



**CITY OF COTTONWOOD
PLANNING & ZONING COMMISSION
COUNCIL CHAMBERS
826 N. Main St.
Cottonwood, AZ 86326**

REGULAR MEETING
Monday, February 24, 2020
6:00 p.m.

I. CALL TO ORDER

- A. Roll Call**
- B. Approval of Minutes:** January 27, 2020 Regular Meeting

II. INFORMATIONAL REPORTS AND UPDATES:

III. CALL TO THE PUBLIC

This is the time for the public to comment on any matter that does not appear on the agenda. Commission members may not discuss items not identified on the agenda. Pursuant to A.R.S. §38-431.01(H), action taken as a result of public comment will be limited to directing staff to study the matter, responding to criticism, or scheduling the matter for consideration at a later date. Comments are limited to five minutes for each person.

IV. OLD BUSINESS:

V. NEW BUSINESS:

- 1. DR 19-003 EXTENSION - COTTONWOOD CHRISTIAN ASSEMBLY:** A Request to extend completion date for a 19,000 square foot church facility and site improvements. The project is located in an R-3 (Multiple Family Residential) zoned property at 750 E. Mingus Avenue. APN: 406-42-012N. Owner: Cottonwood Christian Assembly, Inc. Agent: Jim Lawler, Lawler Construction.

Information on the above agenda items may be obtained in person from the Community Development Department, 111 N. Main Street in Cottonwood, or by calling (928) 634-5505.

A verbal comment period will be provided during each hearing item. The Chair may impose a time limit on each speaker. The Commission will not consider written materials submitted less than three working days before the meeting.

Pursuant to A.R.S. § 38-431.02(B) the Commission may vote to go into executive session on any agenda item pursuant to A.R.S. § 38-431.03(A)(3) and (4) for discussion and consultation for legal advice with the City Attorney.

The Cottonwood Council Chambers is accessible to the handicapped in accordance with Federal "504" and "ADA" laws. Those with needs for special typeface print or hearing devices may request these from the Planning Technician at 634-5505 (TDD 634-5526). All requests must be made at least 24 hours before the meeting.

2. **DR 20-001 HERRICK MINI STORAGE** - Request for Design Review of a new mini storage facility. The subject parcel is zoned I-2 (Heavy Industrial), located at 25 E. Cottonwood Street. APN 406-08-007C. Owner: Edward J. and Sarah E. Bermingham Trust. Agent: Luke Sefton.
3. **DR 20-002 ME BEAUTY SALON** - Request for Design Review of a new 1,646 square foot Beauty Salon. The subject parcel is zoned C-1 (Light Commercial), located at 108 N. Main Street. APN 406-37-007A. Owner: Maria Marlen Romero Espinola. Agent: Brent Maupin.

VI. DISCUSSION ITEMS:

A brief summary of current events by Chairperson, Commission members, and/or Community Development Director. (The public body does not propose, discuss, deliberate, or take legal action on any matter brought up during this summary unless the matter is properly noticed for legal action).

VII. SUGGESTED TOPICS FOR FUTURE MEETINGS:

VIII. ADJOURNMENT

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STAFF REPORT

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

HEARING DATE: February 24, 2020

PROJECT NUMBER: DR 19-003-EXT Cottonwood Christian Assembly

The applicant is requesting an extension of time for the approval of a Design Review application for the expansion plans of an existing church facility. The proposed first phase of the project is a new 16,400 sq. ft. sanctuary. Future phases are proposed to include an outdoor amphitheater, splash pad, recreational field, renovations to existing structures and additional parking.

PROJECT DATA AND FACTS:

Applicant/Agent	Jim Lawler, Lawler Construction
Property Owner	Cottonwood Christian Assembly, Inc.
Location of Property	On the Northeast corner of Mingus Ave at the intersection of 7 th St. Property address is 750 E. Mingus Ave. APN 406-42-012N
Present Zoning and Land Use	R-3 (Multiple Family Residential) Currently a church facility.
Description of Applicant’s Request	Extension of the Design Review approval for a new sanctuary and related site improvements.

LAND USE:

Description and Character of Surrounding Area
<p>North: R3 (Multiple Family Residential) – Apartment complex (Mountain View Manor) and a vacant parcel.</p> <p>East: R3 (Multiple Family Residential) and MH (Manufactured Home) Currently developed with a multi-family condominium project (Casa Del Sol) and a manufactured home subdivision.</p> <p>South: R-3 (Multiple Family Residential) – Multi Family Condominium and apartment complexes (Aspen Ridge and Casa Del Sol).</p> <p>West: C1 (Light Commercial) – US Postal Service facility</p>

PROJECT PROPOSAL:

Background:

At the present time the church currently operates from the current location. Yavapai County public records identify that the church buildings were constructed in 1979 and 1984. The applicant has submitted plans that identify the project as a whole and has stated it is their intent to proceed with the main church building in Phase 1 and future phases would include amenities such as an outdoor amphitheater, a splash pad, recreational fields, renovations to existing buildings and additional parking.

As outlined in the applicant's letter, the request for an extension is based on a change in building codes that apply to the structural aspects of the building and the process of having the plans completed would extend beyond the 12 months as originally granted by the Planning Commission on February 25th, 2019.

Landscape submittal: The original approval of the Design Review required the applicant to return to the Planning Commission with a detailed landscape plan and the applicant is aware of that requirement.

Trail Easement: Since the previous review of the project, the applicant has worked with City staff and granted a trail easement along 7th Street that would ultimately connect Mingus Ave to Main Street with a continuous trail. The easement is along the west side of 7th Street and does not affect the site design as previously approved.

STIPULATIONS:

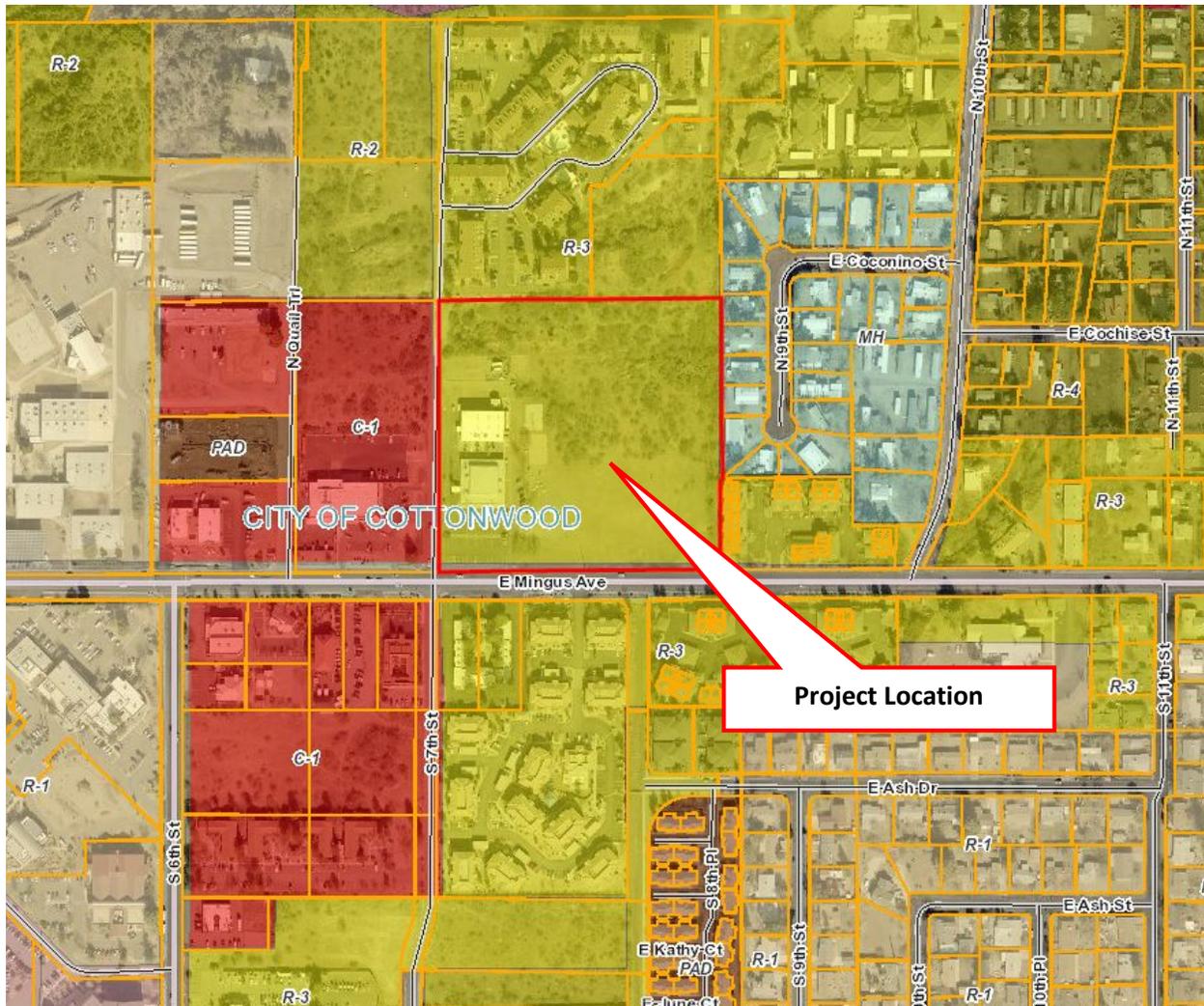
If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans as approved at the February 25, 2019 meeting and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated October 24, 2017.
3. A Certificate of Zoning Compliance documenting the completion of Design Review conditions shall be issued prior to the Certificate of Occupancy.
4. The location of the ballfield areas may be no closer than 10' to the adjacent properties to allow for landscaped areas to be provided for screening.
5. Submit a detailed landscape plan to be reviewed and approved by the Planning Department to address the use of landscaping and existing vegetation to achieve the required screening from adjacent residential properties and street perimeter landscaping.
6. The landscaped area along Mingus Avenue shall be completed with Phase 1 of the Development.
7. Building Permits shall be applied for by twelve (12) months from the date of approval by the Planning & Zoning Commission.
8. Any other stipulations the Planning & Zoning Commission deems necessary.

Vicinity Map

Cottonwood Christian Assembly

DR 19-003



LAWLER CONSTRUCTION, INC.

P.O. BOX 2470
Cottonwood, AZ 86326
www.LawlerConstructionAZ.com

Phone (928) 634-5433
Fax: (928) 649-2065
ROC #160972 KB-01

January 21, 2020

Community Development Department
111 N. Main Street
Cottonwood, AZ 86326

ATTN; Jim Padgett, Planner

RE: DR-19-003

Cottonwood Christian Assembly
750 E. Mingus Ave
APN: 406-42-012N

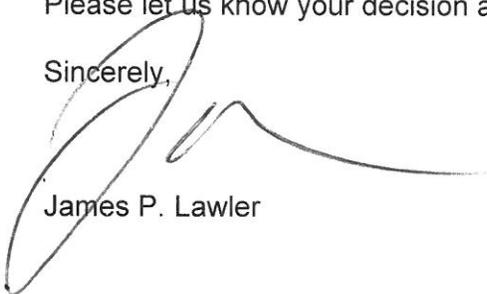
This letter is to ask for an extension of time for the Cottonwood Christian Assembly project. Steel building plans from Olympia Steel needed to be re-engineered for 2018 codes and geographical region. This took longer than expected.

Corrected plans were received last week and forwarded to the foundation engineer who is currently 4-6 weeks out before foundation plans can be prepared.

Once the foundation engineer has completed his work the architect will have about 1 month of work to complete the plans and have them ready for submittal for building permit.

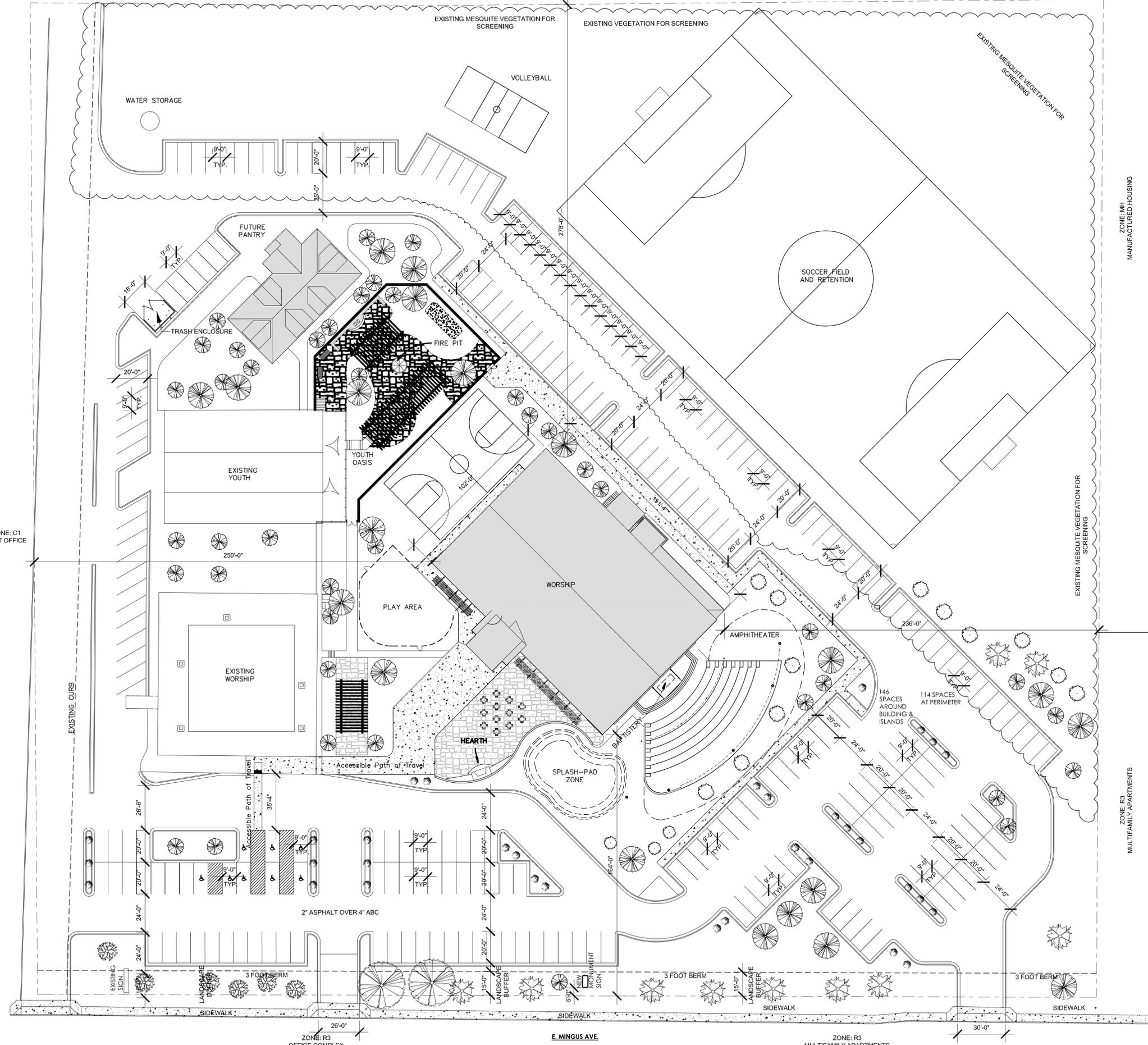
Please let us know your decision and, if there are questions.

Sincerely,



James P. Lawler

ZONE: R3
MULTIFAMILY APARTMENTS



SHEET SCHEDULE

SHEET	CONTENTS
	ARCHITECTURAL
A1.0	SITE PLAN, VICINITY MAP
A1.1	LANDSCAPE PLAN
A2.0	MAIN LEVEL FLOOR PLAN
A2.1	MAIN LEVEL PLAN AT 1/4"=1'-0"
A2.2	TRASH ENCLOSURE
A2.3	MAIN LEVEL PLAN - REMODEL
A3.0	NORTHWEST AND SOUTHWEST ELEV.
A3.1	NORTHEAST AND SOUTHEAST ELEV.
A3.2	COLOR ELEVATIONS
A3.3	ELEVATION - REMODEL
A4.0	LONGITUDINAL AND CROSS SECTION

PROJECT DATA

Project Name: The Journey Church
 Date: SEPTEMBER 13th, 2018
 Project Address: 750 E. Mingus Ave.
 Cottonwood, AZ
 Parcel No: 406-42-012N
 Parcel Size: 419,303 SQ.FT.

Project Narrative: Phase I of the project will entail a Remodel of the existing sanctuary building and its Facade. It will also add a 16,000 new building that will be the new Journey Church sanctuary. This new building will have an Amphitheater to the southeast. Phase II of the project will add a Splash Pad, a Basketball Court and a Ball Field for sports such as Soccer. A pantry building will be added at a future date.

Contact Name: Todd Young
 Phone Number: 928.890.8348
 Email Address: todd@toddyoungarchitect.com
 Church Contact: Jerry Trevern
 Email: pastortjerry20@gmail.com
 Contractor: Jim Lawler
 Email: jim@lawlerconstructionaz.com
 Phone Number: 928.634.5433

Proposed Use: Church.
 Height Allowed: 35 Ft.
 Setbacks: N/A Ft.
 Height Actual: 35 Ft.
 Lot Coverage: 33,195 SQ.FT.

Site Area: 419,303 SQ.FT.
 Flood Zone: Zone X
 Flood Map: NA
 Flood Elevation: NA

Building Area: The Total Square Footage of this facility is 33,195 square feet. (16,000 S.F. (plus or minus) 10,195 S.F. for the existing Church and 7,000 S.F. for the Youth Building).

Building Use: Church
 Occupancy: A-3
 Type of Construction: Type IIB
 New Building's Location on Property:
 230' from East Property Line
 164' from Mingus Ave.
 250' from the West Property Line
 278' from the North Property Line

Fire Sprinklers: Yes

Outdoor Lighting: All outdoor lighting to comply with the City of Flagstaff and the Coconino County Dark Sky Zoning Code.



2 VICINITY MAP
 RE: 1/A1.0 N.T.S.

TODD YOUNG ARCHITECT
 3063 BRIGHTON BLVD. #742
 DENVER, COLORADO 80216



todd@toddyoungarchitect.com
 www.toddyoungarchitect.com
 928.890.8348

THE JOURNEY CHURCH
 750 E. Mingus Ave
 Cottonwood, AZ

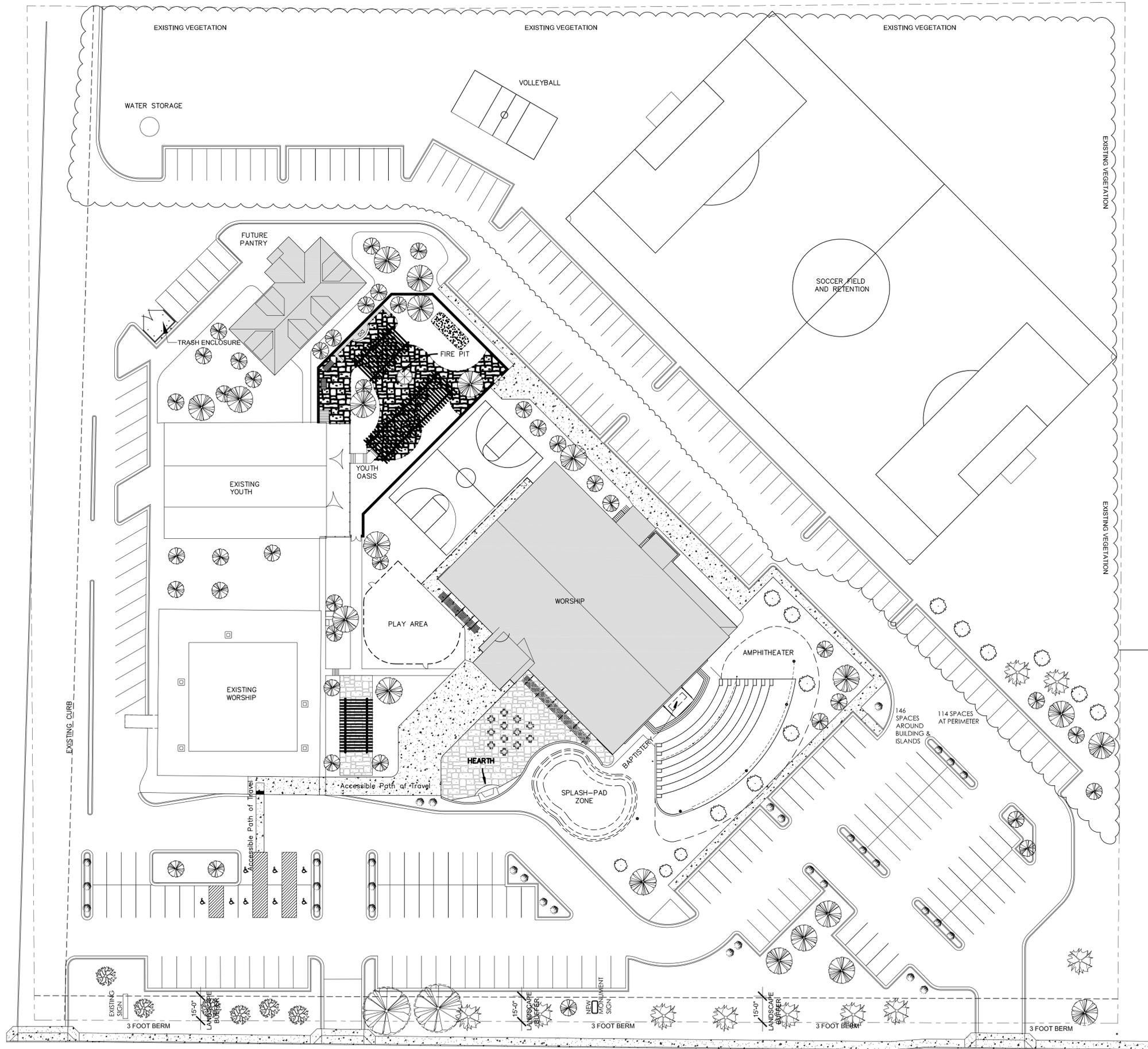
SITE PLAN

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
 PROJECT # 1802

A1.0
 sheet 1 of 11





LANDSCAPE LEGEND	
	ONE-SEED JUNIPER, JUNIPER MONOSPERMA 0 IN THE RIGHT-OF-WAY, 16 WITH IN PROPERTY LINES
	FLOWERING CRABAPPLE, CRAB MYRTLE 0 IN THE RIGHT-OF-WAY, 16 WITH IN PROPERTY LINES
	FLOWERING PLUM, CRAB MYRTLE 0 IN THE RIGHT-OF-WAY, 6 WITH IN PROPERTY LINES
	FLOWERING PLUM OR CRAPE MYRTLE, CRAB MYRTLE 0 IN THE RIGHT-OF-WAY, 29 WITH IN PROPERTY LINES
	TEXAS SAGE OR TEXAS MOUNTAIN LAUREL SHRUBS 0 IN THE RIGHT-OF-WAY, 15 WITH IN PROPERTY LINES
	JUNIPER, JUNIPER CHINENSIS 0 IN THE RIGHT-OF-WAY, 41 WITH IN PROPERTY LINES
LANDSCAPING CALCULATIONS	667'-0" ALONG MINGUS AVENUE REQUIRES ONE TREE AND THREE SHRUBS PER 25'-0" OF STREET FRONTAGE. $667' / 25 = 26.68$. FOR A TOTAL OF 27 TREES REQUIRED AND, $27 \times 3 = 81$ SHRUBS REQUIRED
TOTAL PROPOSED	38 TREES AND 85 SHRUBS PROVIDED - SEE SITE PLAN

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THE JOURNEY CHURCH
750 E. Mingus Ave
Cottonwood, AZ

