" type="checkbox"/>	Install a high efficiency HVAC system with a minimum SEER rating of 14. Furnaces must be ≥ 92 AFUE and boilers must be ≥ 87 AFUE. *All Units.	<input type="checkbox"/>
Water Heating	Both	<input checked="" type="checkbox"/>	Install an energy efficient hot water distribution system that meets one of the following requirements: - Electric Water Heater: EF ≥ 0.95 - Gas Water Heater: EF ≥ 0.65 - Gas Tankless Water Heater: EF ≥ 0.8 - Electric Tankless Water Heater: EF ≥ 0.99 - Heat Pump Water Heater	<input type="checkbox"/>
Lighting	Both	<input type="checkbox"/>	Install and Energy Star Advanced Lighting Package using only Energy Star labeled fixtures. The Advanced Lighting Package consists of a min of 60% Energy Star hard-wired fixtures and 100% Energy Star qualified ceiling fans (if any).	<input type="checkbox"/>

The undersigned certifies that this Checklist has been completed by the Project Architect, that each of the items checked above is a design and construction requirement for the Project, and that the representations made in this Checklist are all true and correct to the best of my knowledge.

Architect Signature:


Mike Perry

Date

2/28/2010

Printed Name:



The redistricting process has begun and entities around the state are preparing to make sure their interests and needs will be met during the process.

Independent Redistricting Committee (IRC)

The IRC has been selected from the Metropolitan centers of Arizona. While they have committed to hearing fairly and justly, you may want an advocate who has a good understanding of the culture and needs of Greater Arizona. You can find that advocate in the consortium of **GREATER ARIZONA SUCCESS**.

Both Legislative and Congressional districts will be redrawn.

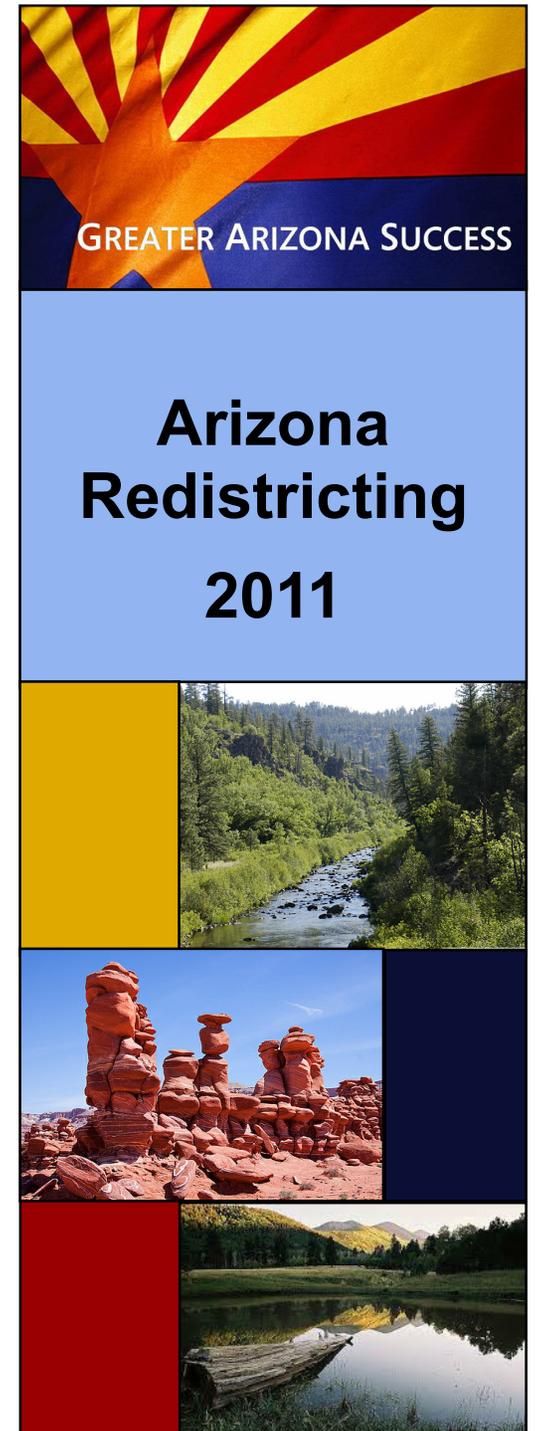
Are you ready?