LANDSCAPE PLAN

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
PROJECT # 1802



THE JOURNEY CHURCH
 750 E. Mingus Ave
 Cottonwood, AZ

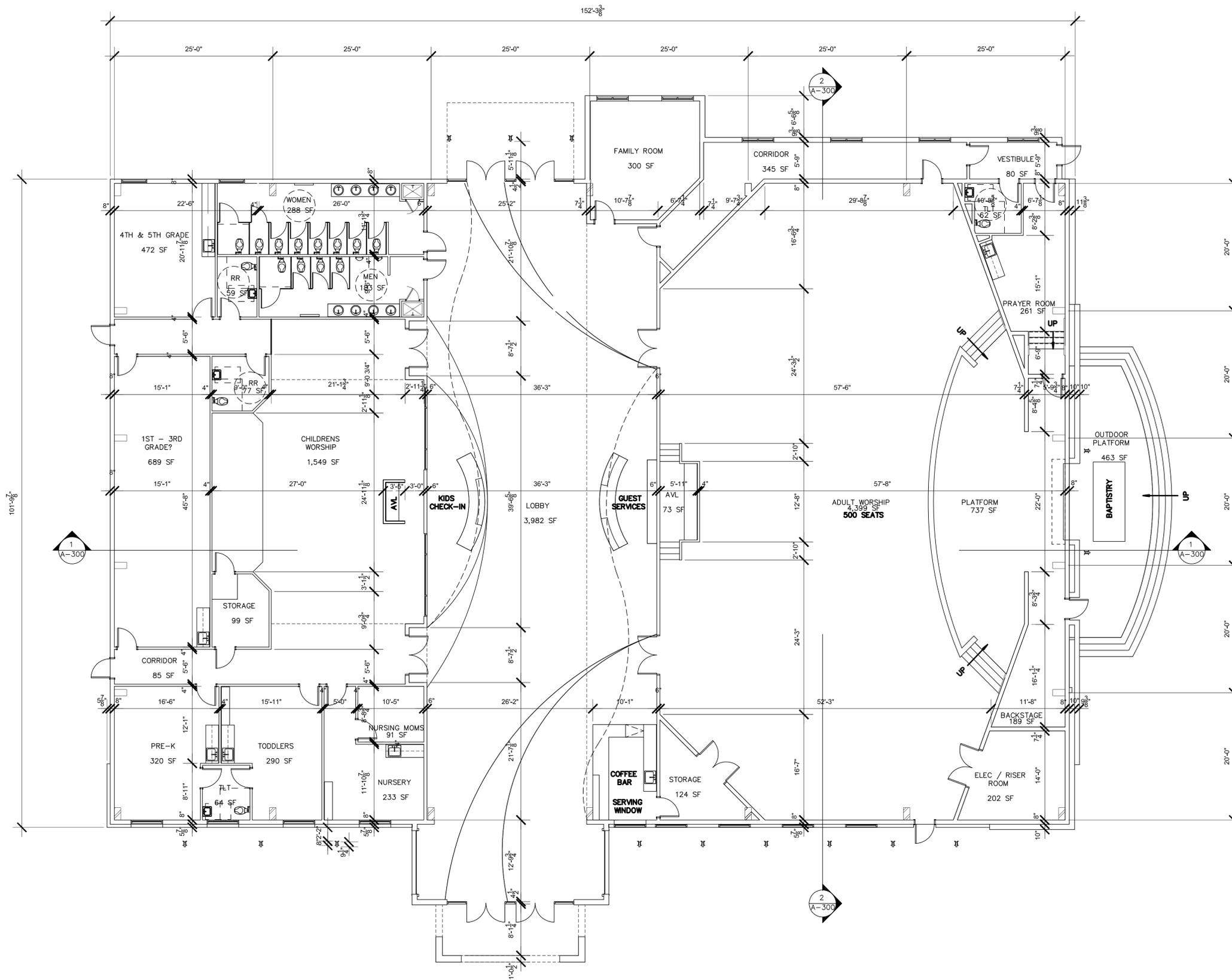
MAIN LEVEL FLOOR PLAN

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
 PROJECT # 1802

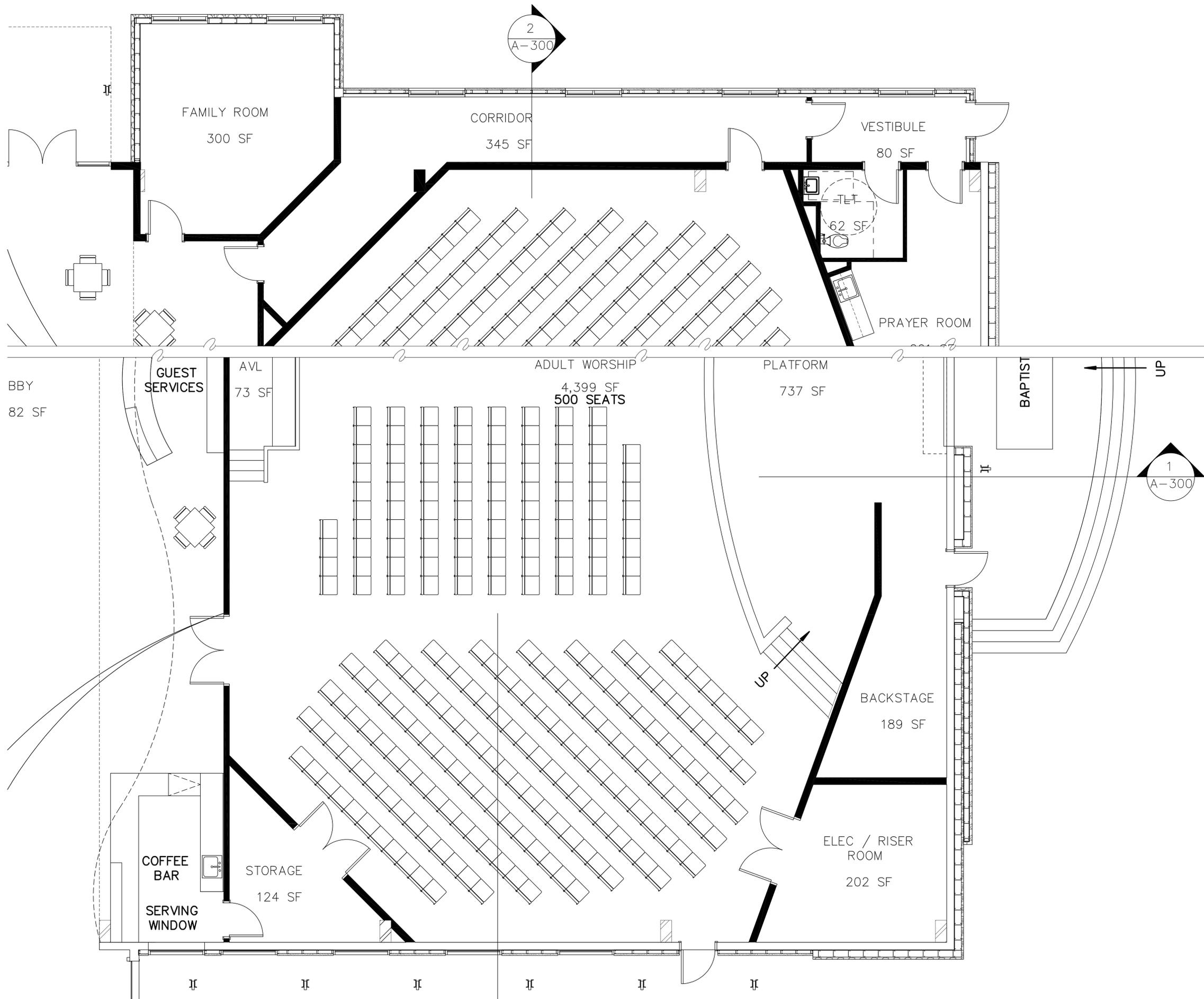
A2.0

sheet 3 of 11



1 MAIN LEVEL FLOOR PLAN
 RE: 1/A3.0

1/8" = 1'-0"



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THE JOURNEY CHURCH
 750 E. Mingus Ave
 Cottonwood, AZ

MAIN LEVEL FLOOR PLAN

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
 PROJECT # 1802

A2.1

sheet 4 of 11

1 MAIN LEVEL FLOOR PLAN - STEEL STUD FRAMED WALLS

RE: 1/A3.0

1/4" = 1'-0"



THE JOURNEY CHURCH
 750 E. Mingus Ave
 Cottonwood, AZ

TRASH ENCLOSURE

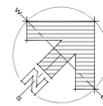
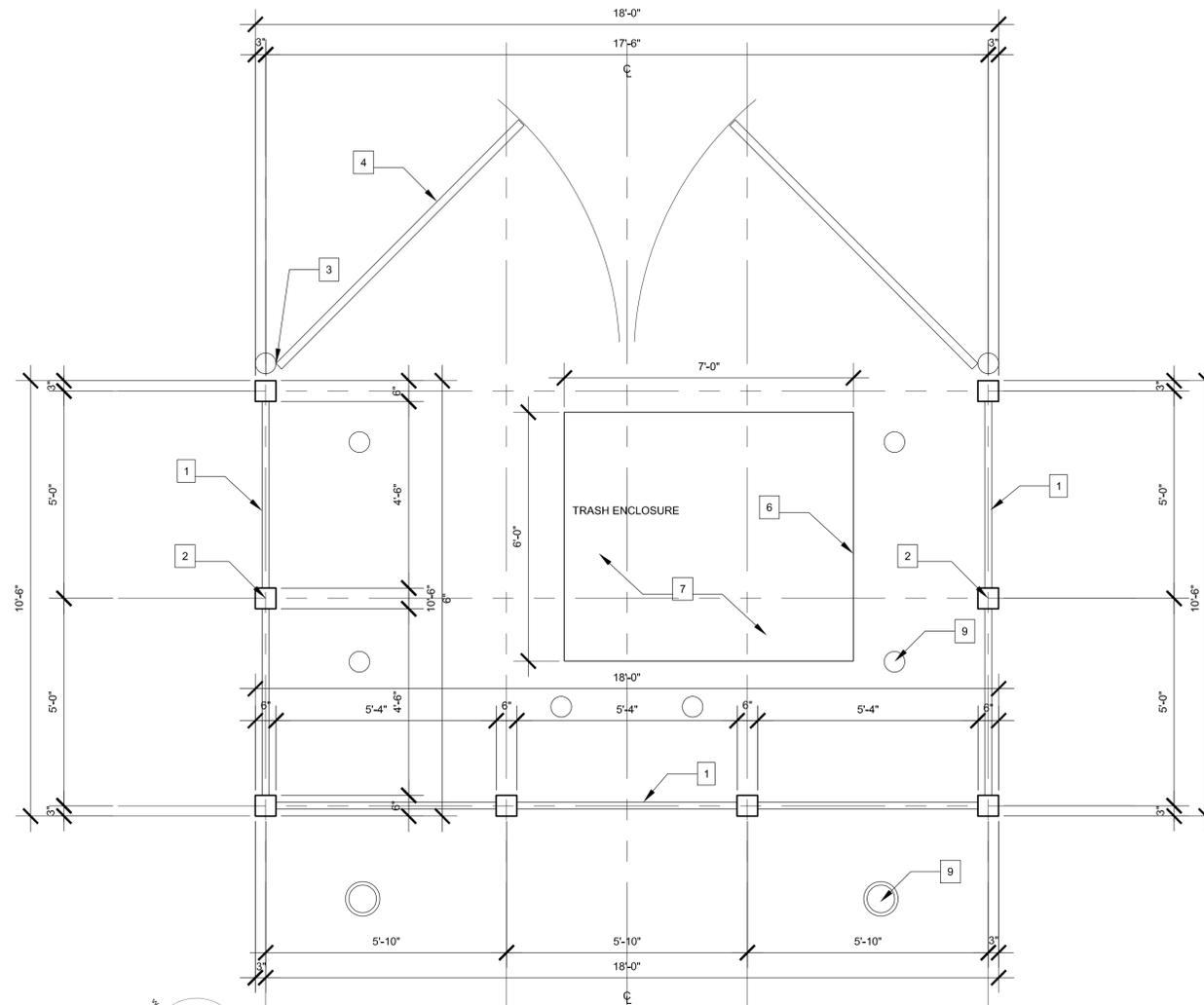
DESIGN REVIEW: 01.10.19

DRAWN BY: TY
 PROJECT # 1802

A2.2

sheet 5 of 11

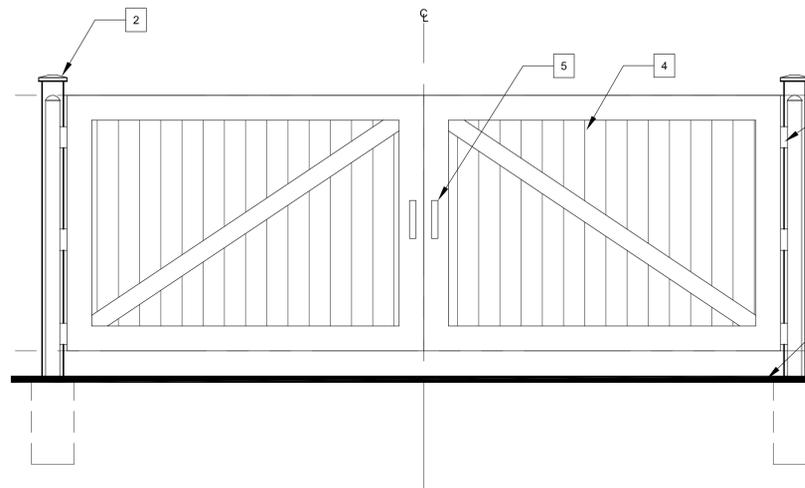
1. VINYL FENCING, MASTER HALCO-LEGEND FENCING, CERTAINTEEED FENCING OR EQUAL.
2. CAP EACH FENCE POST PER VINYL FENCING CAP PER MANUFACTURE.
3. HINGES ATTACHED TO 6" STAINLESS STEEL POLE PER MANUFACTURE AND CONTRACTOR, EMBEDDED IN CONCRETE PIER.
4. 8'-0" WIDE X 6'-0" HIGH VINYL DOORS WITH (3) METAL HINGES PER STRUCTURAL.
5. DOOR HANDLES SELECTED BY OWNER.
6. 6'-6" TALL X 6'-0" DEEP X 7'-0" WIDE DUMPSTER.
7. 5' CONCRETE PAD FOR DUMPSTER ENCLOSURE WITH FOUNDATION PER STRUCTURAL.
8. FOUNDATION PER STRUCTURAL AND VINYL FENCE MANUFACTURE.
9. BOLLARDS



1 PLAN

RE: 2,3,4,5/A2.2

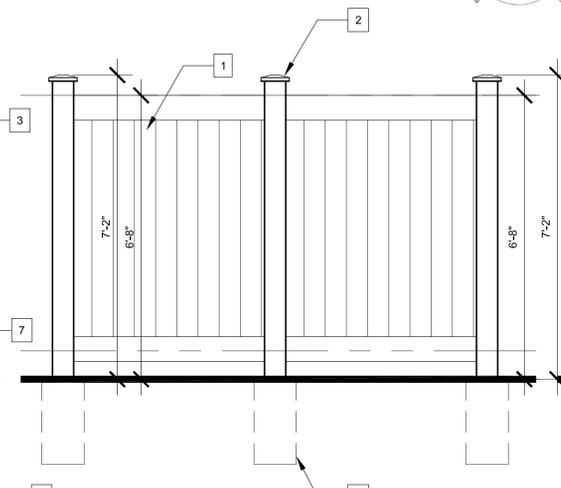
1/2" = 1'-0"



2 NORTH ELEVATION

RE: 1/A4.0

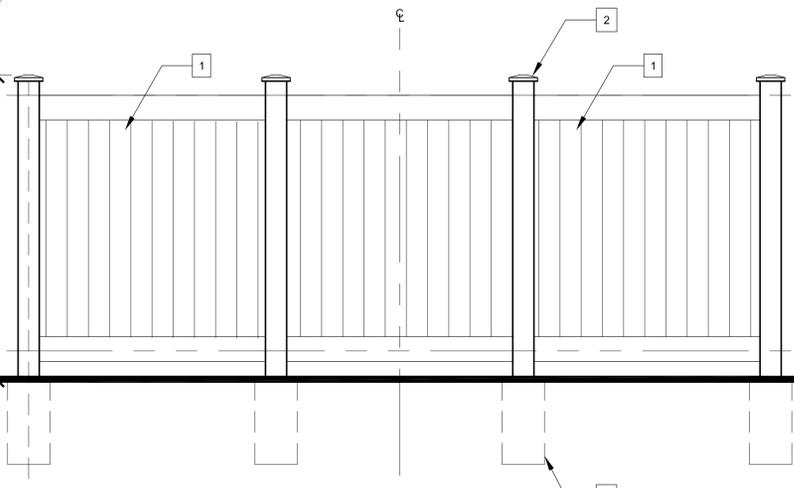
1/2" = 1'-0"



3 WEST ELEVATION

RE: 1/A4.0

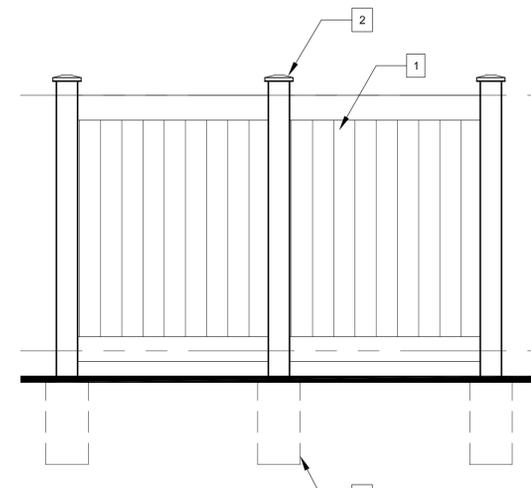
1/2" = 1'-0"



4 SOUTH ELEVATION

RE: 1/A4.0

1/2" = 1'-0"



5 EAST ELEVATION

RE: 1/A4.0

1/2" = 1'-0"



THE JOURNEY CHURCH
750 E. Mingus Ave
Cottonwood, AZ

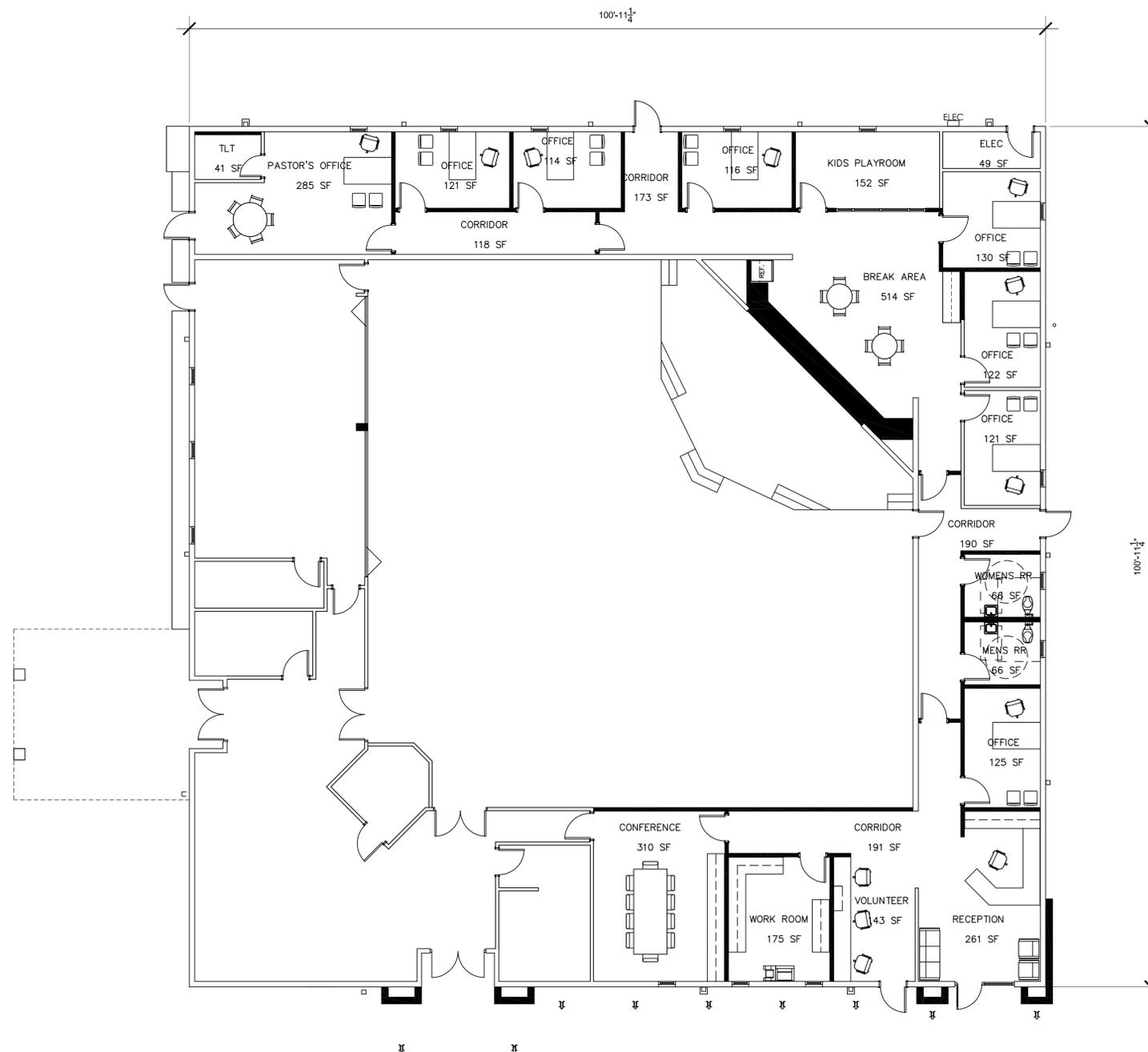
MAIN LEVEL FLOOR PLAN

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
PROJECT # 1802

A2.3

sheet 6 of 11



1 EXISTING WORSHIP REMODEL MAIN LEVEL FLOOR PLAN

RE: 1/A3.3

1/8" = 1'-0"



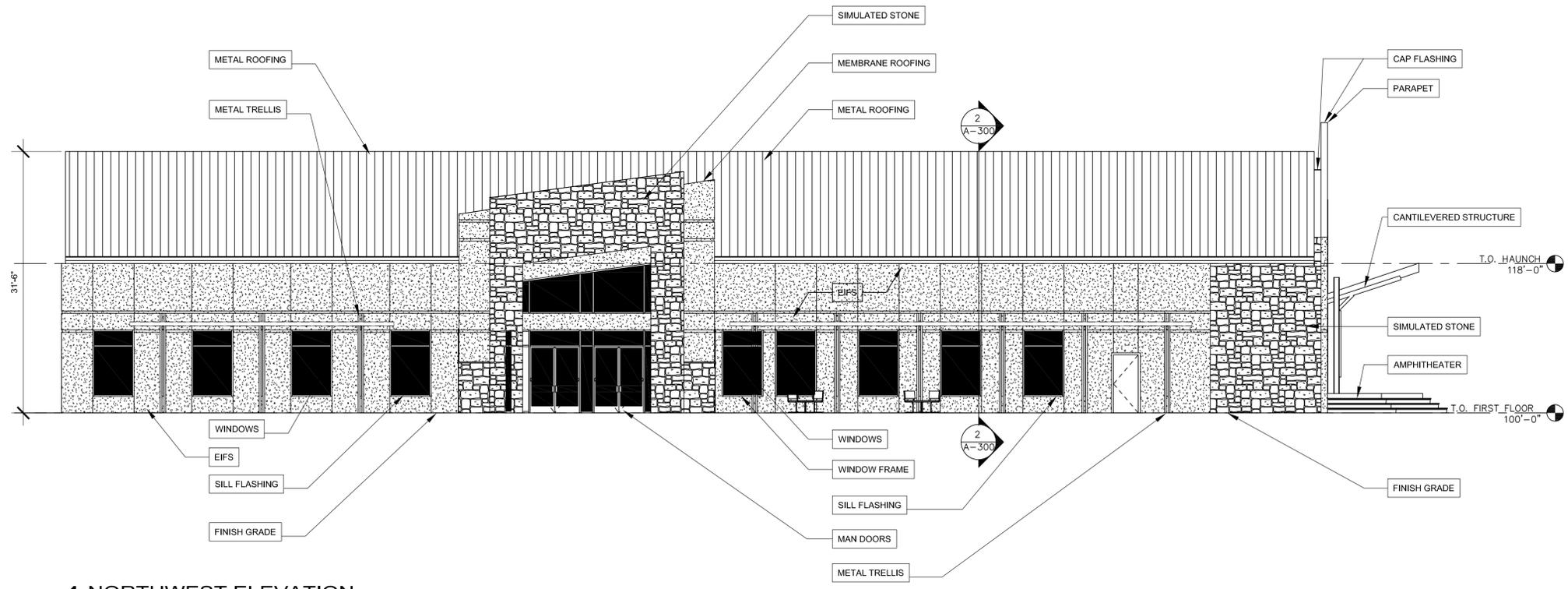
THE JOURNEY CHURCH
750 E. Mingus Ave
Cottonwood, AZ

ELEVATIONS

DESIGN REVIEW: 01.10.19

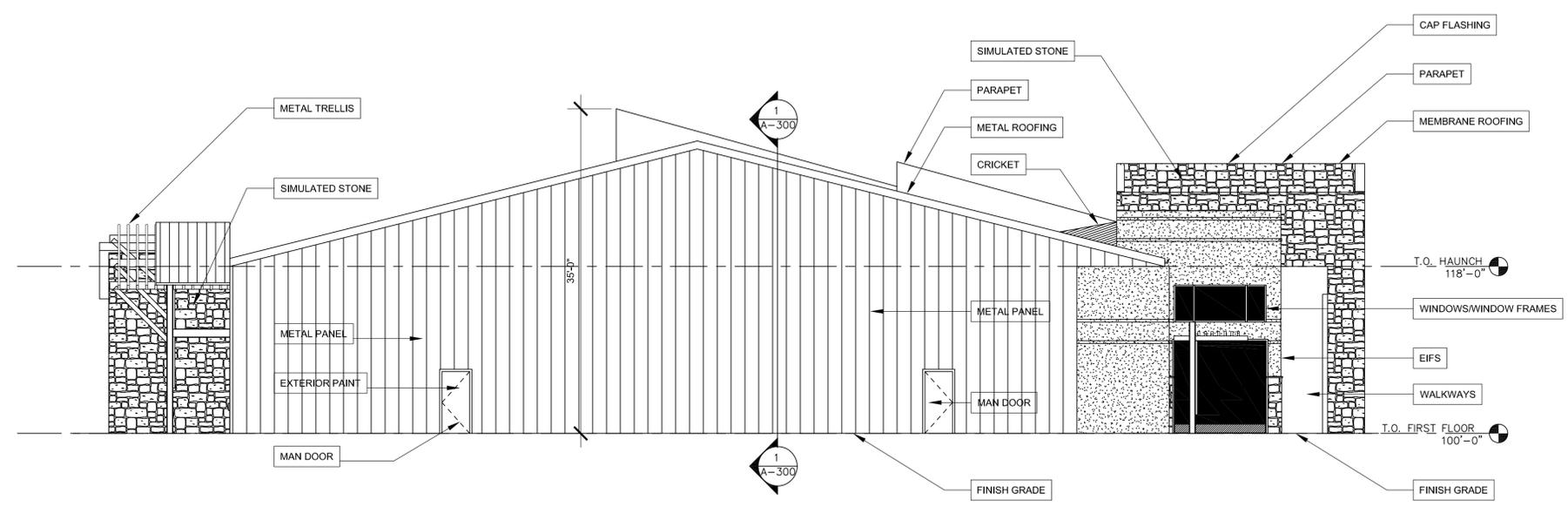
DRAWN BY: TY
PROJECT # 1802

- ELEVATION NOTES**
- METAL ROOFING**
PRO-PANEL METAL ROOFING INSTALLED PER MANUFACTURER OVER GRACE ICE AND WATER SHIELD UNDERLAYMENT OR EQUAL, WITH BATT INSULATION R-38 MINIMUM. PLACE 26 GAUGE METAL FLASHING AT ALL VALLEYS, CHANGES OF PITCH, AT ROOF DRIP EDGE, AND WALL ROOF CONNECTIONS. ATTACHED TO METAL STUD FRAMING AND METAL BUILDING. MANUFACTURE: MS ROOFING
COLOR: XX
- MEMBRANE ROOFING**
MEMBRANE ROOFING SHALL BE EPDM 90 MIL OR DURALAST OR EQUAL. INSTALL ROOFING PER MANUFACTURE. WITH BATT INSULATION R-38 MINIMUM. PLACE 26 GAUGE FLASHING AT ALL VALLEYS, CHANGES OF PITCH, AT ROOF DRIP EDGE, AND WALL ROOF CONNECTIONS.
- PARAPET**
2X6 @ 16" O.C. METAL STUD PARAPET WALL. FLASH AND COUNTER FLASH TOP OF WALL AND INSIDE CORNER. PARAPET WALL TO BE 30" MINIMUM HIGH. APPLY FINISH MATERIAL...
- CAP FLASHING**
24 GAUGE STEEL
COLOR: XX
FINISH: KYNAR 500
- EIFS (EXTERIOR INSULATION FINISH SYSTEM)**
MAIN FINISH FOR STUCCO POCHED WALLS
ACCENT FINISH (HIGH IMPACT)
MANUFACTURE: STO CORPORATION
COLOR: (NA11-0034)
FINISH: (EXAMPLE: 306 STO MEDIUM SAND)
USE HIGH IMPACT FINISH FROM +36" TO GRADE
- SIMULATED STONE**
SUPPLIER: BORAL STONE
STYLE: COUNTRY LEDGE STONE - WET STACK
COLOR: XX
GROUT: XX
WITH MATCHING SILL CAPS AND WINDOWS
- METAL PANEL SIDING**
MANUFACTURER: ALPOLIC
SUPPLIER NU-LOOK PRODUCTS, INC.
COLOR: XX
- EXTERIOR PAINT**
MANUFACTURE: BENJAMIN MOORE
COLOR: XX
PRODUCT: AURA EXTERIOR - LOW LUSTRE #634
PRIMER: FIRST COAT AURA EXTERIOR SATIN #634
PRODUCT: MOORGLO SOFT GLOSS ACRYLIC #N103
- WINDOWS**
ALUMINUM STOREFRONT WINDOWS. U-VALUE = 0.34 OR LESS. CAULKED AND SEALED PER MANUFACTURER.
- WINDOW FRAME**
MANUFACTURE: YKK AP AMERICA, INC. OR EQUAL
STYLE 2" X 4 1/2"
FINISH: CLEAR SATIN ANODIZED ALUMINUM
GLAZING: CLEAR 1" INSULATED, LOW-E GLASS
- SILL FLASHING**
MANUFACTURE: YKK AP AMERICA, INC. OR EQUAL
FINISH: ANODIZED CLEAR SATIN
SIZE: 2" - AS REQUIRED BY LOCATION
- MAN DOORS**
MANUFACTURER: XX
COLOR: XX
MAN DOORS TO BE ALUMINUM STORE FRONT GLASS DOORS WITH PANIC HARDWARE WHERE DEEMED NECESSARY.
SECOND MAN DOOR TYPE IS TO BE PRE-PRIMED AND PAINTED HOLLOW CORE STEEL DOORS.
- GARAGE DOOR**
METAL INSULATED PANELS ROLL UP GARAGE DOOR.
COLOR: XX
MANUFACTURE: XX
- METAL TRELLIS**
TUBE STEEL METAL TRELLIS FRAMING WINDOWS AND AT ENTRYWAYS. RE: DETAILS XXX,XXX...
- CANTILEVERED STRUCTURE**
CANTILEVERED STRUCTURE AT AMPHITHEATER.
CANTILEVERED TUBE STEEL STRUCTURE. RE: DETAILS XXX,XXX
- WALKWAYS**
CLEAR WALKWAY OPENINGS TO ENTRY.
ADJACENT WALLS WRAPPED IN SIMULATED STONE.
- CRICKET**
BUILT UP CRICKET BEHIND ENTRY WALL. FRAME OVERBUILT PER STRUCTURAL.
- AMPHITHEATER**
OUTDOOR AMPHITHEATER
- FINISH GRADE**
MAINTAIN MINIMUM 8" ABOVE ADJACENT GRADE TO LOWEST WOOD AND STRAW BALE MEMBERS. SLOPE GRADE AWAY FROM BUILDING AT 5% FOR A MINIMUM OF TEN FEET.



1 NORTHWEST ELEVATION
RE: 1/A2.0

1/8" = 1'-0"



2 SOUTHWEST ELEVATION
RE: 1/A2.0

1/8" = 1'-0"



THE JOURNEY CHURCH
750 E. Mingus Ave
Cottonwood, AZ

ELEVATIONS

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
PROJECT # 1802

A3.1

ELEVATION NOTES

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PRO-PANEL METAL ROOFING INSTALLED PER MANUFACTURER OVER GRACE ICE AND WATER SHIELD UNDERLAYMENT OR EQUAL, WITH BATT INSULATION R-38 MINIMUM. PLACE 26 GAUGE METAL FLASHING AT ALL VALLEYS, CHANGES OF PITCH, AT ROOF DRIP EDGE, AND WALL ROOF CONNECTIONS. ATTACHED TO METAL STUD FRAMING AND METAL BUILDING. MANUFACTURE: MS ROOFING
COLOR: XX

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24 GAUGE STEEL
COLOR: XX
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FINISH: (EXAMPLE: 306 STO MEDIUM SAND)
USE HIGH IMPACT FINISH FROM +36" TO GRADE

SIMULATED STONE
SUPPLIER: BORAL STONE
STYLE: COUNTRY LEDGE STONE - WET STACK
COLOR: XX
GROUT: XX
WITH MATCHING SILL CAPS AND WINDOWS

METAL PANEL SIDING
MANUFACTURER: ALPOLIC
SUPPLIER NU-LOOK PRODUCTS, INC.
COLOR: XX

EXTERIOR PAINT
MANUFACTURE: BENJAMIN MOORE
COLOR: XX
PRODUCT: AURA EXTERIOR - LOW LUSTRE #634
PRIMER: FIRST COAT AURA EXTERIOR SATIN #634
PRODUCT: MOORGLO SOFT GLOSS ACRYLIC #N103

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COLOR: XX
MANUFACTURE: XX

METAL TRELLIS
TUBE STEEL METAL TRELLIS FRAMING WINDOWS AND AT ENTRYWAYS. RE: DETAILS XXX,XXX...

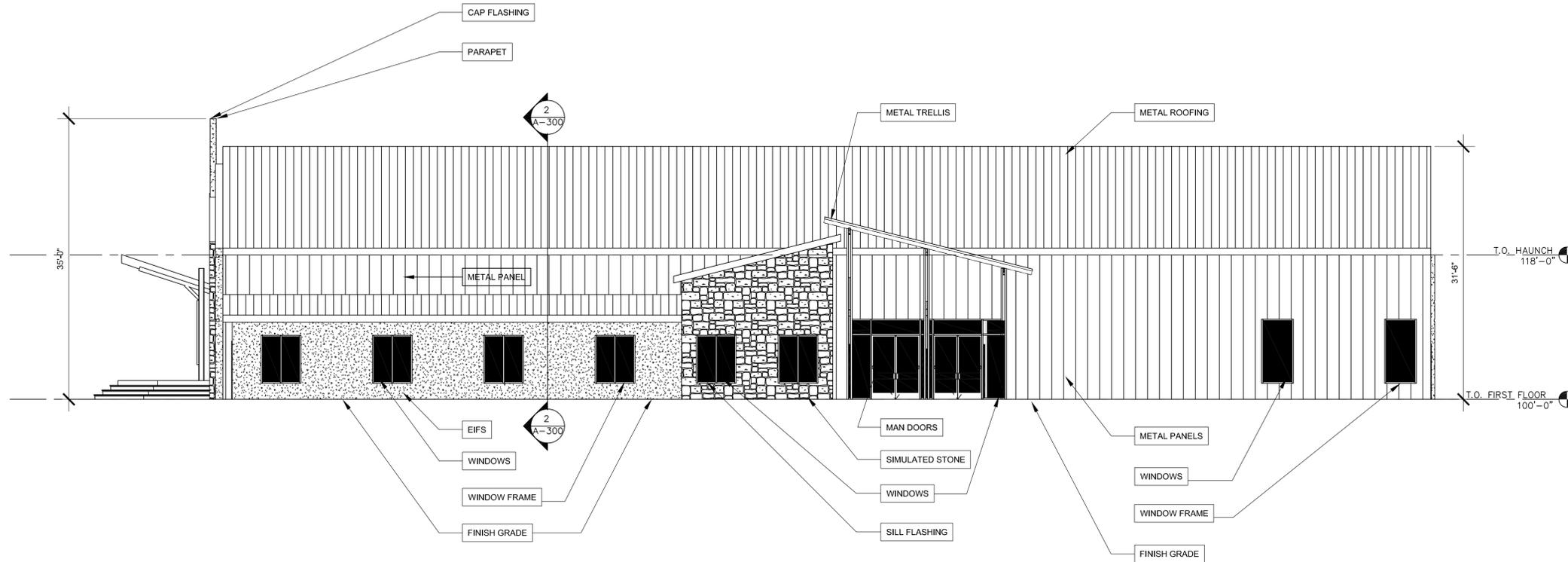
CANTILEVERED STRUCTURE
CANTILEVERED STRUCTURE AT AMPHITHEATER.
CANTILEVERED TUBE STEEL STRUCTURE. RE: DETAILS XXX,XXX

WALKWAYS
CLEAR WALKWAY OPENINGS TO ENTRY.
ADJACENT WALLS WRAPPED IN SIMULATED STONE.

CRICKET
BUILT UP CRICKET BEHIND ENTRY WALL. FRAME OVERBUILT PER STRUCTURAL.

AMPHITHEATER
OUTDOOR AMPHITHEATER

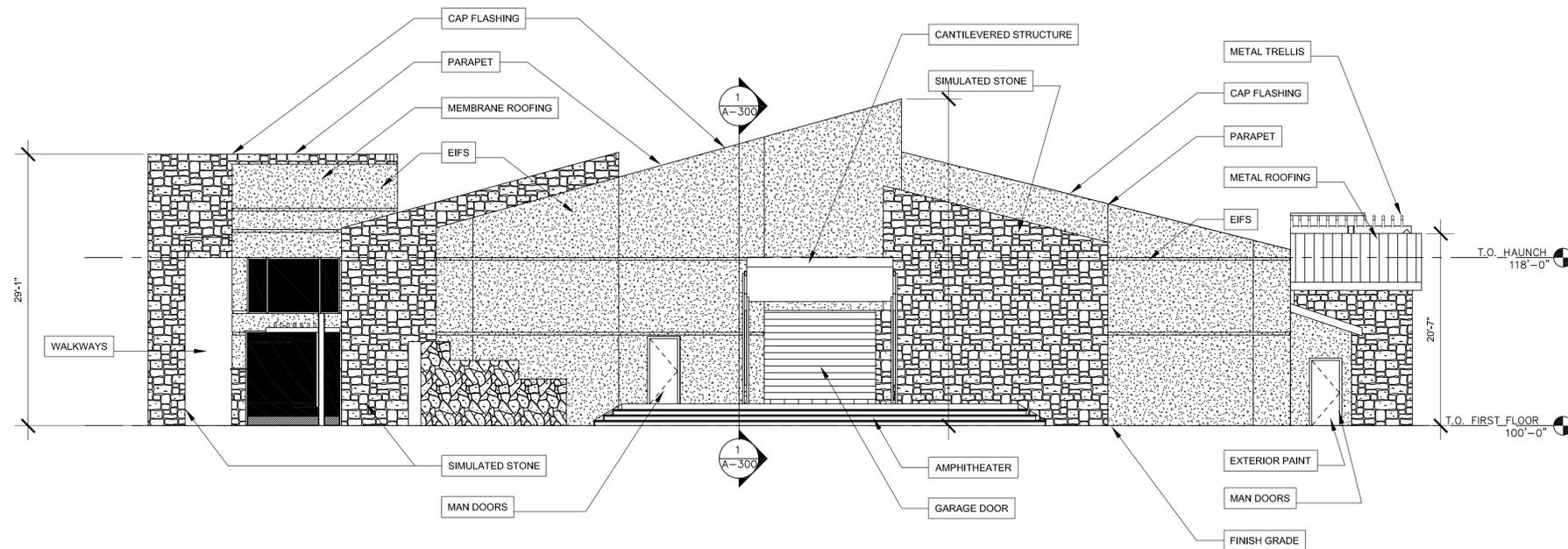
FINISH GRADE
MAINTAIN MINIMUM 8" ABOVE ADJACENT GRADE TO LOWEST WOOD AND STRAW BALE MEMBERS.
SLOPE GRADE AWAY FROM BUILDING AT 5% FOR A MINIMUM OF TEN FEET.



1 NORTHEAST ELEVATION

RE: 1/A2.0

1/4" = 1'-0"



2 SOUTHEAST ELEVATION

RE: 1/A2.0

1/4" = 1'-0"

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928.890.8348



THE JOURNEY CHURCH
750 E. Mingus Ave
Cottonwood, AZ

COLORED PERSPECTIVES

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
PROJECT # 1802

1 COLORED ELEVATIONS AND PERSPECTIVES

RE: 1/A3.0

N.T.S.

A3.2

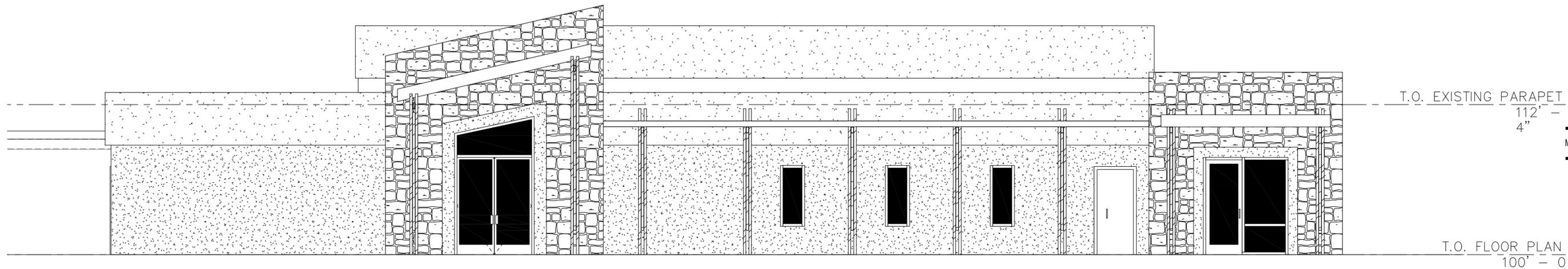
sheet 9 of 11

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THE JOURNEY CHURCH
750 E. Mingus Ave
Cottonwood, AZ



T.O. EXISTING PARAPET
112' -
4"

MAIN LEVEL FLOOR PLAN

T.O. FLOOR PLAN
100' - 0

DESIGN REVIEW: 01.10.19

1 SOUTH ELEVATION - REMODEL

RE: 1/A2.3

1/4" = 1'-0"

DRAWN BY: TY
PROJECT # 1802

A3.3

sheet 10 of 11

SECTION NOTES

METAL ROOFING
 PRO-PANEL METAL ROOFING INSTALLED PER MANUFACTURER OVER GRACE ICE AND WATER SHIELD UNDERLAYMENT OR EQUAL, WITH BATT INSULATION R-38 MINIMUM. PLACE 26 GAUGE METAL FLASHING AT ALL VALLEYS, CHANGES OF PITCH, AT ROOF DRIP EDGE AND WALL ROOF CONNECTIONS. ATTACHED TO METAL STUD FRAMING AND METAL BUILDING. MANUFACTURE: MS ROOFING. COLOR: XX

MEMBRANE ROOFING
 MEMBRANE ROOFING SHALL BE DURALAST 50 MIL PVC MEMBRANE. INSTALL ROOFING PER MANUFACTURE. MEMBRANE SHALL BE MECHANICALLY ATTACHED AND TURNED UP PARAPET 1'. ALL BOOTS AND CURBS TO PROVIDE WATERTIGHT SEAL. INSTALL Z METAL ON PARAPETS. COLOR TO BE TAN. SPRAY CLOSED CELL FOAM RIGID INSULATION ON UNDER SIDE OF THE SHEATHING DOWN THE WALLS TO THE LEVEL OF THE GYPSUM BOARD ON THE WALLS, R-38 MINIMUM. PLACE 26 GAUGE FLASHING AT ROOF DRIP EDGE, OVER 2" 40/20 ROOF SHEATHING NAILED TO SLOPED TRUSSES.

INSULATION
 SPRAY FOAM RIGID INSULATION TO THE BOTTOM OF ROOF SHEATHING, THEN SPRAY FOAM RIGID INSULATION DOWN THE WALLS TO THE LEVEL OF THE GYPSUM BOARD ON THE WALLS. USE FIBERGLASS BATT INSULATION WITH A MINIMUM OF R-21 IN THE WALL CAVITY THAT WILL BE GYPSUM BOARD.

PARAPET WALL
 CAP FLASHING. SEE NOTE D ON EXTERIOR ELEVATION NOTES ON A3.0. EXTERIOR INSULATION FINISH, EIFS: MAIN FINISH, MANUFACTURE: STO CORPORATION. SEE NOTE B ON EXTERIOR ELEVATIONS ON A3.0.

CAP FLASHING
 24 GAUGE STEEL
 COLOR: XX
 FINISH: KYNAR 500

EIFS (EXTERIOR INSULATION FINISH SYSTEM)
 MAIN FINISH FOR STUCCO POCHED WALLS
 ACCENT FINISH (HIGH IMPACT)
 MANUFACTURE: STO CORPORATION
 COLOR: (NA11-0034)
 FINISH: (EXAMPLE: 306 STO MEDIUM SAND)
 USE HIGH IMPACT FINISH FROM +36" TO GRADE

SIMULATED STONE
 SUPPLIER: BORAL STONE
 STYLE: COUNTRY LEDGE STONE - WET STACK
 COLOR: CHARDONNAY
 GROUT: GREY
 REFER TO EXTERIOR ELEVATION NOTE A ON SHEET A3.0.

METAL PANEL SIDING
 PANEL E MANUFACTURE: APOLIC
 SUPPLIER: NU-LOOK PRODUCTS, INC
 COLOR: 3MM ALPOLIC PANEL DQ RED. REFER TO EXTERIOR ELEVATIONS NOTES E, F, G AND H FOR METAL PANEL SPECIFICATIONS.

GUTTER
 METAL GUTTER COLOR BY OWNER. GUTTER SHALL HAVE HANGERS @ 36" O.C. SLOPE FALSE BOTTOM @ 1/4" PER FOOT. PLACE DOWNSPOUTS AT APPROPRIATE LOCATIONS.

WINDOWS
 WINDOW FRAME TO BE MANUFACTURED YKK AP AMERICA, INC. STYLE 2" X 4 1/2". FINISH: CLEAR SATIN ANODIZED ALUMINUM. GLAZING CLEAR 1" INSULATED. LOW-E. SEE EXTERIOR ELEVATION NOTE K ON A3.0.

MAN DOORS
 SEE EXTERIOR ELEVATION NOTE K ON A3.0. REAR DOOR EXTERIOR PAINT MANUFACTURER: BENJAMIN MOORE, COLOR SANDY BROWN, PRODUCT: AURA EXTERIOR. SEE EXTERIOR ELEVATION NOTE R ON A3.0.

EXTERIOR WALLS
 SIDING PER EXTERIOR ELEVATIONS ON A3.0 AND A3.1 OVER BUILDING WRAP, TYVEK OR EQUAL, OVER 2X6 METAL STUDS @ 16" O.C. OVER GYPSUM BOARD PER FIRE RATED WALL WITH R-21 BATT INSULATION OVER 3/4" GYPSUM BOARD, PAINTED. REFER TO FINISH SCHEDULE ON A6.0.

INTERIOR WALLS
 INTERIOR WALL TO BE 2X4's AND 2X6's @ 16" O.C. WITH 1/2" GYPSUM WALL BOARD ON BOTH SIDES WITH "LIGHT KNOCK DOWN" TEXTURE & LOW VOC PAINT.

UNDERFRAME
 UNDERFRAME WITH 2X4 METAL STUDS @ 2'-0" O.C..

METAL TRELLIS
 TUBE STEEL METAL TRELLIS FRAMING WINDOWS AND AT ENTRYWAYS. RE: DETAILS XXX,XXX...

CANTILEVERED STRUCTURE
 CANTILEVERED STRUCTURE AT AMPHITHEATER. CANTILEVERED TUBE STEEL STRUCTURE. RE: DETAILS XXX, XXX

METAL BUILDING
 METAL BUILDING BY OLYMPIA STEEL BUILDINGS. REFER TO OLYMPIA STEEL BUILDING'S DRAWINGS.

CONCRETE SLAB
 5" THICK CONCRETE SLAB OVER VAPOR BARRIER OVER 6" MIN. COMPACTED GRANULAR FILL, WITH #4 REBARS @ 2'-0" O.C. EACH WAY. CONTROL JOISTS @ 12'-0" O.C. MAXIMUM. REFER TO STRUCTURAL FOR SIZE AND SPACING OF REBAR.

FOUNDATION
 6" FORMED AND POURED CONCRETE STEM WALL OVER CONTINUOUS 8"X16" CONCRETE FOOTING BELOW FROST DEPTH. PROVIDE 2" RIGID INSULATION FROM TOP OF FOOTING TO 6" BELOW GRADE. RE: STRUCTURAL FOR REBAR.

SILL SEAL
 CLOSED CELL FOAM SILL SEAL AND CAPILLARY BREAK, TYPICAL AT SLAB AND STEM WALL INTERSECTION.

FINISH GRADE
 MAINTAIN MINIMUM 8" ABOVE ADJACENT GRADE TO LOWEST WOOD MEMBERS. SLOPE GRADE AWAY FROM BUILDING AT 5% FOR A MINIMUM OF TEN FEET.

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 9 2 8 . 8 9 0 . 8 3 4 8

THE JOURNEY CHURCH
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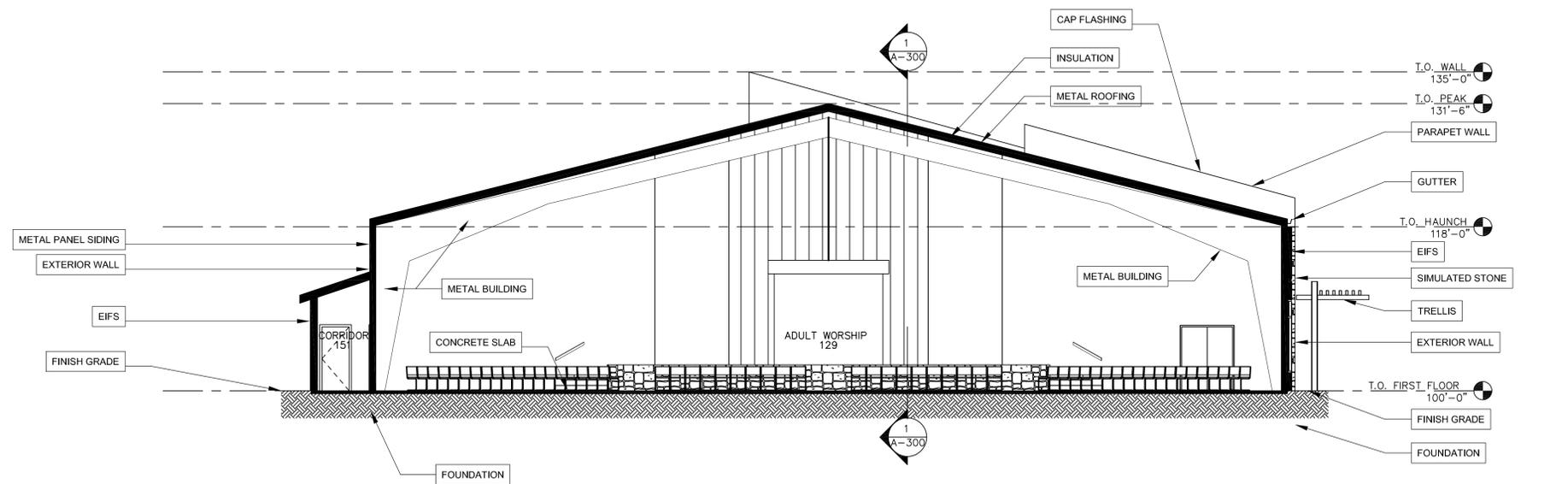
SECTIONS

DESIGN REVIEW: 01.10.19

DRAWN BY: TY
 PROJECT # 1802

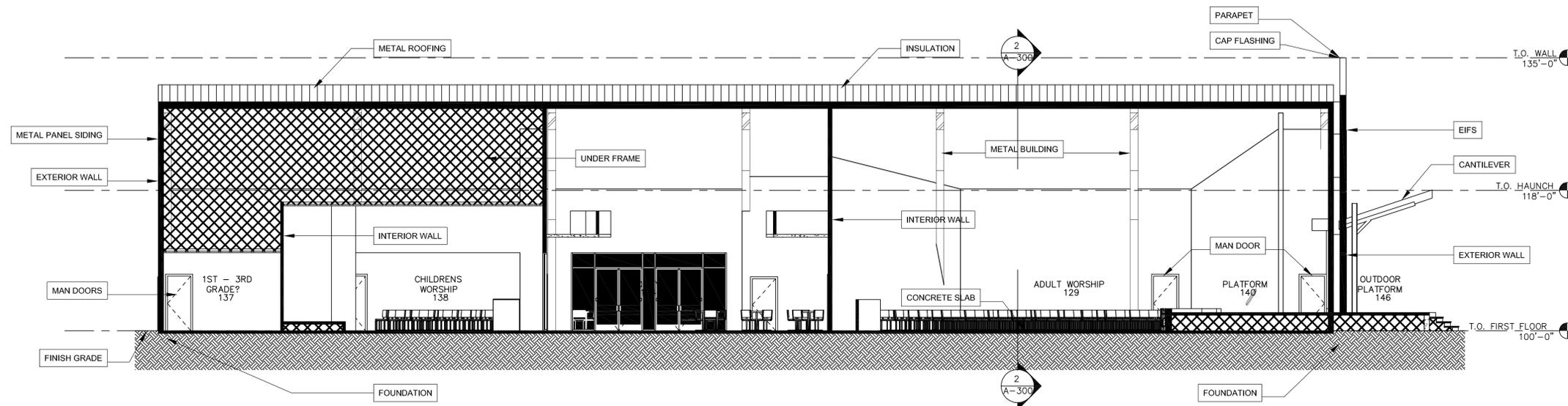
A4.0

sheet 11 of 11



1 CROSS SECTION
 RE: 1/A2.0

1/8" = 1'-0"



2 LONGITUDINAL SECTION
 RE: 1/A2.0

1/8" = 1'-0"



STAFF REPORT

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

THROUGH: Berrin Nejad, Community Development Director

HEARING DATE: February 25, 2019

PROJECT NUMBER: DR 19-003 Cottonwood Christian Assembly

The applicant is requesting approval of a Design Review application for the expansion plans of an existing church facility. The proposed first phase of the project is a new 16,400 sq. ft. sanctuary. Future phases are proposed to include an outdoor amphitheater, splash pad, recreational field, renovations to existing structures and additional parking.