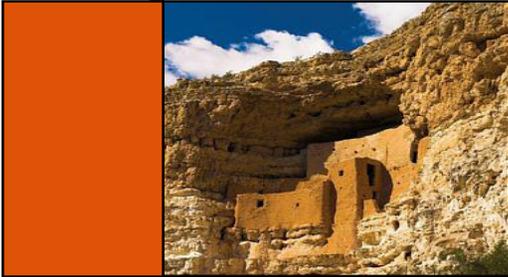
Working for Equal Representation of Greater Arizona



Contact information:

Matt Capalby
5 W Cherry St
Flagstaff, AZ 86001
MCapalby@gmail.com
928.814.2789



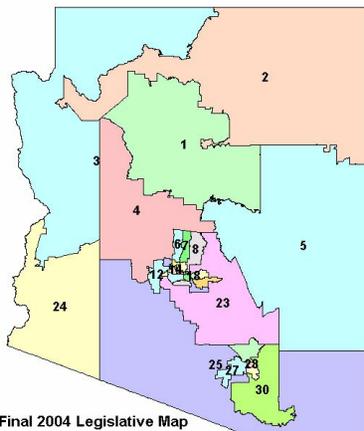


Education

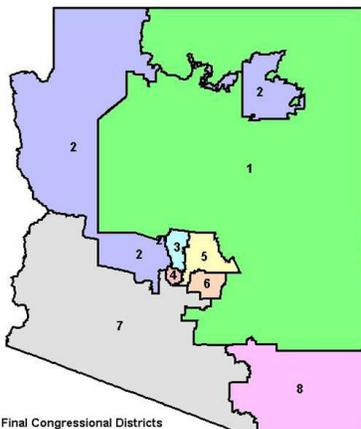
GREATER ARIZONA SUCCESS provides education and training to inform stakeholder entities on the requirements, history, interpretation of data, implications, and decision criteria.



Current Legislative and Congressional Districts



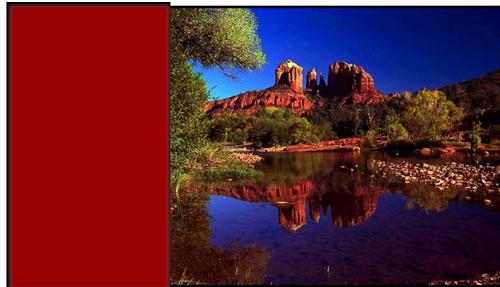
Final 2004 Legislative Map



Final Congressional Districts

Preparation

GREATER ARIZONA SUCCESS assists stakeholder entities in gathering constituency needs and interests, considerations of neighboring stakeholder entities, and preparing a position statement.



Representation & Advocacy

GREATER ARIZONA SUCCESS represents and advocates stakeholder entities at IRC hearings as well as provide weekly communications regarding activities and new developments with the Commission.

Our Team of Experts

GREATER ARIZONA SUCCESS has brought together a team of business leaders, governmental and legal advisors, and technical consultants - Greater Arizona citizens who share your unique needs and advocate greater representation and an increase of competitive districts.

- Matt Capalby
- Allen Chapa
- Trish Rensink
- Jamey Hasapis
- Doug Mings

Learn More

Call to schedule a meeting to learn how **GREATER ARIZONA SUCCESS** can help you navigate the redistricting process, 928.814.2789.