PROJECT DATA AND FACTS:

Applicant/Agent	Jim Lawler, Lawler Construction
Property Owner	Cottonwood Christian Assembly, Inc.
Location of Property	On the Northeast corner of Mingus Ave at the intersection of 7 th St. Property address is 750 E. Mingus Ave. APN 406-42-012N
Present Zoning and Land Use	R-3 (Multiple Family Residential) Currently a church facility.
Description of Applicant’s Request	Design Review for a new sanctuary in the first phase of development and planning for future phased development of accessory uses to the church.

LAND USE:

Description and Character of Surrounding Area
<p>North: R3 (Multiple Family Residential) – Apartment complex (Mountain View Manor) and a vacant parcel.</p> <p>East: R3 (Multiple Family Residential) and MH (Manufactured Home) Currently developed with a multi-family condominium project (Casa Del Sol) and a manufactured home subdivision.</p> <p>South: R-3 (Multiple Family Residential) – Multi Family Condominium and apartment complexes (Aspen Ridge and Casa Del Sol).</p> <p>West: C1 (Light Commercial) – US Postal Service facility</p>

PROJECT PROPOSAL:

Background:

At the present time the church currently operates from the current location. Yavapai County public records identify that the church buildings were constructed in 1979 and 1984. The applicant has submitted plans that identify the project as a whole and has stated it is their intent to proceed with the main church building in Phase 1 and future phases would include amenities such as an outdoor amphitheater, a splash pad, recreational fields renovation to existing buildings and additional parking.

SITE PLAN:

Architecture, Materials, Colors:

The new sanctuary building is proposed as a 16,400 sq. ft. pre-engineered metal building. The exterior finishes will include stone work, stucco, glazing and an architectural metal panel.

Parking: The applicant is proposing a total of 260 parking spaces to be provided. Parking required for the project is based on 1 space for every 300 sq. ft. of gross floor area plus 1 per employee. parking would be utilized by future uses of the amphitheater, future pantry area and outdoor gathering spaces such as the ball field.

Access/Driveways: The subject parcel is currently accessed in different locations. One driveway from the recently improved Mingus Avenue is currently used and will remain as proposed for the project. Another curb cut exists near the East side of the property which is currently not used for access to the current building but future plans would make this a second access to the new development from Mingus Avenue. Other access drives are located on the west side of the parcel along 7th Street which is a private roadway that also provides access to the adjacent apartment complex. There are various access drives to the property to access the parking areas surrounding the buildings. The City Engineer has concurred that the location of the entrance drives are acceptable and there is not a conflict with existing driveways across Mingus Avenue.

SCREENING:

Adjacent to residential:

The eastern portion of the property is adjacent to a multi-family apartment complex and single family manufactured home properties. A landscape buffer of ten (10) feet is required adjacent to single family residential uses, and can be required adjacent to other than single residence uses. The applicant is proposing to use existing vegetation along portions of the eastern property line, with minimal to no additional landscaping to be provided along portions of the property line. This is also the case along the north property line, adjacent to a multi-family apartment complex, however, there is a large natural vegetation buffer between the two properties.

One corner of the proposed soccer field appears to be approximately seven (7) feet from the east property line, and another corner is approximately seven (7) feet to the north property line. The applicant has not shown any proposed landscaping along this area for buffer/screening purposes. It is unknown just how visible the ballfield will be once it is improved and some existing vegetation is removed. A stipulation has been added that the ballfield remain 10' within the property line and

that a landscape plan utilizing existing vegetation and new landscape materials be submitted and approved to provide adequate screening and buffering from the adjacent properties. This should address the seasonality of different vegetation that may not be present all year.

The portion of the parking area closer to Mingus Avenue along the east side of the parcel would be visible from the adjacent multifamily development. In this location, staff is stipulating that enhanced landscaping and vegetation be provided to achieve the screening requirements. This may be achieved by the use of landscape vegetation and/or a 6' solid wall or fence.

Section 407.B.1.b.2 of the City of Cottonwood Zoning Ordinance regarding landscaping states the following:

Additional landscaping may be required as a condition of approval for rezoning, conditional use permits or design review, as necessary to address screening, compatibility of uses, consistency with existing conditions or aesthetic considerations.

In addition Section 407.D.4 states:

Phased development. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the director. Disturbed portions of future development areas approved for phased development shall be treated with approved landscape material or covered with an approved aggregate groundcover, such as decomposed granite or gravel.

Adjacent to the street:

Some parking areas currently exist adjacent to Mingus Avenue and additional parking will be improved along this portion of the site. There is a 15' landscaped buffer required within the property and the screening required may be a combination of plant materials, berms or low screen walls. The applicant has submitted a letter requesting that a berm or low fence not be required for this portion of the site and that adequate screening can be achieved through landscaping. The intent for screening may be accommodated by the use of landscape materials.

General Landscape Requirements:

The project shall comply with Section 407.D.4 which states:

Phased development. Future building pads within a phased development shall be improved with temporary landscaping, or otherwise maintained weed-free in such a manner as may be approved by the director. Disturbed portions of future development areas approved for phased development shall be treated with approved landscape material or covered with an approved aggregate groundcover, such as decomposed granite or gravel.

Section 407.G.2 states:

Landscape buffering. As per the standards set forth in this Ordinance, landscape buffering is required between non-residential uses and residential uses, and between multi-family residential and single family uses. Landscape buffering may include trees and shrubs, solid masonry walls, grade changes and/or berms, or a combination of design components.

Lighting:

The applicant has submitted proposed lighting fixtures that meets the Dark Sky Ordinance. All new lighting fixtures are required to meet the outdoor lighting requirements.

Signage:

Any new signage would be required to obtain the appropriate sign permit and meet all sign regulations.

Utilities:

All necessary utilities for the site are existing.

CRB Review:

This project was reviewed by the Code Review Board on October 17, 2017. The applicant will need to meet all requirements as indicated in the meeting comments.

STIPULATIONS:

If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans submitted for the February 25, 2019 meeting and as may be further modified by the Planning and Zoning Commission.
2. That the project conforms to Code Review Board comments dated October 24, 2017.
3. A Certificate of Zoning Compliance documenting the completion of Design Review conditions shall be issued prior to the Certificate of Occupancy.
4. The location of the ballfield areas may be no closer than 10' to the adjacent properties to allow for landscaped areas to be provided for screening.
5. Submit a detailed landscape plan to be reviewed and approved by the Planning Department to address the use of landscaping and existing vegetation to achieve the required screening from adjacent residential properties and street perimeter landscaping.
6. The landscaped area along Mingus Avenue shall be completed with Phase 1 of the Development.
7. Building Permits shall be applied for by twelve (12) months from the date of approval by the Planning & Zoning Commission.
8. Any other stipulations the Planning & Zoning Commission deems necessary.

January 10, 2020

LETTER OF INTENT

City of Cottonwood
Planning and Zoning Approval
Subject Property: 25 East Cottonwood Street, Cottonwood, AZ
Parcel #406-08-007C

Gentlemen:

My name is Gail Herrick and I am the applicant represented by Sefton Engineering, for a storage facility to be named "Herrick Storage", located at 25 E. Cottonwood Street.

I am in the process of purchasing this property.

The property consists of 2.3 acres of industrial zoning. It is currently undeveloped property. The storage facility consists of nine separate buildings. The project will be built in three phases each, consisting of three buildings per phase. There will be a single entrance from east Cottonwood Street entering phase one.

There will be an electronic ornamental iron gate adjacent to building one that will secure the north boundary of the property. The east property line will have a six-foot high masonry wall along it and the south and west property lines will have a six-foot high chain link fence. A kiosk will be located at building one where clients can establish rental agreements, make payments, etc., as well as have issued a gate code specific to their unit to gain access to their unit and the facility.

Between building one and Cottonwood Street will be a landscaped area as well as landscaping the full length of the east property line. A sidewalk will be extended the full length of the property along Cottonwood Street.

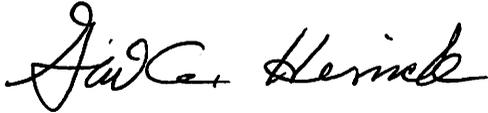
The buildings will be metal construction and all vehicle access will be paved. The buildings will have four-hour fire walls every 1,000 square feet.

A wash crosses the property at an angle from west to east that is head walled and piped through the property. Detention has been designed to meet city and county standards.

Once the first phase reaches 75-80% occupancy, then the second phase will commence and accordingly with the third phase.

It is my intent to have an efficient, well secured, attractive, nicely landscaped facility that the city of Cottonwood will be pleased to accept into the community.

Sincerely,

A handwritten signature in cursive script that reads "Gail Herrick".

Gail Herrick

Date: 1/17/20



"Inspiring a Vibrant Community"

STAFF REPORT

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

HEARING DATE: February 24, 2020

PROJECT NUMBER: DR 20-001 Herrick Mini Storage

The applicant is requesting approval of a Design Review application for a new mini storage facility. The subject parcel is located at 25 E. Cottonwood Street, Assessor Parcel Number 406-08-007C.

PROJECT DATA AND FACTS:

Applicant/Agent	Luke Sefton
Owner	Edward J and Sarah E Bermingham Trust
Location of Property	25 E. Cottonwood St.
Present Zoning and Land Use	I-2, Heavy Industrial
Description of Applicant's Request	Design Review approval of a new mini storage facility.

LAND USE:

Description and Character of Surrounding Area
The site is located at 25 E. Cottonwood Street. It is located on the south side of Cottonwood Street and is surrounded by vacant industrial property, a mobile home park and mobile home subdivision, and kennel.
North: I-2 (Heavy Industrial) Existing Animal Kennel
South: I-2 (Heavy Industrial) Vacant
East: MH (Manufactured Home) Existing Manufactured Home Park
West: I-2 (Heavy Industrial) Vacant

PROJECT PROPOSAL:

Background: The subject site is a 2.29 acre parcel (99,752 square feet) on the south side of E. Cottonwood Street, which is currently vacant, and is proposed to be developed with a 37,500 square foot mini storage facility consisting of 9 buildings to be constructed in 3 phases.

STRUCTURE DESIGN:

Number of Buildings	9
Number of Stories	1
Square Footage	37,500

Parking: A total of nineteen (19) spaces are required for this project and are dispersed throughout the site at the ends of the storage buildings with two (2) spaces identified just inside the front gate for access to the office kiosk, one (1) space near the trash location and two (2) spaces are located to the rear of the subject site adjacent to building 9.

Access: Access will be from Cottonwood Street on the North side of the property by a single driveway entrance.

Screening: A solid masonry wall six (6) feet in height will be constructed along the entire eastern boundary of the property adjacent to the residential use. The wall will be reduced to three (3) feet in the front 20' setback area adjacent to Cottonwood Street. Areas along the south and west boundaries will have six (6) foot chain link fencing for security adjacent to other industrial zoned properties. The entire screen wall adjacent to the residential use will be constructed as a part of Phase 1.

Lighting: Exterior lighting will have to meet Section 408 of the City of Cottonwood Zoning Ordinance Lighting Code.

Signage: At this time the final signage plan has not been determined. A complete sign permit application with all required details will be submitted to staff for approval when a design has been agreed upon.

Landscaping Plan:

The landscape plan as submitted meets zoning ordinance requirements with one (1) modification. The landscape island along the eastern boundary of the development shall be extended to be a minimum of ten (10) feet along the entire length of the property.

Utilities: All necessary utilities are located in proximity to the site and will be required to meet any requirements from the Utility Department.

Architecture, Materials, Colors:

The storage buildings will be metal construction and the colors submitted by the applicant are "Mocha Tan" and "Barn Red" (Color samples are attached).

CRB Review:

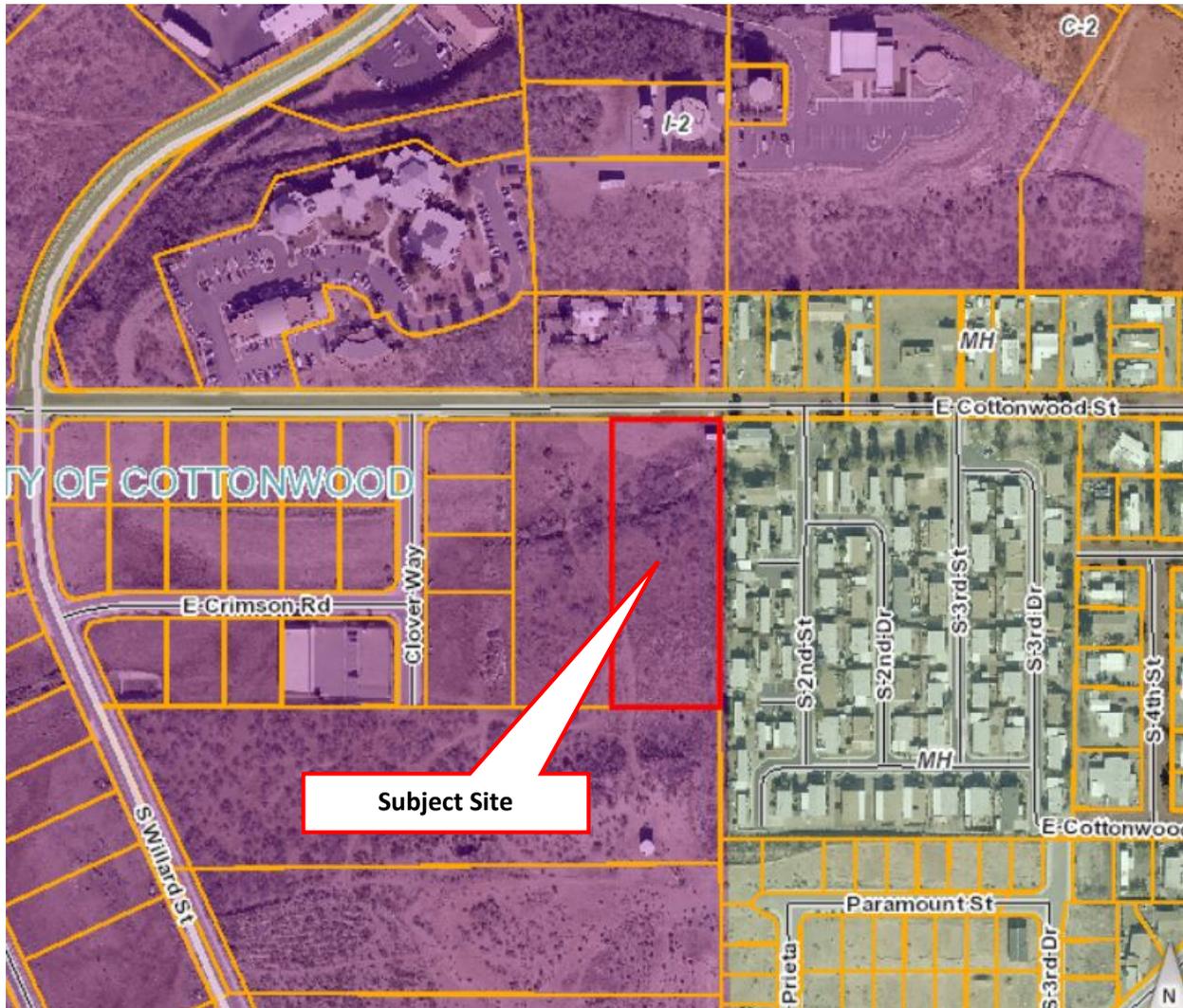
This project was reviewed by the Code Review Board on January 15, 2019 for the initial approval and the applicant has met the requirements from staff included in the Design Review application.

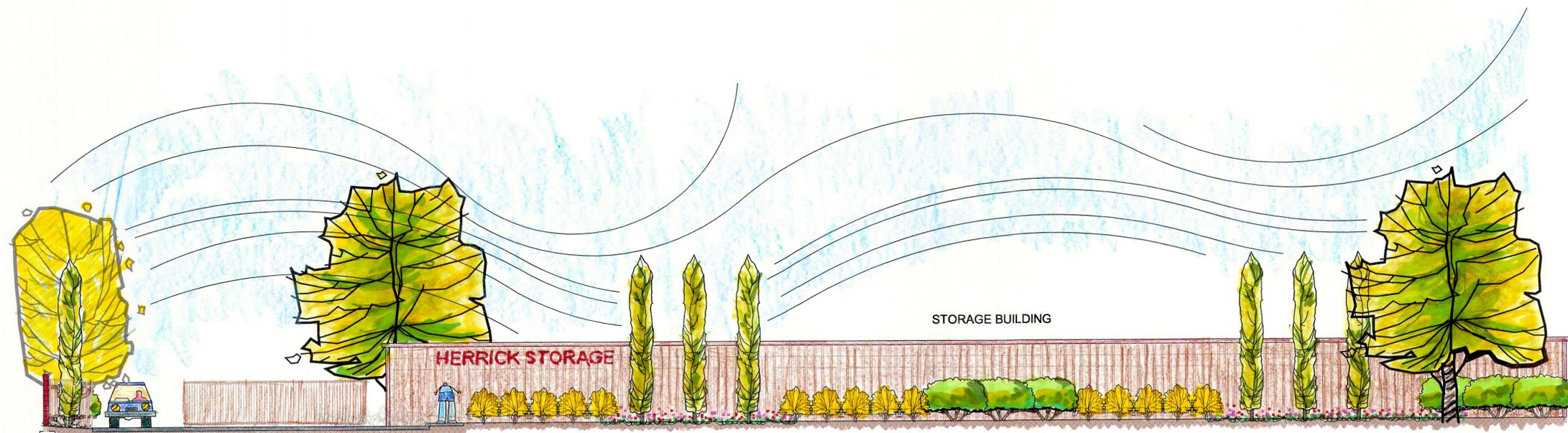
STIPULATIONS:

Staff has reviewed this project and finds it fits within the Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans as approved at the Planning and Zoning Commission at the February 24, 2020 meeting.
2. That the project conforms to Code Review Board comments dated February 6, 2019.
3. That the project complies with all Building, Engineering and Fire Department requirements.
4. Maintain a ten (10) foot wide landscape area along the entire eastern boundary of the subject site adjacent to the residential properties.
5. The trash enclosure shall be screened with solid materials to comply with Section 404.S.1.a and b and the landscape buffering requirements of Section 407.D.8
6. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued within 24 months of the Planning Commission action.
7. Any other stipulations the Planning & Zoning Commission deems necessary.

Vicinity Map – Herrick Storage 25 E. Cottonwood Street Design Review 20-001





CMU WALL @
PROPERTY
LINE

AC PAVED
ENTRY

6' HIGH METAL
SLIDING GATE

SIDE
WALK

WALL MOUNTED
SIGNAGE

FOUNDATION LANDSCAPING

R

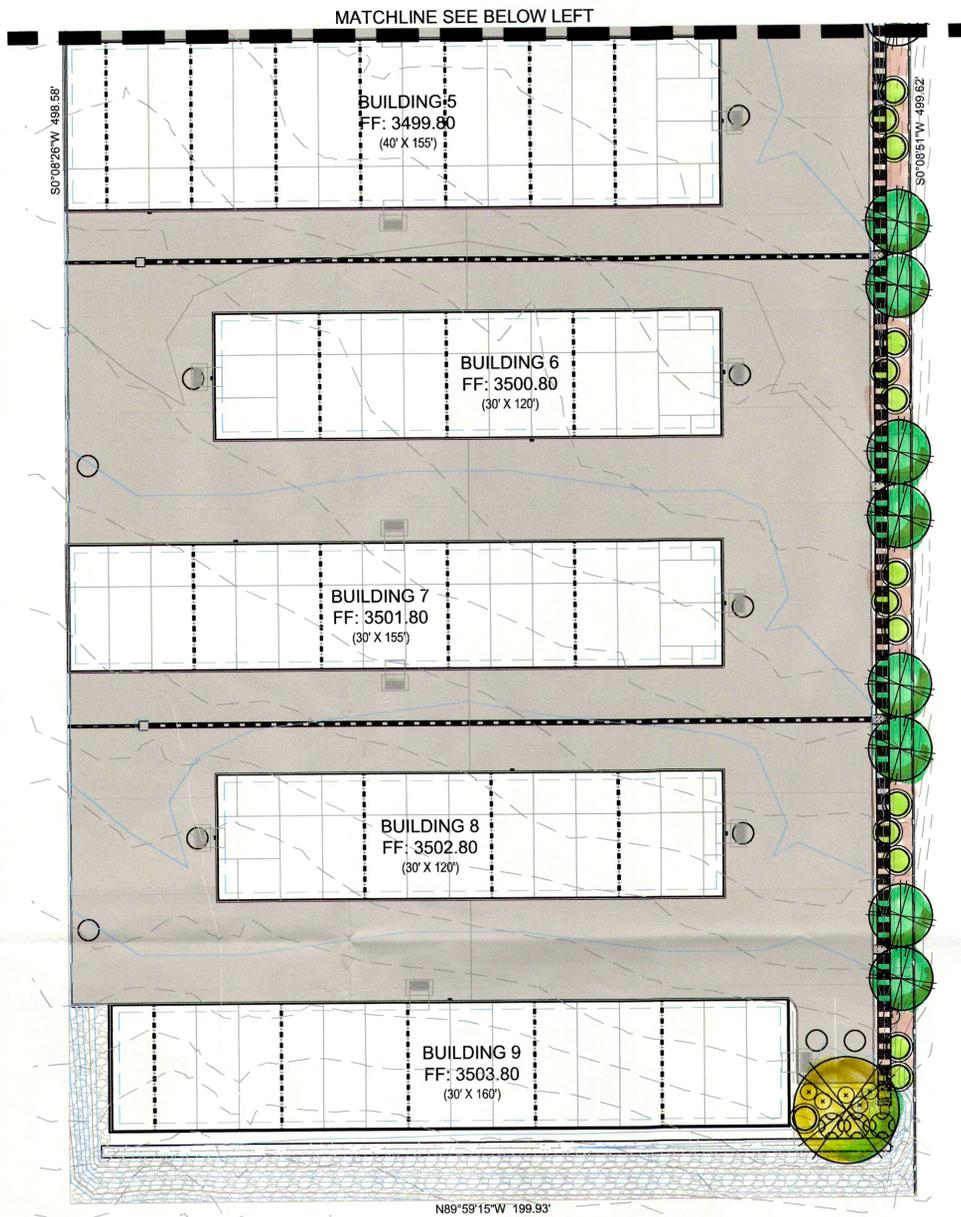
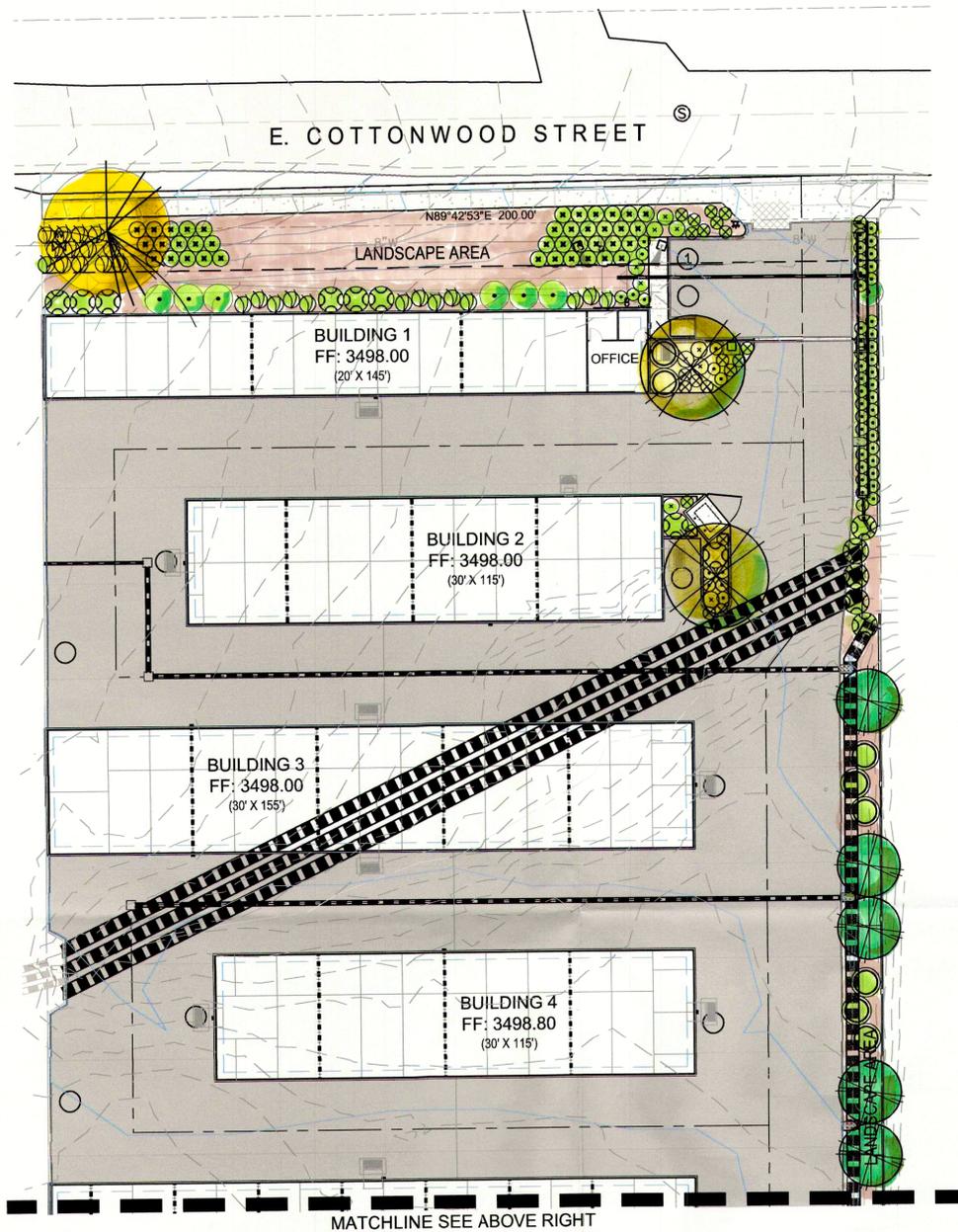
ROOFING		BUILDING COLOR SCHEME	
	COLOR	WALLS/DOORS	COLOR
Panel	GalvaLime	Panel/Base Trim	Mocha Tan
Gutter Strap	GalvaLime	Corner Trimming	Mocha Tan
Header/Jamb Trim	Mocha Tan	Mullion Cover	Mocha Tan
Gutter Trim/Header Angle	Cedar Red	Jamb Cap/Header Angle	Mocha Tan
Rake/Gutter/Eave/Peak	Cedar Red	Downspouts/Jamb Trim	Cedar Red
Sliding Gate	Cedar Red	Roll-up Doors	Cedar Red

STREETSIDE FRONT ELEVATION
HERRICK STORAGE

COTTONWOOD, ARIZONA

Scale: 1/8" = 1' - 0"

rev December 20, 2019 October 10, 2019



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
TREES					
	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	BLACK LOCUST	15 GAL		1
	ALBIZIA JULIBRISSIN 'ROSEA'	MIMOSA TREE	15 GAL	MATCHED STANDARDS	3
	CUPRESSUS SEMPERVIRENS 'STRICTA'	ITALIAN CYPRESS	15 GAL	MATCHED HEIGHTS	7
SHRUBS					
	COTINUS COGGYGRIA 'ROYAL PURPLE'	SMOKE TREE	15 GAL	15'-0" O.C.	13
	EUONYMUS ALATUS 'COMPACTA'	WINGED EUONYMUS	5 GAL	6'-0" O.C.	16

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUHLY	1 GAL	3'-0" O.C.	15
	MAHONIA AQUIFOLIUM 'COMPACTA'	OREGON HOLLYGRAPE	1 GAL	4'-0" O.C.	26
	TEUCRIUM CHAMAEDRYIS 'PROSTRATUM'	GERMANDER	1 GAL	3'-0" O.C.	54
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	TEXAS SAGE	5 GAL	4'-0" O.C.	23
	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	1 GAL	3'-0" O.C.	39
	SALVA MEMOROSA 'OSTFRIESLAND'	MAY NIGHT	1 GAL	2'-6" O.C.	21

GROUNDCOVERS

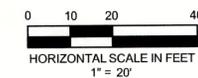


DECORATIVE GRAVEL COVER ALL LANDSCAPE AREAS (3" MINIMUM DEPTH)

NOTE: PLANT QUANTITIES ARE FOR CITY PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.

GENERAL NOTES:

- SURVEY AND TOPOGRAPHY DATA PROVIDED BY HAMMES SURVEYING, LLC, 2100 VIA SILVERDO, CAMP VERDE, AZ. AND WAS PERFORMED IN NOVEMBER 2016.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS.
- TEMPORARY TRAFFIC SURFACING SHALL BE APPLIED PRIOR TO CONSTRUCTION AND SHALL CONSIST OF NO LESS THAN A 4" THICKNESS OF 3/4" AGGREGATE. THE SURFACE SHALL EXTEND FROM THE EXISTING ROADWAY TO THE BUILDING FOOTPRINT.



Leonard A. Filner
Landscape Design
1628 E. Birch Street, Apt. 1
Cottonwood, Arizona, 86326
(714) 337-7706

LANDSCAPE PLAN

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD STREET

SHEET TITLE:

PROJECT TITLE:

DRAWN BY: LAF

SCALE: 1" = 20'

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

C-22

20 STUTZ BEARCAT DR. #8
SEDONA, ARIZONA 86336
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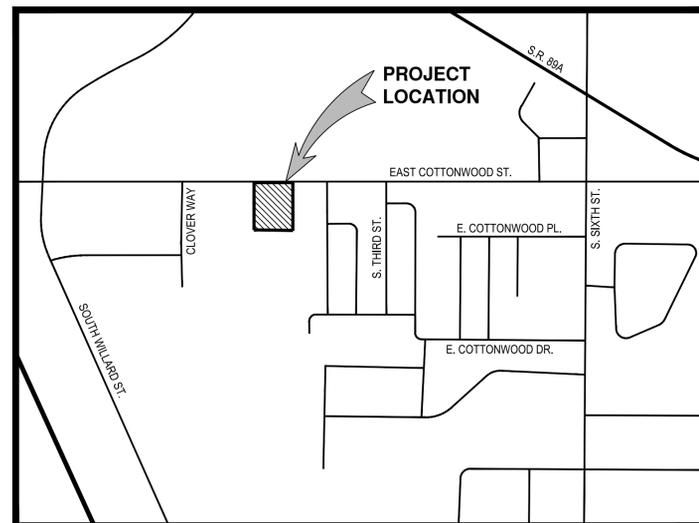
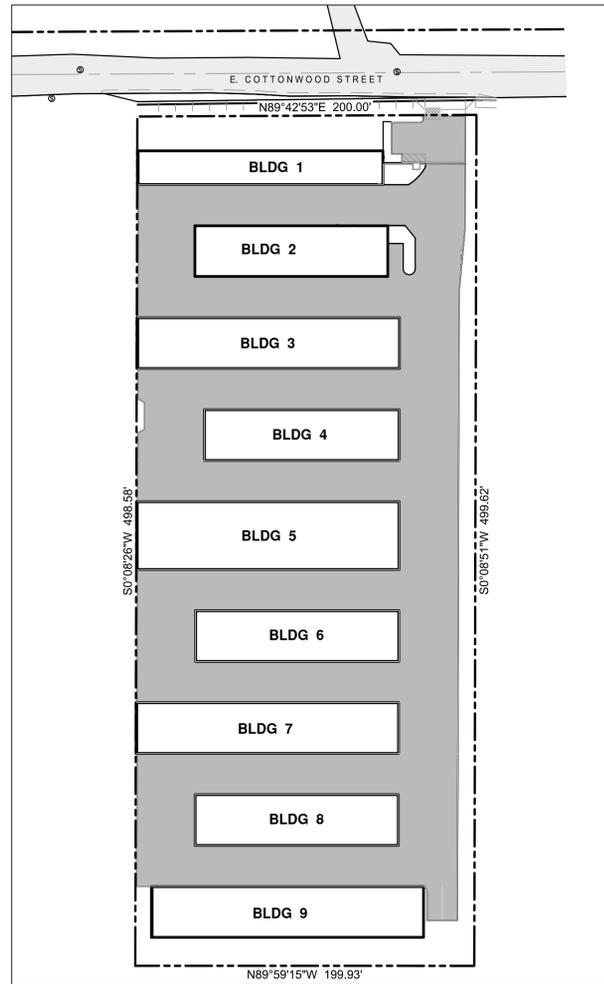
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HERRICK STORAGE

25 EAST COTTONWOOD STREET COTTONWOOD, ARIZONA 86326

APN: 406-08-007C
A PARCEL OF LAND SITUATED IN THE NORTHEAST 1/4 OF
SECTION 4, T 15N, R 3S, G.&S.R. &M. YAVAPAI COUNTY, ARIZONA

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VICINITY MAP
COTTONWOOD, ARIZONA
SCALE: 1" = 500'



DEVELOPER:

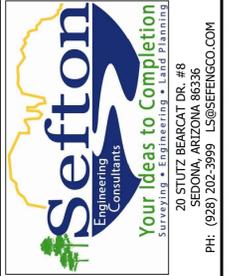
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COVER SHEET

HERRICK STORAGE FACILITY

25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:	COVER SHEET
PROJECT TITLE:	HERRICK STORAGE FACILITY
DRAWN BY:	RJB
SCALE:	AS NOTED
DATE:	12/27/19
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SHEET NO:	C-1



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1 GENERAL

- 1.1 ALL PAVING, GRADING PIPING AND UTILITY LINE CONSTRUCTION WORK WITHIN THE PUBLIC RIGHT-OF-WAY...
1.2 ALL WORK SHALL BE BID AND INSTALLED BY THE CONTRACTOR COMPLETE AND OPERATIONAL TO LINES, GRADES AND FUNCTIONS INDICATED ON ALL PLANS AND SPECIFICATIONS...
1.3 ALL OBSTRUCTIONS IN THE ROAD PRISM SHALL BE REMOVED BEFORE ANY CONSTRUCTION IS PERMITTED...
1.4 ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY THE ENGINEER...
1.5 THE ENGINEER MAY REQUIRE THE SUBMITTAL OF A "CERTIFICATE OF COMPLIANCE" AND/OR "MANUFACTURER'S GUIDELINES" FOR ANY MATERIALS USED IN THE WORK...
1.6 THE ENGINEER WILL REQUIRE ANY MATERIALS USED IN THE WORK TO BE TESTED ACCORDING TO AASHTO AND ASTM STANDARDS...
1.7 ALL WORK AND MATERIALS NOT CONFORMING TO SPECIFICATIONS OR PERFORMED WITHOUT THE CONSENT OF THE OWNER OR HIS REPRESENTATIVE WILL BE SUBJECT TO REJECTION BY THE OWNER AND/OR ENGINEER AND REPLACED AT THE CONTRACTOR'S EXPENSE...
1.8 THE CONTRACTOR SHALL GUARD AGAINST DAMAGE DURING CONSTRUCTION TO ADJACENT PROPERTIES, FENCES, WALLS AND UTILITY EQUIPMENT...
1.9 NO CONSTRUCTION SHALL BEGIN UNTIL CONFLICTING UNDERGROUND UTILITY MITIGATING CONSTRUCTION IS COMPLETED, IF ANY...
1.10 NO EXISTING SURVEY MONUMENTATION SHALL BE REMOVED OR DISTURBED BY THE CONTRACTOR WITHOUT NOTIFICATION AND APPROVAL OF THE PROJECT SURVEYOR...
1.11 TRAFFIC CONTROL SHALL CONFORM TO THE LOCAL ADOPTED STANDARDS AND MUTCD...
1.12 BENCH MARK: ELEVATIONS ESTABLISHED WITH REFERENCE TO THE BENCH MARK AS INDICATED ON THE SURVEY CONTROL SHEET...
1.13 CONTRACTOR SHALL COORDINATE HIS WORK WITH THE DESIGN ENGINEER, OWNER, PUBLIC UTILITY COMPANIES AND OTHER ASSOCIATED TRADES ON AND ADJACENT TO THE PROJECT SITE...
1.14 CONTRACTOR TO BE RESPONSIBLE FOR ALL IDENTIFIED AND REQUIRED TESTING AND CONSTRUCTION STAKING, AND FOR THE FOLLOWING ADDITIONAL ENGINEERING SERVICES SHOULD THEY OCCUR:
A. RE-OBSERVATION, COORDINATION AND EXTRA TESTING OR RETESTING COSTS INCURRED BECAUSE OF IMPROPER OR FAULTY CONSTRUCTION.
B. ANY RESTAKING REQUIRED BY THE CONTRACTOR.
C. CHANGES AND SUBSTITUTIONS IN MATERIALS CONSTRUCTION METHODS, REQUESTED BY THE CONTRACTOR, THAT MUST BE REVIEWED, RECALCULATED OR APPROVED BY THE PROJECT ENGINEER.
D. ENGINEERING DESIGN SERVICES REQUESTED BY THE CONTRACTOR OR CAUSED BY ERRORS OR OMISSIONS BY THE CONTRACTOR.
E. ANY ENGINEERING DESIGN APPROVED BY OTHERS AND SUBMITTED FOR REVIEW. THESE SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN ARIZONA.

- 1.15 ANY DIFFERENCE BETWEEN PLANS AND SPECIFICATIONS AND QUESTIONS AS TO THEIR MEANING SHALL BE DETERMINED PRIOR TO BID OPENING OF THE CONTRACT AND SHALL BE INTERPRETED BY THE ENGINEER...
1.16 THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LIMITS OF THE WORK AREA PRIOR TO BEGINNING CONSTRUCTION...
1.17 THE CONTRACTOR OR SUBCONTRACTORS SHALL NOT DEVIATE FROM THESE PLANS OR MAKE FIELD CHANGES WITHOUT WRITTEN APPROVAL FROM THE NATION...
1.18 THE PROJECT ENGINEER RESERVES THE RIGHT TO MAKE MINOR FIELD MODIFICATIONS TO GRADES AND STRUCTURE DESIGNS TO ACCOMMODATE FIELD CONDITIONS FOUND ON SITE THAT DO NOT INVOLVE COST OR TIME...
1.19 NO JOB WILL BE CONSIDERED COMPLETE UNTIL FINE GRADING IS COMPLETE AND ALL CURBS, PAVEMENT AND SIDEWALKS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS...
1.20 EXISTING GRADES INDICATED ON PLANS ARE BASED ON PRE-GRADING CONDITIONS...
1.21 SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR PER MAG SECTION 105.2...
1.22 ALL SERVICES SHALL BE MAINTAINED TO ALL AREAS AT ALL TIMES DURING THE CONSTRUCTION PERIOD...
1.23 NO EXISTING SURVEY MONUMENTATION SHALL BE REMOVED OR DISTURBED BY THE CONTRACTOR WITHOUT NOTIFICATION AND APPROVAL OF THE PROJECT SURVEYOR...
1.24 THE CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH ANY OTHER PERSONS OR ENTITIES OPERATING ON OR ADJACENT TO THE SITE OF THE PROJECT...
1.25 RETAINING WALLS SHALL BEAR INTO NATURAL BEDROCK, OR COMPACTED SOIL WHICH HAS A BEARING VALUE OF 3,000 P.S.F.

2 PERMITS

- 2.1 CONTRACTOR SHALL OBTAIN ALL PERMITS AT HIS OWN EXPENSE FROM FEDERAL, STATE OR LOCAL MUNICIPAL AND AIR POLLUTION CONTROL AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION...
2.2 REQUIRED PERMITS SHALL BE SECURED BY THE CONTRACTOR FROM THE APPROPRIATE AGENCIES...
2.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AT HIS OWN EXPENSE ALL APPROPRIATE INSURANCE FORMS FOR PERMIT REQUIREMENTS...
2.4 IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE RELOCATION AND RELOCATION COSTS, IF ANY, OF ALL UTILITIES, AND SUBMIT A UTILITY RELOCATION SCHEDULE TO THE MUNICIPALITY AND DESIGN ENGINEER PRIOR TO CONSTRUCTION...

3 APPROVALS

- 3.1 THE CONTRACTOR IS TO USE ONLY THAT OFFICIAL CONSTRUCTION SET OF DRAWINGS WHICH CONTAINS THE APPROVAL OF THE GOVERNMENT AGENCY SIGNED ON THE COVER SHEET OF THE PLANS...
AGENCY AND/OR MARKED "NOT FOR CONSTRUCTION".

4 RECORD DRAWINGS

- 4.1 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND KEEP AN UPDATED RECORD SET OF AS-BUILT INFORMATION DRAWINGS IN GOOD CONDITION ON THE JOB SITE FOR THE PROJECT MANAGER & UTILITY DIRECTOR TO INSPECT AND PROVIDE A COPY TO THE PROJECT ENGINEER AT COMPLETION OF THE WORK...
4.2 ACCEPTANCE OF THE COMPLETED PAVING, GRADING OR UTILITY INSTALLATION WILL NOT BE GIVEN UNTIL REPRODUCIBLE AS-BUILT PLANS HAVE BEEN SUBMITTED BY THE CONTRACTOR TO THE ENGINEER AND APPROVED BY THE LOCAL GOVERNING AGENCY INCLUDING HOUSING AND UTILITY DEPARTMENTS.

5 OBSERVATION

- 5.1 ALL MATERIALS USED AND ALL WORK DONE BY THE CONTRACTOR SHALL BE SUBJECT AT ALL TIMES TO THE OBSERVATION, TESTING AND APPROVAL OF THE ENGINEER AND GOVERNING AGENCY...
5.2 THE CONTRACTOR SHALL CONTACT THE APPROPRIATE PUBLIC UTILITY COMPANIES FOR INSPECTION OF TRENCHING, BEDDING AND BACKFILLING DONE IN CONJUNCTION WITH INSTALLATION OF THOSE UTILITIES ON THIS PROJECT...
5.3 SUBMITTAL OF AN ENGINEER'S CERTIFICATE OF COMPLETION IS REQUIRED BY A.D.E.Q. FOR ALL WATER AND SEWER SYSTEM CONSTRUCTION...
5.4 SOILS COMPACTION TEST RESULTS MUST BE SUBMITTED TO THE PROJECT ENGINEER'S OFFICE FOR ALL FILL MATERIAL FOR ROADS, TRENCH BACKFILL AND SITE FILL MATERIALS UNDER SLABS AND STRUCTURES...
5.5 THE CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL TESTING INCLUDING THE FOLLOWING ITEMS WHICH SHALL BE TESTED IN ACCORDANCE WITH MAG SPECIFICATIONS FOR:
1. SUBGRADE COMPACTION
2. BASE COURSE COMPACTION
3. ASPHALT PAVEMENT MIX DESIGN QUALITY
4. CONCRETE STRENGTH
5. TRENCH BEDDING AND BACKFILL
6. TESTING FOR UTILITIES, PIPING AND DRAINAGE SYSTEMS
7. RETAINING WALLS CONCRETE AND COMPACTION
5.6 THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR 24 HOURS PRIOR TO BEGINNING DIFFERENT ASPECTS OF CONSTRUCTION SO THAT INSPECTIONS MAY BE SCHEDULED.

6 FINAL ACCEPTANCE

- 6.1 APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE...
6.2 APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE...
6.3 APPROVAL OF A PORTION OF THE WORK IN PROGRESS DOES NOT GUARANTEE ITS FINAL ACCEPTANCE...

7 UTILITIES

- 7.1 A UTILITY COORDINATION MEETING SHALL BE COORDINATED BY THE CONTRACTOR PRIOR TO THE START OF ANY WORK...
7.2 THE CONTRACTOR SHALL CALL "BLUE STAKE" AND NOTIFY THE APPROPRIATE PRIVATE, PUBLIC AND MUNICIPAL UTILITY COMPANIES 48 HOURS PRIOR TO ANY CONSTRUCTION WORK...
7.3 THE CONTRACTOR IS RESPONSIBLE FOR PREPARATION OF GRADE, TRENCHING, BACKFILLING, PAD CONSTRUCTION AND CONCRETE PADS FOR UTILITY EQUIPMENT INSTALLED ON THIS PROJECT...
7.4 REQUIRED UTILITY SLEEVES SHALL BE PLACED PRIOR TO SUBBASE CONSTRUCTION AND PAVING...
7.5 ALL WATER MAINS, APPURTENANCES, AND INSTALLATION SHALL CONFORM TO A.W.W.A. STANDARDS AND ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY...
7.6 ALL FIRE HYDRANTS SHALL MEET ALL REQUIREMENTS OF A.W.W.A. C-509-80.

8 CONSTRUCTION STAKING

- 8.1 THE ACCURACY OF ALL CONSTRUCTION WORK SHALL BE MAINTAINED AND VERIFIED BY A REGISTERED LAND SURVEYOR...
8.2 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.

9 GRADING AND EARTHWORK

- 9.1 PERFORM ALL EARTHWORK GRADING, CUTTING AND FILLING AS PER THE PROJECT SOILS REPORT FOR THIS PROJECT...
9.2 NO GRADING OR TRENCHING WORK SHALL BEGIN PRIOR TO SUPPORTING AND PROTECTING EXISTING ONSITE AND ADJACENT PROPERTY FROM SETTLING, CRACKING, OR OTHER DAMAGE WHICH MIGHT RESULT...
9.3 WATER SOURCE: THE CONTRACTOR SHALL MAKE THE NECESSARY ARRANGEMENTS FOR OBTAINING ALL WATER REQUIRED FOR SOIL COMPACTION, DRINKING PURPOSES AND DUST CONTROL...
9.4 CLEARING AND GRUBBING: EXAMINE SITE AND PROVIDE NECESSARY EQUIPMENT AND LABOR TO REMOVE FROM THE SITE AND DISPOSE OF STUMPS, ROOTS, ROCKS, LOOSE FILL, VEGETATION, DEBRIS...
9.5 TOPSOIL THAT WILL BE AFFECTED BY ROUGH GRADING OR EXCAVATION SHALL BE STOCKPILED ON THE SITE SEPARATELY AND SHALL NOT BE USED FOR FILL...
9.6 SITE DRAINAGE: CONSTRUCTION OF ALL SWALES, CHANNELS, DRAINAGE PIPES, DRAINAGE STRUCTURES AND BANK PROTECTION SHALL BE CONSTRUCTED DURING THE FIRST PHASES OF SITE CONSTRUCTION...
9.7 THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL WALLS AND FOUNDATIONS...
9.8 SUBGRADE PREPARATION: IF THE NATURAL SUBGRADE IS LESS THAN THE REQUIRED DENSITY, IT SHALL BE SCARIFIED AND COMPACTED TO A MINIMUM DEPTH OF TWELVE INCHES...
9.9 EARTH FILL: AREAS TO BE FILLED SHALL BE LEVELED TO PROVIDE A LEVEL BASE TO SUPPORT FILL MATERIALS...
9.10 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE SOILS ENGINEER FOR SCHEDULING OF COMPACTION TESTING...
9.11 ALL SLOPE CONSTRUCTION AND ROADWAY EXCAVATION SHALL CONFORM TO THE REQUIREMENTS OF MAG SPECIFICATIONS SECTIONS 201, 205, 212, 301, AND UBC SECTIONS 7009 AND 8010...
9.12 COMPACT TO THE FOLLOWING SPECIFIED PERCENT OF MAXIMUM DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D698 AND MAG SECTION 211.
MINIMUM PERCENT COMPACTION:
SUBGRADE SOIL:
ROADWAY AND STRUCTURE AREAS-----95
PAVED AREAS (PAVEMENTS, SIDEWALKS, & PADS)-----95
EARTH FILL:
ROADWAY AND STRUCTURE AREAS-----95
PAVED AREAS (PAVEMENTS, SIDEWALKS, & PADS)-----95
GRASSSED AND PLANTING AREAS-----85
AGGREGATE BASE COURSE-----100
BACKFILL AROUND STRUCTURES-----95
BACKFILL FOR UTILITY TRENCHES (PER MAG SECTION 601) EXCEPT AS FOLLOWS: BACKFILL FOR TRENCHES SHALL BE COMPACTED TO 100%.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND UNDERSTANDING THE PROJECT SOIL REPORT.



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SCOTTSDALE, ARIZONA 85258

NOTES - SHEET 1 OF 4

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:
PROJECT TITLE:

DRAWN BY: RJB

SCALE: NONE

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

C-2

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9 GRADING AND EARTHWORK

- 9.13 EXCAVATION: EXCAVATE TO THE DIMENSIONS AND DEPTHS INDICATED ON THE DRAWINGS. FOUNDATIONS SHALL REST ON ENGINEERED COMPACTED FILL OR UNDISTURBED NATURAL SOILS AT GRADE ELEVATIONS INDICATED. IF SUITABLE SOIL IS NOT REACHED AT THE DEPTHS INDICATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE SOILS ENGINEER AND ENGINEER. THE CONTRACTOR WILL BE DIRECTED, IN WRITING, TO EXCAVATE TO THE DEPTH OF SUITABLE SOIL. EXCAVATION FOR FOUNDATIONS WHICH ARE CARRIED BELOW THE DEPTHS INDICATED SHALL HAVE THE CONCRETE EXTENDED TO THE BOTTOM OF THE EXCAVATION AT THE CONTRACTOR'S EXPENSE. SEE MAG SPECIFICATION SECTION 206.
- 9.14 WATERING: CAREFULLY WATER EARTH FILL DURING PLACING BY MEANS OF A FINE SPRAY OR OTHER APPROVED METHOD, SO THAT EACH LAYER IS THOROUGHLY AND UNIFORMLY WETTED. MOISTURE CONTENT OF THE MATERIAL SHALL BE CAREFULLY CONTROLLED AT ALL TIMES AND CHECKED AT PROPER INTERVALS TO INSURE CORRECT MOISTURE FOR COMPACTION SPECIFIED. SEE MAG SECTION 225 AND SOILS REPORT.