Arizona Redistricting 2011



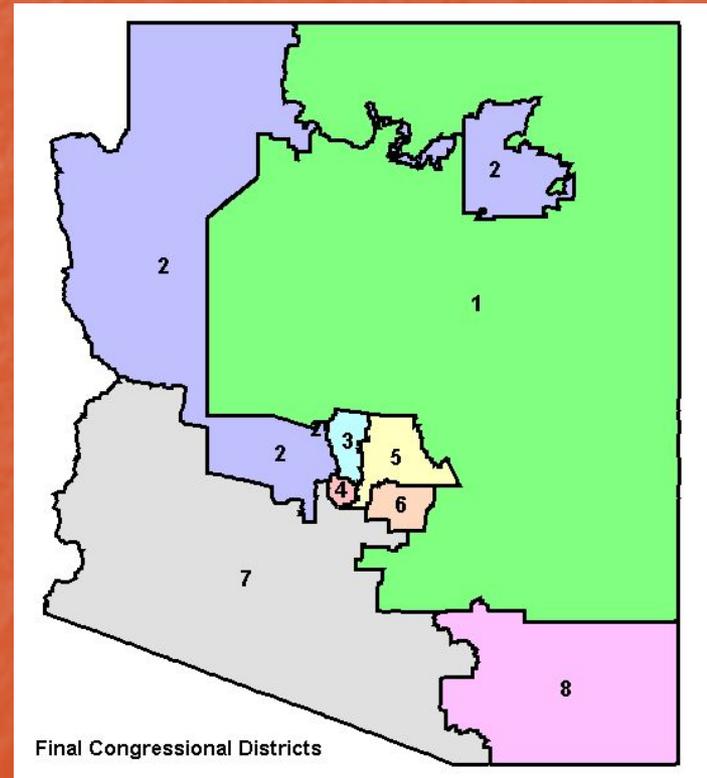
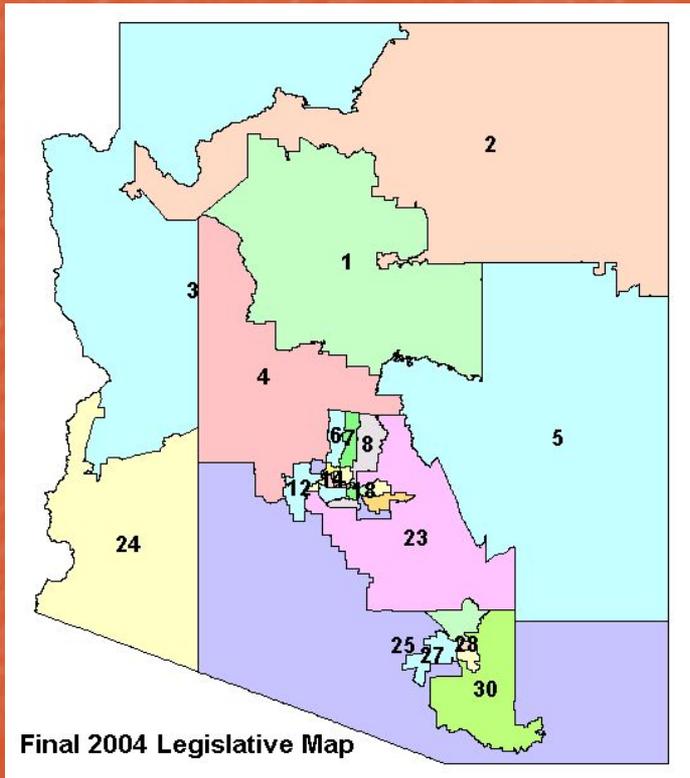
Redistricting Background

- Article 1: Section 2 of the US Constitution requires states to redistrict following US Census
 - Legislative and Congressional Districts
- Independent Redistricting Commission.
 - 5 Commissioners: 2D, 2R, 1I
 - Maripoca and Pima Counties

Redistricting Criteria

1. Comply with Voting Rights Act and Constitution
2. Equal Population
3. Geography Compact and Contiguous
4. Respect Communities of Interest
5. Respect Geographic Boundaries
6. Competitive

Current Legislative and Congressional Districts



2010 Arizona Census Map

2010 CENSUS RESULTS

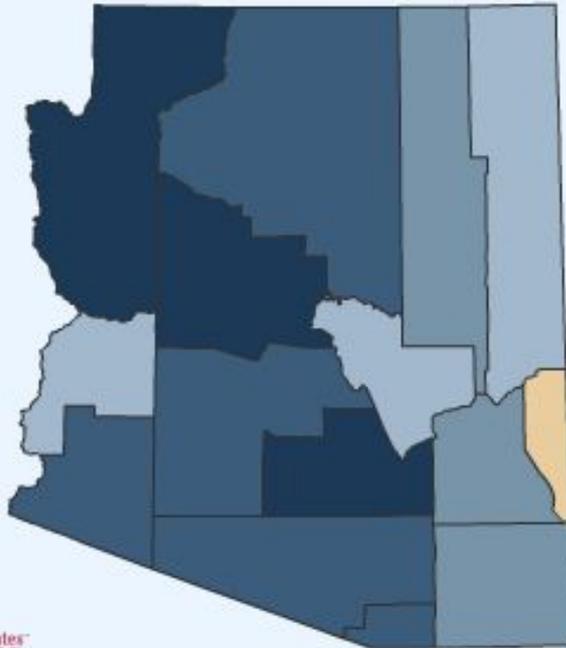
 [BACK TO U.S. MAP](#)

 [VIEW FULL SCREEN](#)

Arizona STATE POPULATION: 6,392,017

POPULATION CHANGE BY COUNTY: 2000-2010

LOSS 0-5% 5-15% 15-25% 25% +

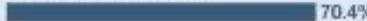


United States
Census
Bureau

STATE POPULATION BY RACE
ARIZONA: 2010

PERCENT OF POPULATION	CHANGE 2000-2010
 White alone  73.0%	20.5% ↑
 Black or African American alone  4.1%	63.0% ↑
 American Indian and Alaska Native alone  4.8%	15.9% ↑
 Asian alone  2.8%	91.6% ↑
 Native Hawaiian and Other Pacific Islander alone  0.2%	87.9% ↑
 Some Other Race alone  11.9%	27.6% ↑
 Two or More Races  3.4%	49.0% ↑

STATE POPULATION BY HISPANIC OR LATINO ORIGIN
ARIZONA: 2010

PERCENT OF POPULATION	CHANGE 2000-2010
 Hispanic or Latino  29.6%	46.3% ↑
 Not Hispanic or Latino  70.4%	17.3% ↑

GREATER ARIZONA SUCCESS

- Consortium
 - Matt Capalby
 - Trish Rensink
 - Jamey Hasapis
 - Allen Chapa
 - Doug Mings
- Represent the interests and objectives of Greater Arizona

GREATER ARIZONA SUCCESS Solution

- Education
- Preparation
- Representation and
Advocacy



Working for Equal Representation of
Greater Arizona.

Contact Matt Capalby: 928-814-2789 / [mcapalby@gmail](mailto:mcapalby@gmail.com)

City of Cottonwood, Arizona
City Council Agenda Communication



Meeting Date: May 3, 2011
Subject: Tavern Outdoor Patio Addition
Department: Community Development
From: George Gehlert, Director

REQUESTED ACTION

Lease of City-owned property to the Tavern Grill for the establishment of a second outdoor patio.

If the Council desires to approve this item the suggested motion is:

“I move to authorize staff to negotiate a 10-year lease with the owners of the Tavern Grill for the establishment of a second outdoor patio on City-owned property between the Grill and the adjacent hotel being constructed by the Grill’s current owners.”

BACKGROUND

The owners of the Tavern Grill, Eric and Michelle Jurisin, are requesting the placement of a second outdoor patio adjacent to the Tavern within the City-owned parking area along North Main Street. This corner of the lot accommodates pedestrian egress between the parking lot and the sidewalk.

The Council may be aware the P&Z Commission just approved a Conditional Use Permit to enable renovation of the former fitness center building located at the back of the parking area (also owned by the Jurisins). The building will be converted into a 10-room hotel, administered from the Tavern. The Jurisins are hoping the second patio will not only provide additional seating for the Tavern, but also some continuity between the two facilities. A rendering of the patio proposal was demonstrated for the P&Z Commission as part of the review on the hotel. It met with a very favorable response. The P&Z memo is enclosed together with a rendering of the hotel, Tavern and patio facilities.

Sidewalk Café Policy

There is also an outdoor patio located on the City sidewalk in front of the Tavern Grill, accessible from the sidewalk and the front building entry. This patio was placed as part of the initial renovation of the Tavern in 2005, following the Council's adoption of a "Sidewalk Café Policy," which established performance standards for patio enclosures placed on public sidewalks directly in front of businesses, subject to certain performance standards (attached). A number of other sidewalk cafes have appeared since that time. The City also amended the Zoning Ordinance that year to eliminate the need for a Conditional Use Permit to have an outdoor café in a commercial zone. Although this patio will not be placed directly on the sidewalk, the Council may want to consider similar performance standards for this facility.

Patio Enclosure Project

The second patio enclosure would be placed in the City parking lot, accessible from the Tavern's side door, as well as from a gate which opens into the parking area. The concrete surface would also be re-leveled to better accommodate tables and chairs. The enclosure would match the one on the sidewalk. A new pedestrian connection between the lot and the sidewalk would be provided. No trees would be removed. No parking spaces would be lost.

Construction of the side patio would necessitate removing portions of the adjacent river rock street wall, constructed by the City crew about 12 years ago. Funding for the street wall materials was provided by a Transportation Enhancement grant through ADOT. The parking area improvements were the initial phase of the streetscape project, completed in 2002.

Lease Agreement

The location of the second patio would require the negotiation and execution of a lease for the City-owned property. Staff anticipates that the lease rate would be nominal, but that the City would require the Jurisins to indemnify the City and carry sufficient insurance to protect the City from any liability arising out of their use of the property. The Council previously approved a sequence of easements for overlapping uses within the parking area as part of the Tavern renovation in 2004-5, to accommodate the side balcony, dumpster, and pedestrian egress from the side door (see attached map and info).

JUSTIFICATION/BENEFITS/ISSUES

The Council may want to discuss the benefits of this proposal with the applicants. The additional patio will obviously add to the vitality of the street. Again however, a portion of the street wall would have to be demolished to accomplish this project, as proposed.

COST/FUNDING SOURCE

The applicants would pay for all public and private improvements associated with the patio enclosure project.