10 PAVING

- 10.1 COMPLETE ASPHALTIC CONCRETE PAVEMENT INSTALLATION SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
- A. TACK COATING OF CONCRETE SURFACES, UNDILUTED .02 TO .10 GAL/SY, DILUTED 1:1 MIXTURE, .05 TO .15 GAL/SY, OR AS DIRECTED.
 - B. PAINT FOR PAVEMENT STRIPING AND MARKING SHALL CONFORM TO FEDERAL SPEC. NO. TTP-155E, "PAINT, TRAFFIC, HIGHWAY, WHITE AND YELLOW". COLORS FOR PAVEMENT MARKING AND STRIPING SHALL BE AS SPECIFIED BY THE PROJECT ENGINEER.
 - C. TRAFFIC CONTROL DEVICES: SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" LATEST EDITION, PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
- 10.2 ASPHALTIC PAVEMENT SHALL CONFORM TO MAG SPECIFICATION SECTION 32 WITH THICKNESS AND DESIGN MIX AS INDICATED ON THE PLANS.
- 10.3 ALL FRAMES, COVERS, VALVE BOXES, AND MANHOLES IN PAVED AREAS AND RIGHT-OF-WAY SHALL BE ADJUSTED TO GRADE BY THE PAVING CONTRACTOR. IN NON-PAVED AREAS THEY SHALL BE ADJUSTED TO GRADE BY THE GENERAL CONTRACTOR.
- 10.4 ALL PAVING WORK SHALL BE PLACED IN STRICT CONFORMANCE TO MAG SECTION 321 PAR.321.3 WEATHER AND MOISTURE CONDITIONS. ALL WORK AND MATERIALS PLACED IN VIOLATION OF THESE REQUIREMENTS WILL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- 10.5 EXACT POINT OF PAVEMENT MATCHING, TERMINATION AND/OR OVERLAY, IF NECESSARY, SHALL BE SUBJECT TO FIELD APPROVAL BY THE ENGINEER, HIS REPRESENTATIVE AND LOCAL MUNICIPAL AUTHORITIES. EDGE OF EXISTING PAVEMENT WHERE NECESSARY SHALL BE UNIFORMLY SAWCUT AND TACKY COAT APPLIED. 10.6 THE CONTRACTOR SHALL IN ALL AREAS OF PAVING PROVIDE A UNIFORM DENSE SURFACE SMOOTH AND TRUE TO LINE. SURFACE SHALL BE FREE OF PITS, DEPRESSIONS, ROCK POCKETS AND PATCHES.
- 10.6 THE CONTRACTOR SHALL IN ALL AREAS OF PAVING PROVIDE A UNIFORM DENSE SURFACE SMOOTH AND TRUE TO LINE. SURFACE SHALL BE FREE OF PITS, DEPRESSIONS, ROCK POCKETS AND PATCHES.

11 FIELD INSPECTION

- 11.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTAINING ALL CONSTRUCTION STAKING. ANY ADDITIONAL STAKING WILL BE AT THE COST OF THE CONTRACTOR.
- 11.2 THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR 24 HOURS PRIOR TO BEGINNING DIFFERENT ASPECTS OF CONSTRUCTION SO THAT INSPECTIONS MAY BE SCHEDULED.
- 11.3 ANY QUESTIONS RAISED RELATIVE TO ACCURACY OF IMPROVEMENT INSTALLATION SHALL NOT BE RAISED SUBSEQUENT TO COMPLETION OF THE WORK UNLESS ALL SURVEY STAKES ARE MAINTAINED INTACT. SHOULD SUCH STAKES NOT BE PRESENT AND VERIFIED AS TO THEIR ORIGIN, NO CLAIM FOR ADDITIONAL COMPENSATION FOR CORRECTION SHALL BE PRESENTED TO ANY PARTY AND SUCH WORK SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE.

12 SUSPENSION OF WORK

- 12.1 THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE MAY SUSPEND THE WORK BY WRITTEN NOTICE WHEN, IN HIS JUDGMENT, PROGRESS IS UNSATISFACTORY, WORK BEING DONE IS UNAUTHORIZED OR DEFECTIVE, WEATHER CONDITIONS ARE UNSUITABLE, OR THERE IS DANGER TO THE PUBLIC HEALTH OR SAFETY.

13 WARRANTY

- 13.1 ANY DEFECTS WHICH APPEAR IN THE WORK WITHIN TWO YEARS FROM THE DATE OF ACCEPTANCE AND WHICH ARE DUE TO IMPROPER WORKMANSHIP OR INFERIOR MATERIALS SUPPLIED SHALL BE CORRECTED BY OR AT THE EXPENSE OF THE CONTRACTOR.

14 EROSION CONTROL NOTES

(SPECIFICATIONS FOR PERMANENT SEEDING)

- 14.1 SITE PREPARATION
- A. INSTALL NECESSARY SURFACE WATER CONTROL MEASURES PRIOR TO PLANTING PERMANENT SEEDING.
 - B. GRADE TO PERMIT USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION.
 - C. PROVIDE ADEQUATE DRAINAGE WHERE INTERNAL WATER MOVEMENT, ESPECIALLY AT TOES OF SLOPES, MAY CAUSE SEEPS OR SLIPPAGE BEFORE SEEDING IS WELL ESTABLISHED.
- 14.2 SEEDBED PREPARATION
- A. AS PRACTICAL, PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE.
 - B. IMMEDIATELY BEFORE SEEDING, RAKE OR OTHERWISE LOOSEN PLANTING SURFACE TO PROVIDE A SMOOTH, FRIABLE SURFACE FREE OF EARTH CLODS, HUMPS AND DEPRESSIONS, AND DISPOSE OF LOOSE STONES HAVING A DIMENSION GREATER THAN ONE INCH AND DEBRIS BROUGHT TO THE SURFACE DURING CULTIVATION.
- 14.3 PLANTING
- A. APPLY SEED MIX AT THE RATE OF 11 POUNDS PER ACRE. MIX SHALL CONTAIN THE FOLLOWING PROPORTION OF PURE LIVE SEED: SAND DROPSEED (SPOROBOLUS CRYPTANDRUS) 1 LB SIDED OATS GRAMA (BOULELOUS CURTIPENDULA) 5 LB WHEAT GRASS (AGROPYRON CRISTATUM) 5 LB
 - B. APPLY SEED IN TWO DIRECTIONS AT RIGHT ANGLES TO EACH OTHER WITH HALF THE SPECIFIED APPLICATION RATE APPLIED IN EACH DIRECTION.
 - C. IMMEDIATELY AFTER SEEDING, UNIFORMLY SPREAD SCREENED MANURE AT THE RATE OF ONE CUBIC YARD PER 1000 SQUARE FEET AND WATER UNTIL THE GROUND IS WET TO A MINIMUM DEPTH OF TWO INCHES.
 - D. HYDRAULIC SEEDING USING 1500 POUNDS OF WOOD CELLULOSE FIBER PER ACRE MAY BE UTILIZED IN LIEU OF PLANTING.
- 14.4 MAINTENANCE
- A. PROTECT PLANTED AREAS FROM GRAZING, FIRE, TRAFFIC, AND WEED GROWTH.
 - B. MAINTAIN PLANTED AREAS UNTIL A GOOD STAND OF GRASS IS ESTABLISHED. AREAS AS REQUIRED IF NO GROWTH IS PRESENT WITHIN 15 DAYS OF PLANTING.

15 TEMPORARY EROSION CONTROL

- 15.1 EROSION CONTROL BERMS AND ROCK CHECK DAMS
- A. PROVIDE EARTHEN BERMS AT TOES OF SLOPES REMAINING BARE BETWEEN CONSTRUCTION PHASES.
 - B. PLACE TEMPORARY ROCK CHECK DAMS IN ROAD DITCHES AND CHANNELS IF RIP-RAP PROTECTION WILL NOT BE PROVIDED WITHIN 60 DAYS.
- 15.2 CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EROSION CONTROL MEASURES SUCH AS SAND BAGGING, TEMPORARY DE-SILTING BASIN CONSTRUCTION BERMS, VISQUEEN, ETC. TO PROTECT ADJOINING PROPERTIES FROM EROSION.

18 STORM SEWER NOTES

- 18.1 ALL CORRUGATED METAL PIPE TO BE 14 GAUGE, UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER.
- 18.2 ALL CORRUGATED METAL PIPE SHALL HAVE FLARED END SECTIONS, EXCEPT WHERE HEADWALLS ARE USED.
- 18.3 ALL DRAINAGE CULVERTS AND PIPES SHALL HAVE A MINIMUM COVER OF 12".

19 DRY UTILITIES NOTES

- 19.1 GAS MAINS SHALL HAVE A MINIMUM COVER OF 36" WITH SAND SHADE 6" BELOW AND ABOVE PIPING. MAINTAIN A MINIMUM OF 1 FOOT VERTICAL AND HORIZONTAL SEPARATION BETWEEN GAS LINE AND OTHER UTILITIES. CONSULT CITIZEN'S UTILITIES FOR FURTHER REQUIREMENTS.
- 19.2 PRIMARY ELECTRIC LINES SHALL HAVE A MINIMUM COVER OF 48". CONSULT APS FOR FURTHER REQUIREMENTS.
- 19.3 CABLE TV LINES SHALL BE INSTALLED PER THE REQUIREMENTS OF SEDONA CABLEVISION.
- 19.4 TELEPHONE LINES SHALL BE INSTALLED PER THE REQUIREMENTS OF US WEST.

20 LANDSCAPING NOTES

- 20.1 ALL EXISTING TREES AND SHRUBS NOT AFFECTED BY BUILDING CONSTRUCTION OR ROAD DEVELOPMENT MUST BE FENCED WITH A CONSTRUCTION ENVELOPE FENCE TO PROTECT THEM DURING CONSTRUCTION.



NOTES - SHEET 2 OF 4

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

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C-3

CITY OF COTTONWOOD SANITARY SEWER NOTES

- ALL FRAMES, COVERS, CLEAN-OUTS, AND MANHOLES SHALL BE ADJUSTED TO FINISH GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION PER MAG DETAIL #422.
- ALL SERVICE CONNECTIONS SHALL ALSO BE STAKED PER MAG STANDARD DETAIL #440, AT THE PROPERTY END OF THE SERVICE LATERAL.
- INSULATED TRACER WIRE (BRIGHT GREEN COATED, #10, SOLID COPPER) SHALL BE PLACED UNDER MANHOLE FRAMES AND CLEANOUTS AND EXTEND ALONG MAINS AND LATERALS. ALL SPLICES SHALL BE WATER TIGHT. THAT TRACER WIRE IS INSTALLED UNDER THE CENTER LINE OF THE PIPE AND IS NOT DAMAGED DURING CONSTRUCTION. BEFORE ACCEPTANCE FOR THE JOB TRACER WIRE WILL BE CHECKED FOR CONTINUITY. DAMAGED WIRE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- SEWER CASTINGS SHALL BE MANUFACTURED IN NORTH AMERICA (UNLESS AUTHORIZED BY THE CITY) AND APPROVED SPECIFICALLY BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION SECTION.
- THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE AND PAY FOR VIDEO INSPECTION OF ALL PUBLIC SANITARY SEWER MAINLINES PER ORDINANCE NO. 362.
- SANITARY SEWER PIPE AND MANHOLES SHALL BE TESTED ACCORDING TO THE FOLLOWING STANDARDS:
 - MANHOLE TESTING THE CONTRACTOR SHALL TEST 100% OF THE MANHOLES USING THE FOLLOWING TEST PROTOCOL:
 - AIR PRESSURE TESTING USING THE "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST," PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS, (C 1244-93), APPROVED AUGUST 15, 1993.
 - THE CONTRACTOR SHALL PERFORM MANHOLE TESTING AFTER INSTALLATION OF THE MANHOLE CONE TO VERIFY WATER TIGHTNESS OF THE MANHOLE FROM THE TOP OF THE CONE DOWN. UPON SATISFACTORY TEST RESULTS, THE CONTRACTOR SHALL INSTALL THE MANHOLE RING AND ANY SPACERS, COMPLETE THE JOINTS, AND SEAL THE MANHOLE TO A WATER TIGHT CONDITION. IF THE MANHOLE CONE, SPACERS, AND RING CAN BE INSTALLED TO FINAL GRADE WITHOUT DISTURBANCE OR ADJUSTMENT BY LATER CONSTRUCTION, THE CONTRACTOR MAY PERFORM THE TESTING FROM THE TOP OF THE MANHOLE RING DOWN.
 - LEAKAGE TESTING THE CONTRACTOR SHALL TEST EACH SEGMENT OF THE SEWER LINE (100%) FOR LEAKAGE USING THE APPLICABLE METHOD BELOW AND RECORD THE RESULTS:
 - "STANDARD TEST METHOD FOR INSTALLATION OF ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR" PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS, (F1417-92), RE-APPROVED 1998;
 - THE CONTRACTOR SHALL PERFORM A DEFLECTION TEST OF THE TOTAL LENGTH (100%) OF ALL SEWER LINES MADE OF FLEXIBLE MATERIALS TO ENSURE THAT THE INSTALLATION MEETS OR EXCEEDS THE MANUFACTURER'S RECOMMENDATIONS AND RECORD THE RESULTS.
 - ANY PART OF THE INSTALLATION WHICH SHOWS DEFLECTION IN EXCESS OF 5% OF THE NOMINAL INSIDE DIAMETER PER MAG SECTION 738 OR IN EXCESS OF 5% OF THE AVERAGE INSIDE DIAMETER PER ASTM D-3034 FOR PVC PIPE SHALL BE CORRECTED.
 - UNIFORM SLOPE THE CONTRACTOR SHALL TEST THE TOTAL LENGTH (100%) OF THE SEWER LINE FOR UNIFORM SLOPE BY VISUALLY INSPECTING THE INTERIOR OF THE SEWER LINE USING A TELEVISION CAMERA AND RECORD THE RESULTS. THE CONTRACTOR SHALL COORDINATE THE TESTING WITH THE CITY OF COTTONWOOD.
- SDR 21 AND 26 PVC PIPE AND DUCTILE IRON PIPE WITH SPECIAL SEWER COATINGS ARE ALLOWED MATERIALS PER ORDINANCE No. 371
- A SEWER LATERAL CLEANOUT SHALL BE PROVIDED AT THE EDGE OF RIGHT OF WAY PER M.A.C. STANDARD DETAIL 440.3.
- TRENCH BOTTOM SHALL BE COMPACTED BY SUITABLE MEANS PER THE PIPE BEDDING AND TRENCH DETAIL IN THESE APPROVED PLANS. THE INSTALLATION AND ASSEMBLY OF THE PROPOSED PIPE AND FITTINGS IN THE TRENCH ATOP THE TRENCH BOTTOM BEDDING. THIS WILL INCLUDE BUT NOT BE LIMITED TO INSPECTING THAT BEDDING HAS BEEN HAND REMOVED BELOW BELLS FOR FLUSH FIT ATOP TRENCH BOTTOM BEDDING, THAT PIPE ENDS HAVE BEEN MARKED AND THEN INSERTED INTO BELL ENDS FOR THE APPROPRIATE DEPTHS, THAT FITTINGS AND PIPE ARE PROPERLY ALIGNED AND BOLTED TOGETHER AS REQUIRED, THAT TRACING WIRE IS INSTALLED AS REQUIRED, THAT ALL DUCTILE IRON FITTINGS AND PIPE ARE WRAPPED AS REQUIRED, AND THAT ALL ITEMS ARE REASONABLY CENTERED IN THE TRENCH SO THAT BEDDING MATERIAL CAN BE PLACED ALONG THE SIDES OF THE PIPE AS REQUIRED BY THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
- "BURIED SEWER LINE" LABELED METALLIC DETECTOR TAPE SHALL BE INSTALLED PROPERLY ATOP THE FIRST COMPACTED LIFT OF NATIVE MATERIAL ABOVE THE TOP OF PIPE BEDDING AND DIRECTLY ABOVE THE CENTERLINE OF THE BURIED SEWER LINE.
- NATIVE BACKFILL USED ABOVE THE BEDDING SHALL BE CAREFULLY PROCESSED TO REMOVE ALL ROCK LARGER THAN 3" DIAMETER AND OBTAIN THE APPROPRIATE MOISTURE AND THEN CAREFULLY PLACED IN EVEN AND UNIFORM LIFTS IN THE TRENCH AND COMPACTED TO THE DENSITY REQUIRED TO SATISFY BOTH MAG SPECIFICATIONS IN SECTION 601 AND ARIZONA DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR WORK IN THEIR RIGHT-OF-WAY. THE ALLOWABLE DEPTH OF LIFT WILL BE DETERMINED BY THE CAPABILITIES OF THE COMPACTION EQUIPMENT PROVIDED BY THE CONTRACTOR. DENSITIES OF TRENCH BACKFILL WILL BE CHECKED BY CITY OF COTTONWOOD UTILITY ENGINEER OR DESIGNEE AT THE FOLLOWING VERTICAL AND HORIZONTAL INTERVALS:

TABLE #1

MATERIAL/LOCATION	TEST INTERVAL-VERT.*	TEST INTERVAL-HORIZ.*
PIPE BEDDING BASE	TOP OF LIFT	EVERY 350' OR DAILY (WHICHEVER IS LESS)
PIPE BEDDING	12" ABOVE TOP OF PIPE AND AT TOP OF BEDDING	EVERY 350' OR DAILY (WHICHEVER IS LESS)
TRENCH BACKFILL ABOVE BEDDING	EVERY 18" OF VERTICAL FILL	EVERY 350' OR DAILY (WHICHEVER IS LESS)
TRENCH BACKFILL IN DRIVEWAYS	EVERY LIFT	AT EVERY DRIVEWAY LOCATION

CITY OF COTTONWOOD WATERMAIN & SERVICE NOTES

- ALL PROJECT MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE "MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION" AND THESE COTTONWOOD MUNICIPAL WATER SYSTEMS (CMWS) STANDARDS AND SPECIFICATIONS, THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, TOGETHER WITH GENERALLY ACCEPTED GOOD CONSTRUCTION PRACTICES.
- THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, WILL CONDUCT INSPECTIONS OF ALL OF THE PROPOSED IMPROVEMENTS. THESE REQUIRED INSPECTIONS WILL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - PRE-EXCAVATION LOCATION OF THE PROPOSED TRENCH AND ANY PROPOSED SAW-CUTTING OF ASPHALT OR CONCRETE. VERIFICATION OF BLUE-STAKE COMPLETION WILL ALSO BE DONE AT THIS TIME.
 - EXCAVATED DEPTH AND TRENCH SUBGRADE PREPARATION. ANY CROSSED UTILITIES (PUBLIC OR PRIVATE) WILL BE INSPECTED AT THIS TIME TO ASSURE NO DAMAGE OCCURRED DURING EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO OVERSEE THE REPAIR OF ANY DAMAGE TO ANY UTILITY THAT OCCURRED FROM THE EXCAVATION, CONSTRUCTION, AND BACKFILL OF THE PROPOSED WATERLINE TO THE SATISFACTION OF THAT RELATIVE UTILITY.
 - THE PLACEMENT OF TRENCH BOTTOM BEDDING INCLUDING QUALITY OF MATERIALS, THICKNESS, MOISTURE, AND COMPACTION IN ACCORDANCE TO THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
 - THE INSTALLATION AND ASSEMBLY OF THE PROPOSED PIPE AND FITTINGS IN THE TRENCH ATOP THE TRENCH BOTTOM BEDDING. THIS WILL INCLUDE BUT NOT BE LIMITED TO INSPECTING THAT BEDDING HAS BEEN HAND REMOVED BELOW BELLS FOR FLUSH FIT ATOP TRENCH BOTTOM BEDDING, THAT PIPE ENDS HAVE BEEN MARKED AND THEN INSERTED INTO BELL ENDS FOR THE APPROPRIATE DEPTHS, THAT FITTINGS AND PIPE ARE PROPERLY ALIGNED AND BOLTED TOGETHER AS REQUIRED, THAT TRACING WIRE IS INSTALLED AS REQUIRED, THAT ALL DUCTILE IRON FITTINGS AND PIPE ARE WRAPPED AS REQUIRED, AND THAT ALL ITEMS ARE REASONABLY CENTERED IN THE TRENCH SO THAT BEDDING MATERIAL CAN BE PLACED ALONG THE SIDES OF THE PIPE AS REQUIRED BY THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
 - THAT THE WATERLINE AND FITTINGS ARE APPROPRIATELY BEDDED AROUND AND OVER AS REQUIRED BY THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS INCLUDING QUALITY OF BEDDING MATERIAL, WIDTH/THICKNESS, MOISTURE, AND COMPACTION PER TABLE #1 BELOW.
 - THAT TRACER WIRE IS INSTALLED UNDER THE CENTER LINE OF THE PIPE AND IS NOT DAMAGED DURING CONSTRUCTION. BEFORE ACCEPTANCE FOR THE JOB TRACER WIRE WILL BE CHECKED FOR CONTINUITY. DAMAGED WIRE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - THAT "BURIED WATERLINE" LABELED DETECTOR TAPE IS INSTALLED PROPERLY ATOP THE FIRST COMPACTED LIFT OF NATIVE MATERIAL ABOVE THE TOP OF PIPE BEDDING AND DIRECTLY ABOVE THE CENTERLINE OF THE BURIED WATERLINE.
 - THAT NATIVE BACKFILL USED ABOVE THE BEDDING IS CAREFULLY PROCESSED TO REMOVE ALL ROCK LARGER THAN 3" DIAMETER AND OBTAIN THE APPROPRIATE MOISTURE AND THEN CAREFULLY PLACED IN EVEN AND UNIFORM LIFTS IN THE TRENCH AND COMPACTED TO THE DENSITY REQUIRED TO SATISFY BOTH MAG SPECIFICATIONS IN SECTION 601 AND ARIZONA DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR WORK IN THEIR RIGHT-OF-WAY. THE ALLOWABLE DEPTH OF LIFT WILL BE DETERMINED BY THE CAPABILITIES OF THE COMPACTION EQUIPMENT PROVIDED BY THE CONTRACTOR. DENSITIES OF TRENCH BACKFILL WILL BE CHECKED BY CITY OF COTTONWOOD UTILITY ENGINEER OR DESIGNEE AT THE FOLLOWING VERTICAL AND HORIZONTAL INTERVALS:
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AN ACCURATE SET OF "AS-BUILT" PLANS TO THE CITY OF COTTONWOOD UTILITIES ENGINEER OR DESIGNEE PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT WORK. THESE AS-BUILT PLANS SHALL ACCURATELY SHOW THE LOCATIONS OF ALL CONSTRUCTED WATERLINES, FITTINGS, VALVES, BLOCKING, AND TIE-IN POINTS WITH THEIR RELATIONSHIP TO RIGHT-OF-WAY BOUNDARIES, LOT LINES, OR OTHER POINTS OF SURVEY.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SURVEY ACCURACY OF ALL OF THE PROPOSED WORK AT THEIR EXPENSE. THE PROPOSED WORK SHALL BE STAKED BY USE OF MONUMENTATION THAT IS ACCEPTABLE TO THE CITY OF COTTONWOOD CITY ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO "POT-HOLE" OR UNCOVER ALL EXISTING WATER LINE TIE-IN POINTS TO VERIFY THEIR SIZE, MATERIAL, LOCATION AND DEPTH PRIOR TO TRENCHING FOR NEW WATER LINE CONSTRUCTION. THE CONTRACTOR SHALL ALSO LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPES, CONDUITS, AND UTILITIES PRIOR TO CONSTRUCTION.
- ALL WATER MAIN PIPING SHALL BE DUCTILE IRON PRESSURE CLASS 350 ENCASED IN POLYETHYLENE SLEEVING, OR PVC C-900 CLASS DR14 AS SHOWN IN THE APPROVED PLANS.
- ALL FITTINGS SHALL BE DOMESTIC ONLY AND COMPLY WITH AWWA STANDARDS. ALL VALVE BOXES SHALL BE "TYLER" ONLY.
- WATER MAINS SHALL BE BURIED FOR A MINIMUM DEPTH OF 3 FEET FOR PIPE DIAMETERS 10 INCHES OR LESS AND A MINIMUM OF 4 FEET FOR PIPES WITH A DIAMETER GREATER THAN 10 INCHES UNLESS SHOWN DIFFERENTLY IN THE APPROVED PLANS OR APPROVED IN WRITING FROM THE CITY ENGINEER. THE DEPTH SHOWN IN PLANS IS ASSUMED TO BE THE MINIMUM DEPTH.
- ALL WATER LINES AND FITTINGS SHALL BE BEDDED AND SHADED ABOVE, BELOW, AND AROUND WITH AN APPROVED ROCK FREE, SANDY BEDDING MATERIAL PER THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
- THE CONTRACTOR SHALL PROVIDE A BLUE COATED #10 COPPER TRACER WIRE SECURED TO THE BOTTOM CENTERLINE OF ALL WATER LINES AND SERVICES. THE CONTRACTOR SHALL PROVIDE A LOOPED PIGTAIL AT ALL IN-LINE VALVE LOCATIONS. TRACER WILL BE INSPECTED FOR CONTINUITY PRIOR TO ACCEPTANCE OF THE WORK. NON-CONTINUOUS OR FAULTY WIRE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL SERVICE LINES THAT ARE UNDER PAVEMENT OR CONCRETE SHALL BE SLEEVED IN 4-INCH CLASS 160 PVC CONDUITS OR APPROVED EQUAL. SERVICE LINES ARE TO BE CONSTRUCTED WITH CROSS-LINKED POLYETHYLENE PIPING.
- ALL WATER LINE ENDS SHALL BE PROVIDED WITH AN APPROVED 2" FLUSH VALVE (BLOW-OFF) PER MAG STANDARD DETAIL OR AS SHOWN IN THE APPROVED PLANS.
- ALL FIRE HYDRANT HOSE AND STEAMER CONNECTIONS SHALL MATCH STANDARD SIZE AND THREADS PER THE COTTONWOOD FIRE DEPARTMENT.
- ALL FRAMES, COVERS, VALVE BOXES, VAULT LIDS, ETC., SHALL BE PROPERLY ADJUSTED TO FINISH GRADE WITH THE SURROUNDING GRADE OR PAVING AFTER THE COMPLETION OF PAVING AND GRADING.
- THE CONTRACTOR SHALL DISINFECT EVERY PART OF THE NEWLY CONSTRUCTED WATER SYSTEM PER ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY BULLETIN 8.
- THE CONTRACTOR SHALL PROVIDE BACTERIOLOGICAL TESTING OF THE NEWLY CONSTRUCTED WATER SYSTEM PER ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY BULLETIN 8 AND THE CITY OF COTTONWOOD ENGINEER OR DESIGNEE.
- THE CONTRACTOR SHALL PERFORM PRESSURE TESTING OF THE NEWLY CONSTRUCTED WATER SYSTEM AT THE DIRECTION OF THE CITY OF COTTONWOOD UTILITIES ENGINEER OR DESIGNEE IN ACCORDANCE WITH AWWA STANDARDS. ALL LEAKS THAT ARE FOUND WILL BE REPAIRED AND RETESTED FOR PRESSURE BY THE CONTRACTOR PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE. IF NECESSARY, THE SYSTEM MAY NEED TO BE ONCE AGAIN DISINFECTED AND MAY NEED TO UNDERGO BACTERIOLOGICAL TESTING AT THE CONTRACTOR'S EXPENSE PRIOR TO IT BEING PLACED IN SERVICE.
- THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION SO THAT INSPECTIONS MAY BE SCHEDULED.
- ALL WORK AND MATERIALS THAT DO NOT CONFORM TO THESE SPECIFICATIONS OR THE APPROVED PLANS ARE SUBJECT TO REMOVAL AND REPLACEMENT TO MATCH THESE APPROVED PLANS UNDER THE DIRECTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, AT THE CONTRACTOR'S EXPENSE.
- ALL WORK DONE BY THE CONTRACTOR SHALL BE SUBJECT TO INSPECTION BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, PRIOR TO BURIAL. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY OF COTTONWOOD INSPECTION STAFF IS SUBJECT TO EXCAVATION AND INSPECTION, REMOVAL, REPLACEMENT, OR REPAIR AT THE DIRECTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, SOLELY AT THE CONTRACTOR'S EXPENSE. REPAIR OF ANY DAMAGE DONE DURING THIS TYPE OF RE-EXPOSURE AND REQUIRED RE-TESTING, ETC., IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL VAULTS OR OTHER UNDERGROUND STRUCTURES WILL BE PLACED ATOP SUBGRADE AND BASE-COURSE PLACED AND COMPACTED TO 95% MDD, TO THE SATISFACTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF.
- ALL PLASTIC PIPES WILL BEAR THE SEAL BY THE NATIONAL SANITATION FOUNDATION.
- ALL MATERIALS AND PRODUCTS THAT COME INTO CONTACT WITH WATER OR WATER TREATMENT CHEMICALS SHALL CONFORM TO ANSI/NSF STANDARD 61.
- ALL CONSTRUCTION MATERIALS USED IN A PUBLIC WATER SYSTEM INCLUDING ALL RESIDENTIAL AND NON-RESIDENTIAL FACILITIES WHICH WILL BE CONNECTED TO SAID PUBLIC WATER SYSTEM, SHALL BE LEAD-FREE AS DEFINED BY R18-4-101.
- WHEN ANY SEWER CROSSES A WATER PIPE AT A POINT AT WHICH THE SEWER IS 2 FEET OR MORE BELOW THE WATER MAIN, NO EXTRA PROTECTION OUTSIDE OF THE VERTICAL SEPARATION IS REQUIRED PER (ACC R18-4-502C). AT ALL OTHER CROSSINGS THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH MECHANICAL JOINTS FOR A DISTANCE OF AT LEAST 10 FEET IN EACH DIRECTION, MEASURED PERPENDICULAR TO THE WATER LINE. SAID SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 6 INCHES ALL THE WAY AROUND FOR THE SAME SPECIFIED DISTANCE OR AS SHOWN ON MAG SEPARATION DETAIL 404.
- SUBMITTAL OF AN ENGINEER'S CERTIFICATE OF COMPLETION IS REQUIRED BY ADEQ FOR ALL WATER AND SEWER SYSTEM CONSTRUCTION.
- THE MINIMUM COVER FROM FINISH GRADE TO TOP OF PIPE FOR ALL POTABLE WATERLINES WHICH ARE 12 INCHES IN DIAMETER OR LESS LOCATED IN MAJOR STREETS SHALL BE AS SPECIFIED BY THE DESIGN ENGINEER, BUT NO LESS THAN 36 INCHES UNLESS SHOWN DIFFERENTLY ON THESE APPROVED PLANS.
- THE MINIMUM COVER FROM FINISH GRADE TO TOP OF PIPE FOR POTABLE WATERLINES WHICH ARE GREATER THAN 12-INCHES IN DIAMETER, LOCATED IN MAJOR STREETS SHALL BE AS SPECIFIED BY THE DESIGN ENGINEER, BUT NO LESS THAN 48 INCHES, UNLESS SHOWN DIFFERENTLY ON THESE APPROVED PLANS.