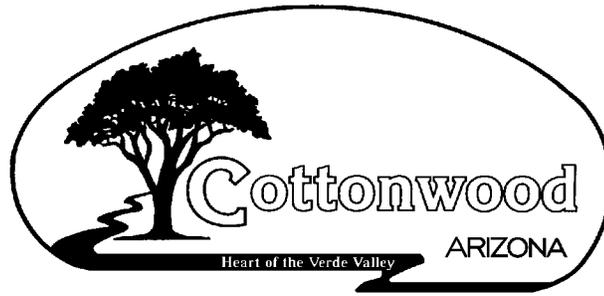
MEMO

TO: Honorable Mayor and City Council
THROUGH: Brian Mickelsen, City Manager
FROM: Jerry Owen, Community Development Director
DATE: August 3, 2004
SUBJ: Sidewalk Café Policy

At the July 13, 2004 work session, Council directed staff to develop a policy addressing sidewalk cafes as encroachments in City right of way in Old Town. Generally, sidewalk cafes have become more popular in recent years and are thought to be a positive contributor to healthy, pedestrian-oriented downtown districts. Currently, the Public Works Department issues encroachment permits for fences, parking spaces, landscaping and other improvements on City right of way. Staff suggests that sidewalk cafes also be an allowable encroachment subject to the following additional requirements:

- Proposed sidewalk cafes must be reviewed and approved by the Code Review Board.
- All permitted encroachments must maintain a minimum clear distance of sidewalk width of at least five feet.
- Encroachment permits shall be issued for a specific period of time.
- The sidewalk café area must be separated from the sidewalk by a barrier as approved by the Code Review Board.
- Sidewalk café areas must be maintained in a neat and clean manner at all times.
- Sidewalk cafes must meet all Yavapai County Health Department requirements.
- All service to support sidewalk cafes shall be supplied from within the adjacent building.
- The encroachment area shall extend laterally no further than the business' building frontage.
- An applicant shall provide indemnity and commercial general liability insurance.
- Sale of alcohol shall require Council approval of a State of Arizona "extension of premises" application and the applicant shall provide a certificate of liquor liability insurance in the amount of one million dollars naming of the City as an additional insured.
- The City can temporarily suspend an encroachment permit when construction, street repair or utility work in the area would create a hazard.

With Council's concurrence, staff will implement a sidewalk café encroachment permit as described above.



STAFF MEMO

TO: Planning and Zoning Commission

FROM: George Gehlert, Community Development Director

FOR: February 28, 2011

SUBJECT: **PCU 11-002/DR 11-003 OLD TOWN TAVERN HOTEL**

Consideration of a new Conditional Use Permit and associated Design Review to allow for a ten (10) unit hotel in an existing building located on 0.17 acres in a C-1 (Light Commercial) zone along the north side of West Pima, approximately 330 feet west of the intersection with North Main Street. The site includes Lots 22-24 of Willard Addition Subdivision, Block 1. Address: 904 North Main Street. APN: 406-22-025. Owner: Jerome Properties LLC. Agent: Bob Backus / Backus Building Company.

Attached is the letter of intent which details the hotel proposal. The project includes interior and exterior renovation of the former fitness center building. The proposal shows no significant structural changes to the existing 7,800 square foot building. The interior renovation would establish 10 hotel guest units and a laundry facility in service to the nearby restaurants. The guest units would be administered from the adjacent Tavern Restaurant. The exterior of the building will be designed similar to the Tavern's architecture, colors and design. The hotel façade will also include river rock treatments, an outdoor patio, and a raised planter and other landscaping improvements along Pima Street. Portions of the Pima Street sidewalk fronting the property will also be reconstructed as part of this project. As the facility is located adjacent to a public parking lot, no parking improvements have been recommended.

FYI: Staff has also had recent conversations with the applicant regarding possible expansions to the existing outdoor patio/sidewalk café area currently associated with the Tavern; as well as possible changes to the design of the river rock street wall which encloses the public area, in order to better accommodate pedestrian connection between the Tavern and the Hotel. This would likely require a further Design Review submittal, and possible Council action. The Commission may want to visit with the applicant about this idea as part of this review.

Hotel/motel uses are first addressed by the Cottonwood Zoning Ordinance under the C-2 zoning district. Therefore, approval of a Conditional Use Permit is required to accommodate this request.

A letter notifying adjacent property owners of the proposed changes was sent out on February 11th to all property owners within three hundred feet of the proposal. No comments have been received.

ISSUES

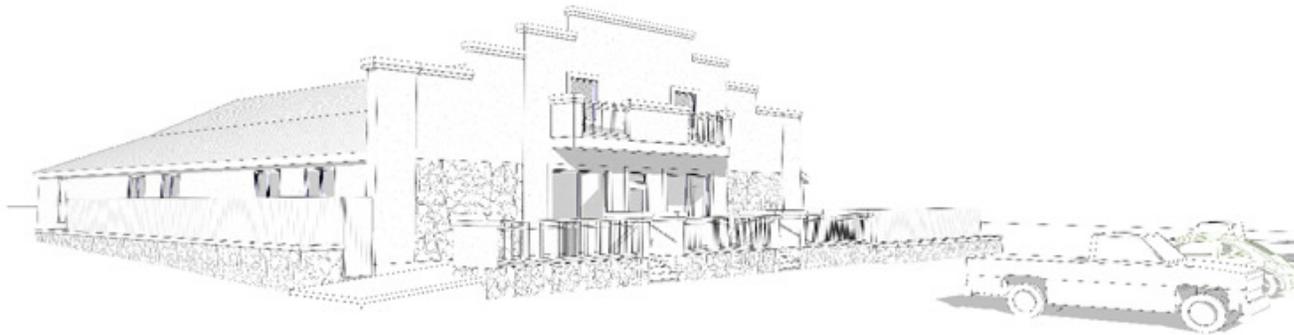
- **Building Elevations:** The design appears to complement the nearby Tavern Restaurant. As this building is located adjacent to a residential zone, additional detail is suggested for the rear (west) side of the building along Cactus Street. Due to its location within the Historic District, more traditional door and window styles might also be considered.
- **Landscaping:** The landscape code requires placement of shade trees in tree wells as part of sidewalk improvement along Pima Street. Staff also encourages additional planter pots at front and rear corners of building (see 407.E.1.D).
- **Lighting:** Submitted cut sheets demonstrate up-lighting which exceeds the allowance for unshielded lighting.
- **Signs:** No sign plan has been submitted.
- **Metal roof:** The applicant is proposing a metal roof over top of the existing roof. The surface will be treated with a deep brown color. This is a very large and highly visible roof section. The Commission may want to review the sample for reflectivity.

RECOMMENDATION

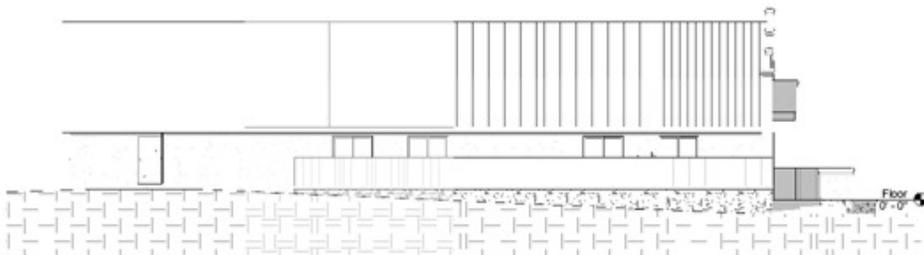
Although hotels/motels are characterized as C-2 uses by the zoning ordinance, they have been traditional activities within the historic district. They are also seen as beneficial to the bar/restaurant uses which have helped to revitalize Old Town. Given the character of this proposal, Staff sees no detrimental impact and therefore recommends approval of **PCU 11-002** and **DR 11-003**, subject to the following stipulations:

1. That the use comply with the site plan and Letter of Intent dated February 3, 2011 (as may be modified by the Commission).
2. That the project is developed in conformance with the Code Review comments of 2/08/11.
3. That an ALTA survey be provided demonstrating the location of the planter in relation to the property boundary along Pima Street. If the planter encroaches into the right of way, a ROW permit shall be secured before those improvements are made.
4. That fire sprinklers be provided.

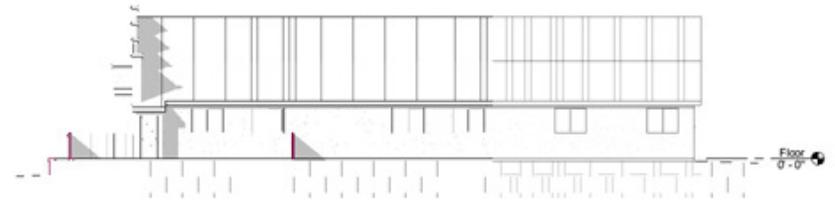
5. That any new mechanical units be adequately screened from view.
6. That a landscape plan be submitted for planned improvements to the front and side of the property, addition of any street trees and any other plantings.
7. That all outdoor lighting comply with Section 408 of the Cottonwood Zoning Ordinance.
8. That the Conditional Use Permit be reviewed in one (1) year for compliance.
9. Any other stipulations that the Commission deems necessary (i.e., additional building detailing, roof treatments, signs, etc.).