TABLE #1

MATERIAL/LOCATION	TEST INTERVAL-VERT.*	TEST INTERVAL-HORIZ.*
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TRENCH BACKFILL ABOVE BEDDING	EVERY 18" OF VERTICAL FILL	EVERY 350' OR DAILY (WHICHEVER IS LESS)
TRENCH BACKFILL IN DRIVEWAYS	EVERY LIFT	AT EVERY DRIVEWAY LOCATION



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NOTES - SHEET 3 OF 4
HERRICK STORAGE FACILITY
 25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE: PROJECT TITLE:

DRAWN BY: RJB

SCALE: NONE

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO. **C-4**

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CITY OF COTTONWOOD SANITARY SEWER NOTES

1. ALL FRAMES, COVERS, CLEAN-OUTS, AND MANHOLES SHALL BE ADJUSTED TO FINISH GRADE UPON COMPLETION OF PAVING OR RELATED CONSTRUCTION PER MAG DETAIL #422.
2. ALL SERVICE CONNECTIONS SHALL ALSO BE STAKED PER MAG STANDARD DETAIL #440, AT THE PROPERTY END OF THE SERVICE LATERAL.
3. INSULATED TRACER WIRE (BRIGHT GREEN COATED, #10, SOLID COPPER) SHALL BE PLACED UNDER MANHOLE FRAMES AND CLEANOUTS AND EXTEND ALONG MAINS AND LATERALS. ALL SPLICES SHALL BE WATER TIGHT. THAT TRACER WIRE IS INSTALLED UNDER THE CENTER LINE OF THE PIPE AND IS NOT DAMAGED DURING CONSTRUCTION. BEFORE ACCEPTANCE FOR THE JOB TRACER WIRE WILL BE CHECKED FOR CONTINUITY. DAMAGED WIRE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
4. SEWER CASTINGS SHALL BE MANUFACTURED IN NORTH AMERICA (UNLESS AUTHORIZED BY THE CITY) AND APPROVED SPECIFICALLY BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION SECTION.
5. THE CONTRACTOR IS RESPONSIBLE TO SCHEDULE AND PAY FOR VIDEO INSPECTION OF ALL PUBLIC SANITARY SEWER MAINLINES PER ORDINANCE NO. 362.
6. SANITARY SEWER PIPE AND MANHOLES SHALL BE TESTED ACCORDING TO THE FOLLOWING STANDARDS:
 - A. MANHOLE TESTING THE CONTRACTOR SHALL TEST 100% OF THE MANHOLES USING THE FOLLOWING TEST PROTOCOL:
 1. AIR PRESSURE TESTING USING THE "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE (VACUUM) TEST," PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS, (C 1244-93), APPROVED AUGUST 15, 1993.
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 - E. UNIFORM SLOPE THE CONTRACTOR SHALL TEST THE TOTAL LENGTH (100%) OF THE SEWER LINE FOR UNIFORM SLOPE BY VISUALLY INSPECTING THE INTERIOR OF THE SEWER LINE USING A TELEVISION CAMERA AND RECORD THE RESULTS. THE CONTRACTOR SHALL COORDINATE THE TESTING WITH THE CITY OF COTTONWOOD.

7. SDR 21 AND 26 PVC PIPE AND DUCTILE IRON PIPE WITH SPECIAL SEWER COATINGS ARE ALLOWED MATERIALS PER ORDINANCE No. 371
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9. TRENCH BOTTOM SHALL BE COMPACTED BY SUITABLE MEANS PER THE PIPE BEDDING AND TRENCH DETAIL IN THESE APPROVED PLANS. THE INSTALLATION AND ASSEMBLY OF THE PROPOSED PIPE AND FITTINGS IN THE TRENCH ATOP THE TRENCH BOTTOM BEDDING. THIS WILL INCLUDE BUT NOT BE LIMITED TO INSPECTING THAT BEDDING HAS BEEN HAND REMOVED BELOW BELLS FOR FLUSH FIT ATOP TRENCH BOTTOM BEDDING, THAT PIPE ENDS HAVE BEEN MARKED AND THEN INSERTED INTO BELL ENDS FOR THE APPROPRIATE DEPTHS, THAT FITTINGS AND PIPE ARE PROPERLY ALIGNED AND BOLTED TOGETHER AS REQUIRED, THAT TRACING WIRE IS INSTALLED AS REQUIRED, THAT ALL DUCTILE IRON FITTINGS AND PIPE ARE WRAPPED AS REQUIRED, AND THAT ALL ITEMS ARE REASONABLY CENTERED IN THE TRENCH SO THAT BEDDING MATERIAL CAN BE PLACED ALONG THE SIDES OF THE PIPE AS REQUIRED BY THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.

10. "BURIED SEWER LINE" LABELED METALLIC DETECTOR TAPE SHALL BE INSTALLED PROPERLY ATOP THE FIRST COMPACTED LIFT OF NATIVE MATERIAL ABOVE THE TOP OF PIPE BEDDING AND DIRECTLY ABOVE THE CENTERLINE OF THE BURIED SEWER LINE.
11. NATIVE BACKFILL USED ABOVE THE BEDDING SHALL BE CAREFULLY PROCESSED TO REMOVE ALL ROCK LARGER THAN 3" DIAMETER AND OBTAIN THE APPROPRIATE MOISTURE AND THEN CAREFULLY PLACED IN EVEN AND UNIFORM LIFTS IN THE TRENCH AND COMPACTED TO THE DENSITY REQUIRED TO SATISFY BOTH MAG SPECIFICATIONS IN SECTION 601 AND ARIZONA DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR WORK IN THEIR RIGHT-OF-WAY. THE ALLOWABLE DEPTH OF LIFT WILL BE DETERMINED BY THE CAPABILITIES OF THE COMPACTION EQUIPMENT PROVIDED BY THE CONTRACTOR. DENSITIES OF TRENCH BACKFILL WILL BE CHECKED BY CITY OF COTTONWOOD UTILITY ENGINEER OR DESIGNEE AT THE FOLLOWING VERTICAL AND HORIZONTAL INTERVALS:

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TRENCH BACKFILL IN DRIVEWAYS	EVERY LIFT	AT EVERY DRIVEWAY LOCATION

12. WHERE CULVERTS OR DRAINAGE PIPES CROSS GRAVITY SEWERS, PRESSURE SEWERS, OR WATER MAINS, A MINIMUM OF TWO FEET OF VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE TWO PIPES PER MAG STANDARD DETAIL 404.
13. WATER AND SEWER MAINS SHALL BE SEPARATED IN ORDER TO PROTECT PUBLIC WATER SYSTEMS FROM POSSIBLE CONTAMINATION. ALL DISTANCES ARE MEASURED PERPENDICULARLY FROM THE OUTSIDE OF THE SEWER MAIN TO THE OUTSIDE OF THE WATER MAIN. SEPARATION REQUIREMENTS ARE AS FOLLOWS:
 - A. WITHIN SIX FEET, HORIZONTAL DISTANCE, AND BELOW TWO FEET, VERTICAL DISTANCE, ABOVE THE TOP OF A SEWER MAIN UNLESS EXTRA PROTECTION IS PROVIDED, EXTRA PROTECTION SHALL CONSIST OF CONSTRUCTING THE SEWER MAIN WITH MECHANICAL JOINT DUCTILE IRON PIPE OR WITH SLIP-JOINT DUCTILE IRON PIPE IF JOINT RESTRAINT IS PROVIDED. ALTERNATE EXTRA PROTECTION SHALL CONSIST OF ENCASING BOTH THE WATER AND SEWER MAINS IN AT LEAST SIX INCHES OF CONCRETE FOR AT LEAST TEN FEET BEYOND THE AREA OF CROSSING.
 - B. WITHIN TWO FEET HORIZONTALLY AND TWO FEET BELOW THE WATER MAIN.
15. NO WATER PIPE SHALL PASS THROUGH OR COME INTO CONTACT WITH ANY PART OF A SEWER MANHOLE. THE MINIMUM HORIZONTAL SEPARATION BETWEEN WATER MAINS AND MANHOLES SHALL BE SIX FEET, MEASURED FROM THE CENTER OF THE MANHOLE.
16. THE MINIMUM SEPARATION BETWEEN FORCE MAINS OR PRESSURE SEWERS AND WATER MAINS SHALL BE TWO FEET VERTICALLY AND SIX FEET HORIZONTALLY UNDER ALL CONDITIONS. WHERE A SEWER FORCE MAIN CROSSES ABOVE OR LESS THAN SIX FEET BELOW A WATER LINE, THE SEWER MAIN SHALL BE ENCASED IN AT LEAST SIX INCHES OF CONCRETE OR CONSTRUCTED USING MECHANICAL JOINT DUCTILE IRON PIPE FOR TEN FEET ON EITHER SIDE OF THE WATER MAIN.
17. THE SEPARATION REQUIREMENTS DO NOT APPLY TO BUILDING, PLUMBING, OR INDIVIDUAL HOUSE SERVICE CONNECTIONS.
18. THE CONTRACTOR SHALL UNCOVER ALL EXISTING SEWER LINES TO BE CONNECTED AND VERIFY INVERT ELEVATIONS BEFORE ANY OTHER CONSTRUCTION.
19. ALL SEWER SERVICE LATERALS REQUIRE THE INSTALLATION OF CLEAN-OUTS PER MAG STANDARD DETAIL 440-3 AND A CURB STAMP PER MAG STANDARD DETAIL 440-4. CUL-DE-SACS AND OTHER LOCATIONS, AS DIRECTED BY THE CITY WILL REQUIRE THE USE OF DOUBLE CLEAN-OUTS PER MAG STANDARD DETAIL 440-2 AND A CURB STAMP PER MAG STANDARD DETAIL 440-4.
20. ALL SEWER MANHOLE CONNECTIONS SHALL BE INSTALLED WITH A GASKET, JOINT SEALER, OR WATER STOP BETWEEN THE BASE AND RISER SECTION.
21. ALL MANHOLES AND COMPONENTS SHALL BE CONSTRUCTED OF CLASS A CONCRETE IN CONFORMANCE WITH MAG STANDARD SPECIFICATION SECTION 725.
22. CONTRACTOR SHALL MANDEREL, AIR PRESSURE TEST, AND PROVIDE A CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION IN ACCORDANCE WITH NASSCO PIPELINE ASSESSMENT CERTIFICATION PROGRAM. THE CCTV INSPECTION SHOULD BE PROVIDED IN DIGITAL (DVD) FORMAT UTILIZING A MEASURING DEVICE AHEAD OF THE CAMERA TO IDENTIFY DEFLECTIONS IN THE LINE. THE MEASURING DEVICE SHALL BE ABLE TO MEASURE WATER DEPTH FROM 0 TO 2 INCHES IN 1/4" INCH INCREMENTS. CONTRACTOR SHALL PERFORM TESTS AFTER DRY UTILITIES ARE INSTALLED AND PRIOR TO ANY CONCRETE WORK, STREET WORK, OR FINAL ACCEPTANCE OF THE SEWER.
23. SEWER LINES SHALL REMAIN "PLUGGED" AT THE POINT(S) OF CONNECTION TO EXISTING LINES (OUTFALLS) UNTIL ALL PHASES OF THE PROJECT HAVE BEEN ACCEPTED BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF.
24. NO FLOW SHALL BE RELEASED INTO THE CITY SANITARY SEWER UNTIL AFTER ALL TESTS HAVE BEEN PASSED AND APPROVED BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF.
25. ALL PAVEMENT REPLACEMENT SHALL CONFORM TO MAG STANDARD DETAIL 200 WITH A "T-TOP" MODIFIED WITH A ONE SACK PORTLAND CEMENT ABC SLURRY, WHICH CONFORMS TO MAG STANDARD SPECIFICATION 728, FOR TRENCH BACKFILL FROM TOP OF BEDDING ABOVE THE TOP OF PIPE TO THE EXISTING PAVEMENT SUBGRADE. PAVEMENT REPLACEMENT THICKNESS SHALL BE AS SPECIFIED ON THESE APPROVED PLANS.
26. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY THE ENGINEER OF RECORD BEFORE THE SEWER LINE IS BACKFILLED SO "AS-BUILT" MEASUREMENTS MAY BE TAKEN. ANY CHANGES TO THE APPROVED PLANS MUST BE AUTHORIZED BY THE ENGINEER OF RECORD AND THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, BEFORE THE CHANGE IS MADE IN THE FIELD.

3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE AN ACCURATE SET OF "AS-BUILT" PLANS TO THE CITY OF COTTONWOOD UTILITIES ENGINEER OR DESIGNEE PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT WORK. THESE "AS-BUILT" PLANS SHALL ACCURATELY SHOW THE LOCATIONS OF ALL CONSTRUCTED WATERLINES, FITTINGS, VALVES, BLOCKING, AND TIE-IN POINTS WITH THEIR RELATIONSHIP TO RIGHT-OF-WAY BOUNDARIES, LOT LINES, OR OTHER POINTS OF SURVEY.
4. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SURVEY ACCURACY OF ALL OF THE PROPOSED WORK AT THEIR EXPENSE. THE PROPOSED WORK SHALL BE STAKED BY USE OF MONUMENTATION THAT IS ACCEPTABLE TO THE CITY OF COTTONWOOD CITY ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE TO "POT-HOLE" OR UNCOVER ALL EXISTING WATER LINE TIE-IN POINTS TO VERIFY THEIR SIZE, MATERIAL, LOCATION AND DEPTH PRIOR TO TRENCHING FOR NEW WATER LINE CONSTRUCTION. THE CONTRACTOR SHALL ALSO LOCATE OR HAVE LOCATED ALL EXISTING UNDERGROUND PIPES, CONDUITS, AND UTILITIES PRIOR TO CONSTRUCTION.
6. ALL WATER MAIN PIPING SHALL BE DUCTILE IRON PRESSURE CLASS 350 ENCASED IN POLYETHYLENE SLEEVING, OR PVC C-900 CLASS DR14 AS SHOWN IN THE APPROVED PLANS.

CITY OF COTTONWOOD WATERMAIN NOTES

1. ALL PROJECT MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE "MARICOPA ASSOCIATION OF GOVERNMENTS (MAG) STANDARD SPECIFICATIONS AND DETAILS FOR PUBLIC WORKS CONSTRUCTION" AND THESE COTTONWOOD MUNICIPAL WATER SYSTEMS (CMWS) STANDARDS AND SPECIFICATIONS. THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, TOGETHER WITH GENERALLY ACCEPTED GOOD CONSTRUCTION PRACTICES.
2. THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, WILL CONDUCT INSPECTIONS OF ALL OF THE PROPOSED IMPROVEMENTS. THESE REQUIRED INSPECTIONS WILL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PRE-EXCAVATION LOCATION OF THE PROPOSED TRENCH AND ANY PROPOSED SAW-CUTTING OF ASPHALT OR CONCRETE. VERIFICATION OF BLUE-STAKE COMPLETION WILL ALSO BE DONE AT THIS TIME.
 - B. EXCAVATED DEPTH AND TRENCH SUBGRADE PREPARATION. ANY CROSSED UTILITIES (PUBLIC OR PRIVATE) WILL BE INSPECTED AT THIS TIME TO ASSURE NO DAMAGE OCCURRED DURING EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE TO OVERSEE THE REPAIR OF ANY DAMAGE TO ANY UTILITY THAT OCCURRED FROM THE EXCAVATION, CONSTRUCTION, AND BACKFILL OF THE PROPOSED WATERLINE TO THE SATISFACTION OF THAT RELATIVE UTILITY.
 - C. THE PLACEMENT OF TRENCH BOTTOM BEDDING INCLUDING QUALITY OF MATERIALS, THICKNESS, MOISTURE, AND COMPACTION IN ACCORDANCE TO THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
 - D. THE INSTALLATION AND ASSEMBLY OF THE PROPOSED PIPE AND FITTINGS IN THE TRENCH ATOP THE TRENCH BOTTOM BEDDING. THIS WILL INCLUDE BUT NOT BE LIMITED TO INSPECTING THAT BEDDING HAS BEEN HAND REMOVED BELOW BELLS FOR FLUSH FIT ATOP TRENCH BOTTOM BEDDING, THAT PIPE ENDS HAVE BEEN MARKED AND THEN INSERTED INTO BELL ENDS FOR THE APPROPRIATE DEPTHS, THAT FITTINGS AND PIPE ARE PROPERLY ALIGNED AND BOLTED TOGETHER AS REQUIRED, THAT TRACING WIRE IS INSTALLED AS REQUIRED, THAT ALL DUCTILE IRON FITTINGS AND PIPE ARE WRAPPED AS REQUIRED, AND THAT ALL ITEMS ARE REASONABLY CENTERED IN THE TRENCH SO THAT BEDDING MATERIAL CAN BE PLACED ALONG THE SIDES OF THE PIPE AS REQUIRED BY THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
 - E. THAT THE WATERLINE AND FITTINGS ARE APPROPRIATELY BEDDED AROUND AND OVER AS REQUIRED BY THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS INCLUDING QUALITY OF BEDDING MATERIAL, WIDTH/THICKNESS, MOISTURE, AND COMPACTION PER TABLE #1 BELOW.
 - F. THAT TRACER WIRE IS INSTALLED UNDER THE CENTER LINE OF THE PIPE AND IS NOT DAMAGED DURING CONSTRUCTION. BEFORE ACCEPTANCE FOR THE JOB TRACER WIRE WILL BE CHECKED FOR CONTINUITY. DAMAGED WIRE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - G. THAT "BURIED WATERLINE" LABELED DETECTOR TAPE IS INSTALLED PROPERLY ATOP THE FIRST COMPACTED LIFT OF NATIVE MATERIAL ABOVE THE TOP OF PIPE BEDDING AND DIRECTLY ABOVE THE CENTERLINE OF THE BURIED WATERLINE.
 - H. THAT NATIVE BACKFILL USED ABOVE THE BEDDING IS CAREFULLY PROCESSED TO REMOVE ALL ROCK LARGER THAN 3" DIAMETER AND OBTAIN THE APPROPRIATE MOISTURE AND THEN CAREFULLY PLACED IN EVEN AND UNIFORM LIFTS IN THE TRENCH AND COMPACTED TO THE DENSITY REQUIRED TO SATISFY BOTH MAG SPECIFICATIONS IN SECTION 601 AND ARIZONA DEPARTMENT OF TRANSPORTATION REQUIREMENTS FOR WORK IN THEIR RIGHT-OF-WAY. THE ALLOWABLE DEPTH OF LIFT WILL BE DETERMINED BY THE CAPABILITIES OF THE COMPACTION EQUIPMENT PROVIDED BY THE CONTRACTOR. DENSITIES OF TRENCH BACKFILL WILL BE CHECKED BY CITY OF COTTONWOOD UTILITY ENGINEER OR DESIGNEE AT THE FOLLOWING VERTICAL AND HORIZONTAL INTERVALS:

TABLE #1		
MATERIAL/LOCATION	TEST INTERVAL-VERT.*	TEST INTERVAL-HORIZ.*
PIPE BEDDING BASE	TOP OF LIFT	EVERY 350' OR DAILY (WHICHEVER IS LESS)
PIPE BEDDING	12" ABOVE TOP OF PIPE AND AT TOP OF BEDDING	EVERY 350' OR DAILY (WHICHEVER IS LESS)
TRENCH BACKFILL ABOVE BEDDING	EVERY 18" OF VERTICAL FILL	EVERY 350' OR DAILY (WHICHEVER IS LESS)
TRENCH BACKFILL IN DRIVEWAYS	EVERY LIFT	AT EVERY DRIVEWAY LOCATION