5 Perspective - Looking West



3 Southeast
1/8" = 1'-0"



4 Northwest
1" = 10'-0"



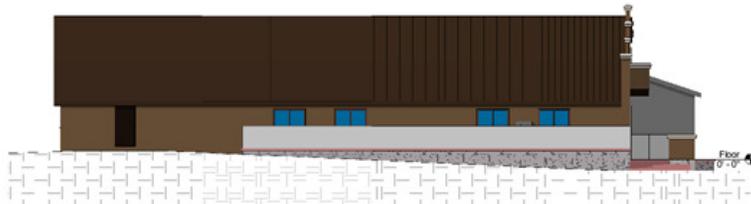
1 Northeast
1/8" = 1'-0"



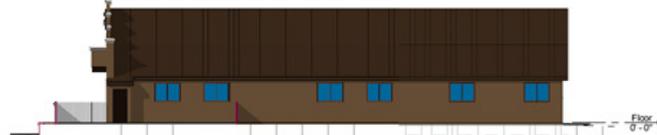
2 Southwest
1/8" = 1'-0"



5 Perspective - Looking West



3 Southeast
1/8" = 1'-0"



4 Northwest
1" = 10'-0"



1 Northeast
1/8" = 1'-0"



2 Southwest
1/8" = 1'-0"

PRELIMINARY PLAN 2-24-2011

928-639-1295
LICENSE # ROC 17A208



Project Name
Hotel At The Tavern

Project Address
504 S Pima Street
Cottonwood, Arizona
Yavapai County
APN: 405-02-025

Owners Name:
Jerome properties LLC
Eric Jurin-Prsident

Issue date:

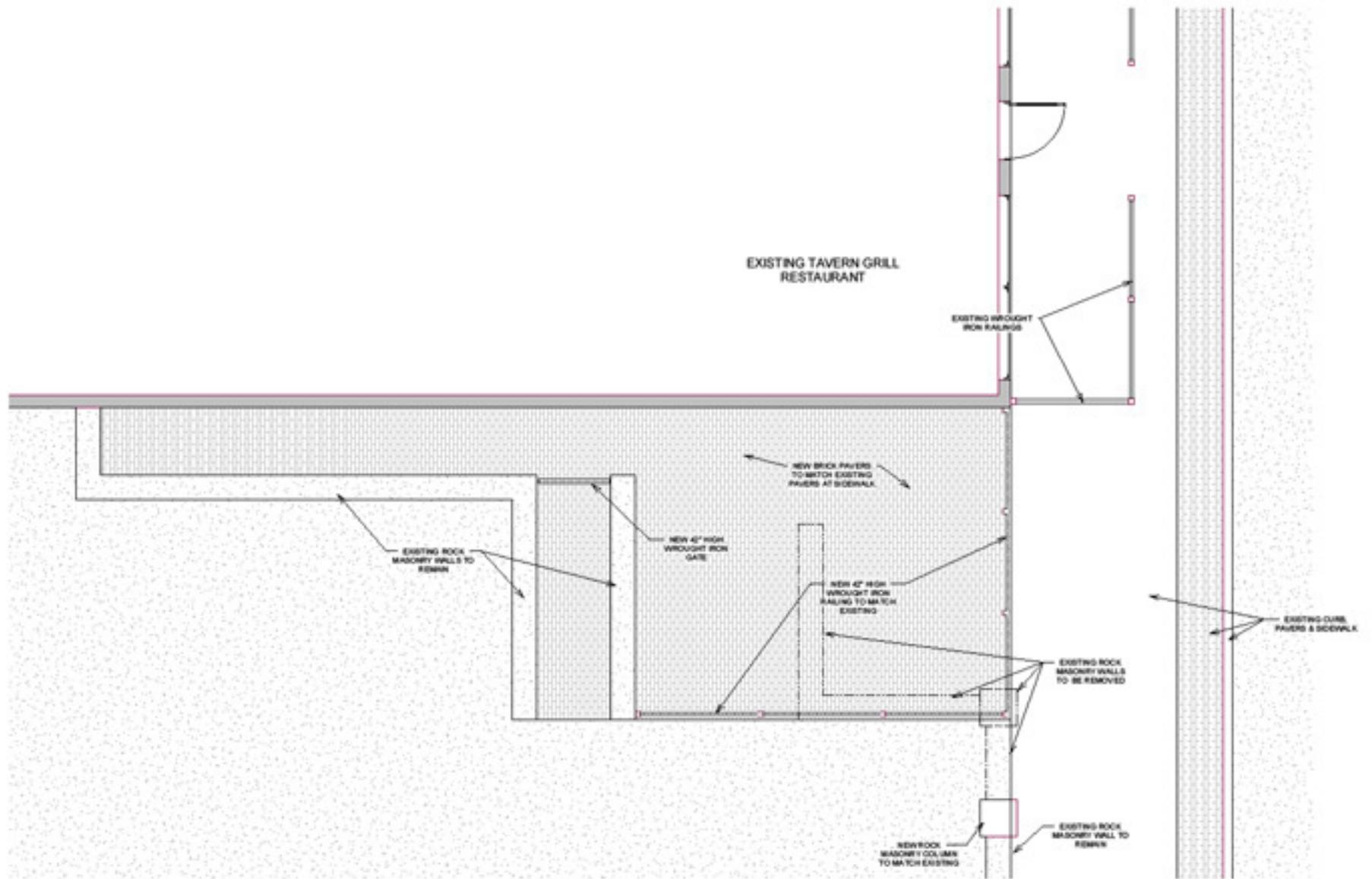
Job Number:
BC_0006

Elevations

Sheet Number:
A-3



② Perspective - At New Exterior Dining Area



1 Tavern Grille Patio Remodel Plan
1/4" = 1'-0"













City of Cottonwood, Arizona
City Council Agenda Communication



Meeting Date: May 3, 2011

Subject: Street Light Banners Supporting our Troops

Department: Administration

From: Doug Bartosh, City Manager

REQUESTED ACTION

Staff requests approval to partner with Ledbetter Law Firm, P.L.C., to place banners throughout the City of Cottonwood, dedicated to specific citizens currently serving or who have served in the US military.

Motion:

I move to approve the City of Cottonwood's partnership with Ledbetter Law Firm to place street light banners throughout the City of Cottonwood, supporting our military personnel, as previously outlined.

BACKGROUND

On April 7th, staff met with Coleen Gilboy of Ledbetter Law Firm, P.L.C., to determine City requirements to place street light banners supporting our troops throughout the City of Cottonwood, and solicit the City's partnership for same.

Coleen explained the banners will be purchased / sponsored by citizens or entities for the cost of the banner. No profit is planned for either the law firm or the City. Sponsors will contact Coleen directly with the name they wish displayed on the banner, and the desired location. Ledbetter's will handle all ordering, purchasing and proof approval. The City of Cottonwood will partner by allowing the banners to be placed on city owned light poles and installing the banner at the desired location.

Attached is a sample of the banner that will be ordered. Also attached is a list outlining the locations banners can be placed. These banners will begin being placed in May and they will be removed as other banners take their place, most likely in September when Arizona Centennial celebration banners are hung. Once removed, the banners will be given to the sponsoring citizen or entity.

JUSTIFICATION/BENEFIT/ISSUES

This program was suggested by Jim Ledbetter as a way to publicly recognize those currently serving in the military or those who have previously served.

COST/FUNDING SOURCE

The only cost to the City of Cottonwood will be the time it takes personnel to mount the banners (and brackets as needed.) The City will fund the initial purchase of the banner rackets and will be reimbursed as the banners are purchased by citizens to honor their friends or loved ones.

As previously stated, the cost for the purchase of the banners will be absorbed by Ledbetter Law Firm, PLC who will pass that cost along to the sponsoring individual or agency.

REVIEWED BY

City Manager: _____

City Attorney: _____

ATTACHMENTS

- Banner Sample
- List of possible banner locations



CLIENT

Cottonwood

EDIT 1 4/8/11

Approval Authorized By:

NOTES

SIZE: 24" x 48"

FABRIC: Vinyl

INKS: Digital



6604 Deern Rd
Syracuse, NY 13206
Toll Free: 877.399.6332
Fax: 315.432.1948

Illustrations are provided as reasonable representations of screen printed inks on fabric.

Location of City-owned street lights poles that can accept the vertical style banners:

- Old Town Cottonwood
25 steel decorative light poles
- Fir Street – SR 260 to Camino Real
8 steel light poles
- Camino Real – South of Fir at the High School
4 steel light poles
- North 10th Street / Riverfront Road
8 steel light poles
- North Willard Street – South of North Main Street
1 wood light pole (with electric)
3 steel light poles
- Cove Parkway
9 steel light poles
- North Main Street – North 3rd Street to 10th Street, north side
7 wood light poles
- Other possible locations including city parking lots such as:
Pinal and north 1st Street
Riverfront Park Little League
Public Safety Building
Recreation Center