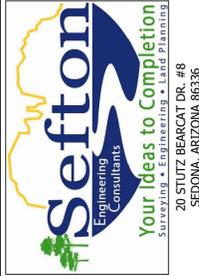
7. ALL FITTINGS SHALL BE DOMESTIC ONLY AND COMPLY WITH AWWA STANDARDS. ALL VALVE BOXES SHALL BE "TYLER" ONLY.
8. WATER MAINS SHALL BE BURIED FOR A MINIMUM DEPTH OF 3 FEET FOR PIPE DIAMETERS 10 INCHES OR LESS AND A MINIMUM OF 4 FEET FOR PIPES WITH A DIAMETER GREATER THAN 10 INCHES UNLESS SHOWN DIFFERENTLY IN THE APPROVED PLANS OR APPROVED IN WRITING FROM THE CITY ENGINEER. THE DEPTH SHOWN IN PLANS IS ASSUMED TO BE THE MINIMUM DEPTH.
9. ALL WATER LINES AND FITTINGS SHALL BE BEDDED AND SHADED ABOVE, BELOW, AND AROUND WITH AN APPROVED ROCK FREE, SANDY BEDDING MATERIAL PER THE PIPE BEDDING AND TRENCH DETAIL IN THE APPROVED PLANS.
10. THE CONTRACTOR SHALL PROVIDE A BLUE COATED #10 COPPER TRACER WIRE SECURED TO THE BOTTOM CENTERLINE OF ALL WATER LINES AND SERVICES. THE CONTRACTOR SHALL PROVIDE A LOOPED DIGITAL AT ALL IN-LINE VALVE LOCATIONS. TRACER WILL BE INSPECTED FOR CONTINUITY PRIOR TO ACCEPTANCE OF THE WORK. NON-CONTINUOUS OR FAULTY WIRE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
11. ALL SERVICE LINES THAT ARE UNDER PAVEMENT OR CONCRETE SHALL BE SLEEVED IN 4-INCH CLASS 160 PVC CONDUITS OR APPROVED EQUAL. SERVICE LINES ARE TO BE CONSTRUCTED WITH CROSS-LINKED POLYETHYLENE PIPING.
12. ALL WATER LINE ENDS SHALL BE PROVIDED WITH AN APPROVED 2" FLUSH VALVE (BLOW-OFF) PER MAG STANDARD DETAIL OR AS SHOWN IN THE APPROVED PLANS.
13. ALL FIRE HYDRANT HOSE AND STEAMER CONNECTIONS SHALL MATCH STANDARD SIZE AND THREADS PER THE COTTONWOOD FIRE DEPARTMENT.
14. ALL FRAMES, COVERS, VALVE BOXES, VAULT LIDS, ETC., SHALL BE PROPERLY ADJUSTED TO FINISH GRADE WITH THE SURROUNDING GRADE OR PAVING AFTER THE COMPLETION OF PAVING AND GRADING.
15. THE CONTRACTOR SHALL DISINFECT EVERY PART OF THE NEWLY CONSTRUCTED WATER SYSTEM PER ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY BULLETIN 8.
16. THE CONTRACTOR SHALL PROVIDE BACTERIOLOGICAL TESTING OF THE NEWLY CONSTRUCTED WATER SYSTEM PER ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY BULLETIN 8 AND THE CITY OF COTTONWOOD ENGINEER OR DESIGNEE.
17. THE CONTRACTOR SHALL PERFORM PRESSURE TESTING OF THE NEWLY CONSTRUCTED WATER SYSTEM AT THE DIRECTION OF THE CITY OF COTTONWOOD UTILITIES ENGINEER OR DESIGNEE IN ACCORDANCE WITH AWWA STANDARDS. ALL LEAKS THAT ARE FOUND WILL BE REPAIRED AND RETESTED FOR PRESSURE BY THE CONTRACTOR PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE. IF NECESSARY, THE SYSTEM MAY NEED TO BE DONE AGAIN DISINFECTED AND MAY NEED TO UNDERGO BACTERIOLOGICAL TESTING AT THE CONTRACTOR'S EXPENSE PRIOR TO IT BEING PLACED IN SERVICE.
18. THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION SO THAT INSPECTIONS MAY BE SCHEDULED.
19. ALL WORK AND MATERIALS THAT DO NOT CONFORM TO THESE SPECIFICATIONS OR THE APPROVED PLANS ARE SUBJECT TO REMOVAL AND REPLACEMENT TO MATCH THESE APPROVED PLANS UNDER THE DIRECTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, AT THE CONTRACTOR'S EXPENSE.
20. ALL WORK DONE BY THE CONTRACTOR SHALL BE SUBJECT TO INSPECTION BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, PRIOR TO BURIAL. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY OF COTTONWOOD INSPECTION STAFF IS SUBJECT TO EXCAVATION AND INSPECTION, REMOVAL, REPLACEMENT, OR REPAIR AT THE DIRECTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, SOLELY AT THE CONTRACTOR'S EXPENSE. REPAIR OF ANY DAMAGE DONE DURING THIS TYPE OF RE-EXPOSURE AND REQUIRED RE-TESTING, ETC., IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
21. ALL VAULTS OR OTHER UNDERGROUND STRUCTURES WILL BE PLACED ATOP SUBGRADE AND BASE-COURSE PLACED AND COMPACTED TO 95% MDD, TO THE SATISFACTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF.
22. ALL PLASTIC PIPES WILL BEAR THE SEAL BY THE NATIONAL SANITATION FOUNDATION.
23. ALL MATERIALS AND PRODUCTS THAT COME INTO CONTACT WITH WATER OR WATER TREATMENT CHEMICALS SHALL CONFORM TO ANSI/NSF STANDARD 61.
24. ALL CONSTRUCTION MATERIALS USED IN A PUBLIC WATER SYSTEM INCLUDING ALL RESIDENTIAL AND NON-RESIDENTIAL FACILITIES WHICH WILL BE CONNECTED TO SAID PUBLIC WATER SYSTEM, SHALL BE LEAD-FREE AS DEFINED BY R18-4-101.
25. WHEN ANY SEWER CROSSES A WATER PIPE AT A POINT AT WHICH THE SEWER IS 2 FEET OR MORE BELOW THE WATER MAIN, NO EXTRA PROTECTION OUTSIDE OF THE VERTICAL SEPARATION IS REQUIRED PER (ACC R18-4-502C). AT ALL OTHER CROSSINGS THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH MECHANICAL JOINTS FOR A DISTANCE OF AT LEAST 10 FEET IN EACH DIRECTION, MEASURED PERPENDICULAR TO THE WATER LINE. SAID SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 6 INCHES ALL THE WAY AROUND FOR THE SAME SPECIFIED DISTANCE OR AS SHOWN ON MAG SEPARATION DETAIL 404.
26. SUBMITTAL OF AN ENGINEER'S CERTIFICATE OF COMPLETION IS REQUIRED BY ADEQ FOR ALL WATER AND SEWER SYSTEM CONSTRUCTION.
27. THE MINIMUM COVER FROM FINISH GRADE TO TOP OF PIPE FOR ALL POTABLE WATERLINES WHICH ARE 12 INCHES IN DIAMETER OR LESS LOCATED IN MAJOR STREETS SHALL BE AS SPECIFIED BY THE DESIGN ENGINEER, BUT NO LESS THAN 36 INCHES UNLESS SHOWN DIFFERENTLY ON THESE APPROVED PLANS.
28. THE MINIMUM COVER FROM FINISH GRADE TO TOP OF PIPE FOR POTABLE WATERLINES WHICH ARE GREATER THAN 12-INCHES IN DIAMETER, LOCATED IN MAJOR STREETS SHALL BE AS SPECIFIED BY THE DESIGN ENGINEER, BUT NO LESS THAN 48 INCHES, UNLESS SHOWN DIFFERENTLY ON THESE APPROVED PLANS.

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15. THE CONTRACTOR SHALL DISINFECT EVERY PART OF THE NEWLY CONSTRUCTED WATER SYSTEM PER ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY BULLETIN 8.
16. THE CONTRACTOR SHALL PROVIDE BACTERIOLOGICAL TESTING OF THE NEWLY CONSTRUCTED WATER SYSTEM PER ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY BULLETIN 8 AND THE CITY OF COTTONWOOD ENGINEER OR DESIGNEE.
17. THE CONTRACTOR SHALL PERFORM PRESSURE TESTING OF THE NEWLY CONSTRUCTED WATER SYSTEM AT THE DIRECTION OF THE CITY OF COTTONWOOD UTILITIES ENGINEER OR DESIGNEE IN ACCORDANCE WITH AWWA STANDARDS. ALL LEAKS THAT ARE FOUND WILL BE REPAIRED AND RETESTED FOR PRESSURE BY THE CONTRACTOR PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE. IF NECESSARY, THE SYSTEM MAY NEED TO BE DONE AGAIN DISINFECTED AND MAY NEED TO UNDERGO BACTERIOLOGICAL TESTING AT THE CONTRACTOR'S EXPENSE PRIOR TO IT BEING PLACED IN SERVICE.
18. THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, SHALL BE NOTIFIED 2 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION SO THAT INSPECTIONS MAY BE SCHEDULED.
19. ALL WORK AND MATERIALS THAT DO NOT CONFORM TO THESE SPECIFICATIONS OR THE APPROVED PLANS ARE SUBJECT TO REMOVAL AND REPLACEMENT TO MATCH THESE APPROVED PLANS UNDER THE DIRECTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, AT THE CONTRACTOR'S EXPENSE.
20. ALL WORK DONE BY THE CONTRACTOR SHALL BE SUBJECT TO INSPECTION BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, PRIOR TO BURIAL. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY OF COTTONWOOD INSPECTION STAFF IS SUBJECT TO EXCAVATION AND INSPECTION, REMOVAL, REPLACEMENT, OR REPAIR AT THE DIRECTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF, SOLELY AT THE CONTRACTOR'S EXPENSE. REPAIR OF ANY DAMAGE DONE DURING THIS TYPE OF RE-EXPOSURE AND REQUIRED RE-TESTING, ETC., IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
21. ALL VAULTS OR OTHER UNDERGROUND STRUCTURES WILL BE PLACED ATOP SUBGRADE AND BASE-COURSE PLACED AND COMPACTED TO 95% MDD, TO THE SATISFACTION OF THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT, INSPECTION STAFF.
22. ALL PLASTIC PIPES WILL BEAR THE SEAL BY THE NATIONAL SANITATION FOUNDATION.
23. ALL MATERIALS AND PRODUCTS THAT COME INTO CONTACT WITH WATER OR WATER TREATMENT CHEMICALS SHALL CONFORM TO ANSI/NSF STANDARD 61.
24. ALL CONSTRUCTION MATERIALS USED IN A PUBLIC WATER SYSTEM INCLUDING ALL RESIDENTIAL AND NON-RESIDENTIAL FACILITIES WHICH WILL BE CONNECTED TO SAID PUBLIC WATER SYSTEM, SHALL BE LEAD-FREE AS DEFINED BY R18-4-101.
25. WHEN ANY SEWER CROSSES A WATER PIPE AT A POINT AT WHICH THE SEWER IS 2 FEET OR MORE BELOW THE WATER MAIN, NO EXTRA PROTECTION OUTSIDE OF THE VERTICAL SEPARATION IS REQUIRED PER (ACC R18-4-502C). AT ALL OTHER CROSSINGS THE SEWER SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE WITH MECHANICAL JOINTS FOR A DISTANCE OF AT LEAST 10 FEET IN EACH DIRECTION, MEASURED PERPENDICULAR TO THE WATER LINE. SAID SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM OF 6 INCHES ALL THE WAY AROUND FOR THE SAME SPECIFIED DISTANCE OR AS SHOWN ON MAG SEPARATION DETAIL 404.
26. SUBMITTAL OF AN ENGINEER'S CERTIFICATE OF COMPLETION IS REQUIRED BY ADEQ FOR ALL WATER AND SEWER SYSTEM CONSTRUCTION.
27. THE MINIMUM COVER FROM FINISH GRADE TO TOP OF PIPE FOR ALL POTABLE WATERLINES WHICH ARE 12 INCHES IN DIAMETER OR LESS LOCATED IN MAJOR STREETS SHALL BE AS SPECIFIED BY THE DESIGN ENGINEER, BUT NO LESS THAN 36 INCHES UNLESS SHOWN DIFFERENTLY ON THESE APPROVED PLANS.
28. THE MINIMUM COVER FROM FINISH GRADE TO TOP OF PIPE FOR POTABLE WATERLINES WHICH ARE GREATER THAN 12-INCHES IN DIAMETER, LOCATED IN MAJOR STREETS SHALL BE AS SPECIFIED BY THE DESIGN ENGINEER, BUT NO LESS THAN 48 INCHES, UNLESS SHOWN DIFFERENTLY ON THESE APPROVED PLANS.



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NOTES - SHEET 4 OF 4

SHEET TITLE:
 PROJECT TITLE:

DRAWN BY: RJB

SCALE: N/A

DATE: 09-16-2019

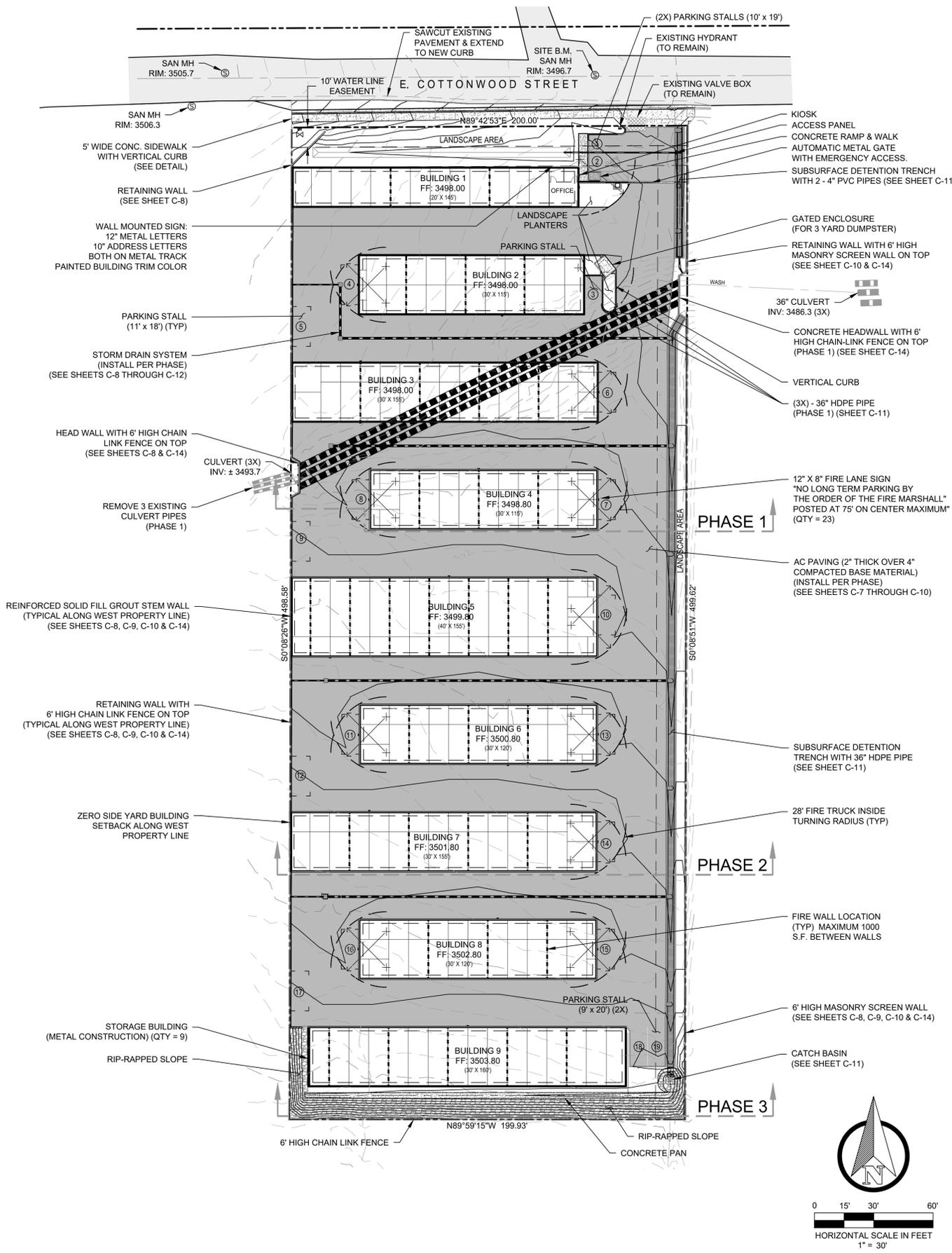
PROJECT NO: 170302A

SHEET NO.

C-5

HERRICK STORAGE FACILITY
 345 WEST STATE ROUTE 89A, COTTONWOOD, AZ 86326

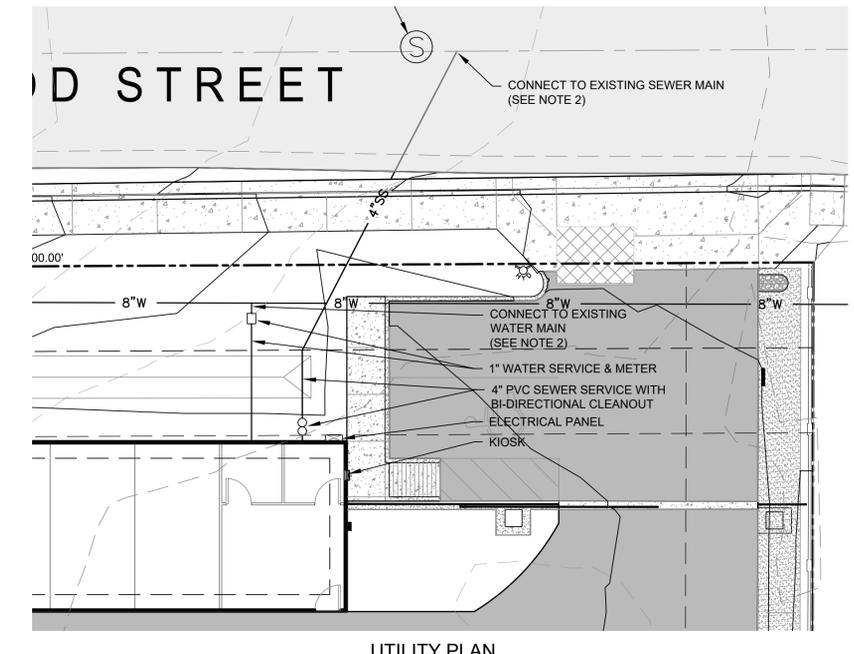
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- CONSTRUCTION NOTES:**
1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE CORRECT DIMENSIONS OF THE PROPOSED BUILDING AND THAT IT IS LOCATED WITHIN THE PROPER SETBACK LOCATION.
 2. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS.
 3. ALL WORK PERFORMED IN THE CITY RIGHT OF WAY WILL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF COTTONWOOD ENGINEERING DEPARTMENT.
 4. A CITY OF COTTONWOOD RIGHT OF WAY PERMIT WILL BE REQUIRED FOR THIS PROJECT.
 5. FOR CONSTRUCTION PHASING DETAILS SEE SHEET C-7.
 6. SEE SHEET C-15 FOR RETAINING WALL SCHEDULE.

PARKING STALL TABULATION:

TOTAL BUILDING AREA:	37,500 SQ. FT.
PARKING STALLS REQUIRED:	18.75 STALLS
PARKING STALLS PROVIDED:	19 STALLS



- GENERAL FIRE DEPARTMENT NOTES:**
1. FIRE LANE SIGNS SHALL BE RED RETRO REFLECTIVE 12" X 8" IN SIZE STATING "NO LONG TERM PARKING BY ORDER OF THE FIRE MARSHAL" AND SHALL BE POSTED EVERY 75'. ALL CURBS IN THE FIRE LANE SHALL BE PAINTED RED WITH 4" TALL WHITE LETTERS STATING "15 MINUTE PARKING" PAINTED ON THE CURB FACE.
 2. ADDRESS SHALL BE POSTED PLAINLY VISIBLE FROM THE STREET FRONTAGE IN NOT LESS THAN 10" TALL NUMERALS. UNIT/SUITE NUMBERS SHALL BE POSTED AND PLAINLY VISIBLE FROM THE DRIVEWAYS AND/OR WALKWAYS.
 3. FIRE EXTINGUISHERS ARE REQUIRED FOR THIS PROJECT. CONTACT THE COTTONWOOD FIRE DEPARTMENT FOR PLACEMENT AND TYPE AT (928) 634-2741.
 4. PROVIDE A COPY OF THE DOOR KEYS TO THE COTTONWOOD FIRE DEPARTMENT FOR PLACEMENT INTO THE KNOX BOX. SCHEDULE TESTING OF THE KNOX BOX/GATE SWITCH WITH THE FIRE DEPARTMENT.

LINETYPE LEGEND:

PROPOSED STORM SEWER LINE (SIZE PER PLAN)	---
PROPOSED 1" WATER SERVICE	—1"W
PROPOSED 4" SANITARY SERVICE	—4"SS
PROPOSED ROAD CENTERLINE	---
PROPERTY & RIGHT-OF-WAY LINE	---
BUILDING SETBACK LINE	---
EXISTING EASEMENT LINE	---
PROPOSED FLOW LINE	---

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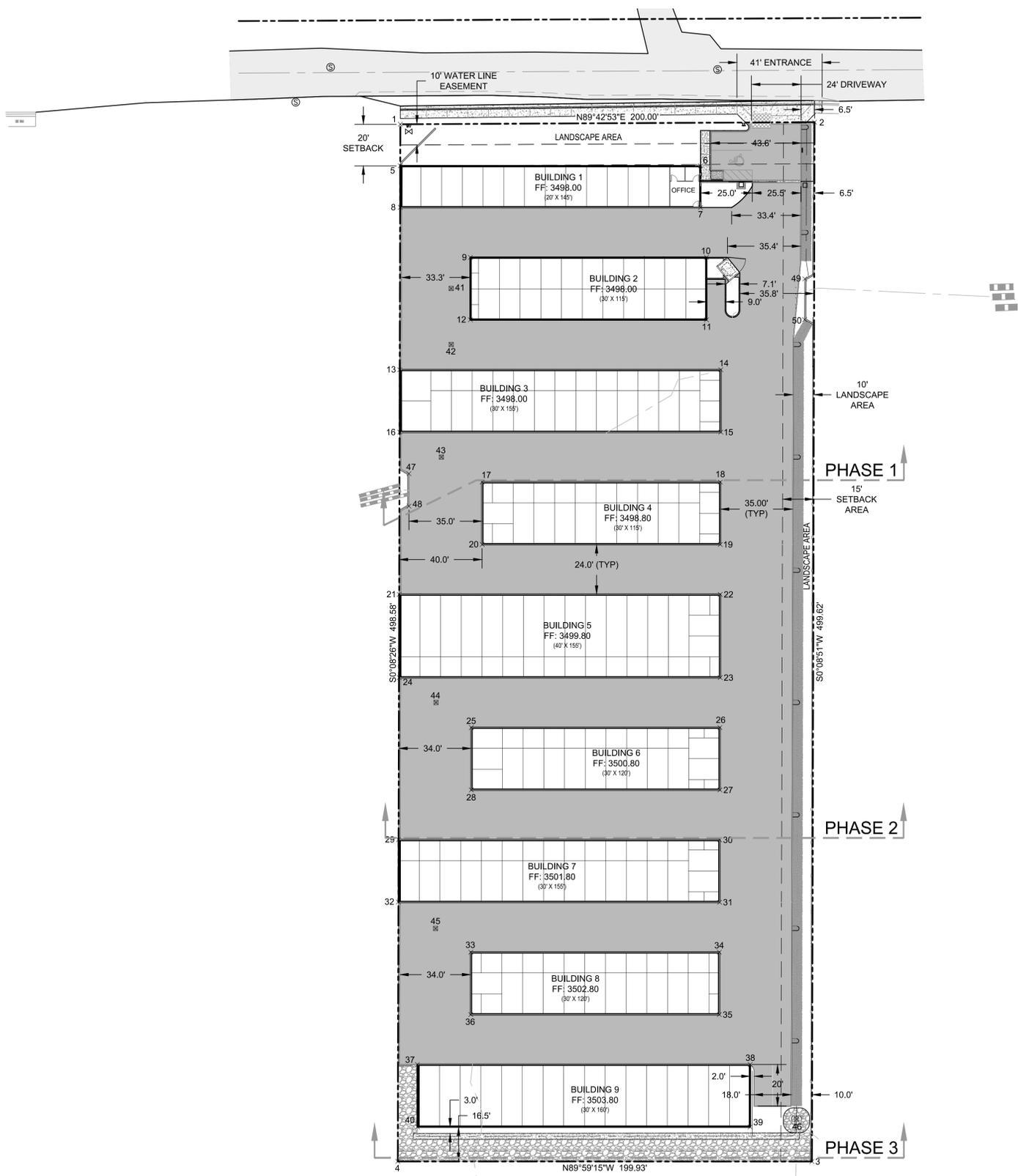
Professional Engineer
 LUKE A. SEFTON
 37322
 EXPIRES 03/31/20

OVERALL SITE & UTILITY PLAN

HERRICK STORAGE FACILITY
 25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE: OVERALL SITE & UTILITY PLAN
 PROJECT TITLE: HERRICK STORAGE FACILITY
 DRAWN BY: RJB
 SCALE: AS NOTED
 DATE: 12/27/19
 PROJECT NO: 170302A
 SHEET NO. C-6

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CONSTRUCTION NOTES:

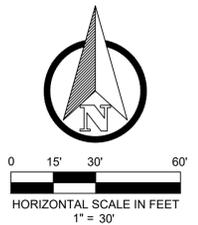
1. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE CORRECT DIMENSIONS OF THE PROPOSED BUILDING AND THAT IT IS LOCATED WITHIN THE PROPER SETBACK LOCATION.
2. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS.
3. PHASE 1 INCLUDES ALL WALLS AND FENCES.

Point #	Northing	Easting	Description
1	3191.93	-327.74	PROP COR
2	3192.93	-127.74	PROP COR
3	2693.31	-129.03	PROP COR
4	2693.35	-328.96	PROP COR
5	3171.95	-327.79	BLDG
6	3171.93	-182.80	BLDG
7	3151.93	-182.80	BLDG
8	3151.99	-327.79	BLDG
9	3127.93	-293.92	BLDG
10	3127.93	-179.92	BLDG
11	3097.93	-179.92	BLDG
12	3097.93	-293.92	BLDG
13	3073.93	-328.03	BLDG
14	3073.93	-173.03	BLDG
15	3043.93	-173.03	BLDG
16	3043.93	-328.03	BLDG
17	3019.93	-288.25	BLDG
18	3019.93	-173.25	BLDG
19	2989.94	-173.25	BLDG
20	2989.94	-288.25	BLDG
21	2965.94	-328.29	BLDG
22	2965.93	-173.29	BLDG
23	2925.93	-173.29	BLDG
24	2925.92	-328.29	BLDG
25	2901.93	-293.46	BLDG

Point #	Northing	Easting	Description
26	2901.93	-173.46	BLDG
27	2871.93	-173.46	BLDG
28	2871.93	-293.46	BLDG
29	2848.04	-328.63	BLDG
30	2847.93	-173.58	BLDG
31	2817.93	-173.58	BLDG
32	2818.04	-328.71	BLDG
33	2793.93	-293.72	BLDG
34	2793.93	-173.72	BLDG
35	2763.93	-173.72	BLDG
36	2763.93	-293.72	BLDG
37	2739.93	-319.51	BLDG
38	2739.93	-158.85	BLDG
39	2709.93	-158.85	BLDG
40	2709.93	-319.47	BLDG
41	3112.99	-303.20	CB
42	3086.05	-303.20	CB
43	3031.93	-307.90	CB
44	2913.96	-310.50	CB
45	2805.32	-310.72	CB
46	2713.63	-136.39	PIPE
47	3023.97	-323.58	COR WALL
48	3008.36	-323.58	COR WALL
49	3117.62	-132.43	COR WALL
50	3098.01	-132.58	BLDG

LINETYPE LEGEND

- PROPOSED STORM SEWER LINE (SIZE PER PLAN)
- PROPOSED 1" WATER SERVICE 1"W
- PROPOSED 4" SANITARY SERVICE 4"SS
- PROPOSED ROAD CENTERLINE
- PROPERTY & RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED FLOW LINE



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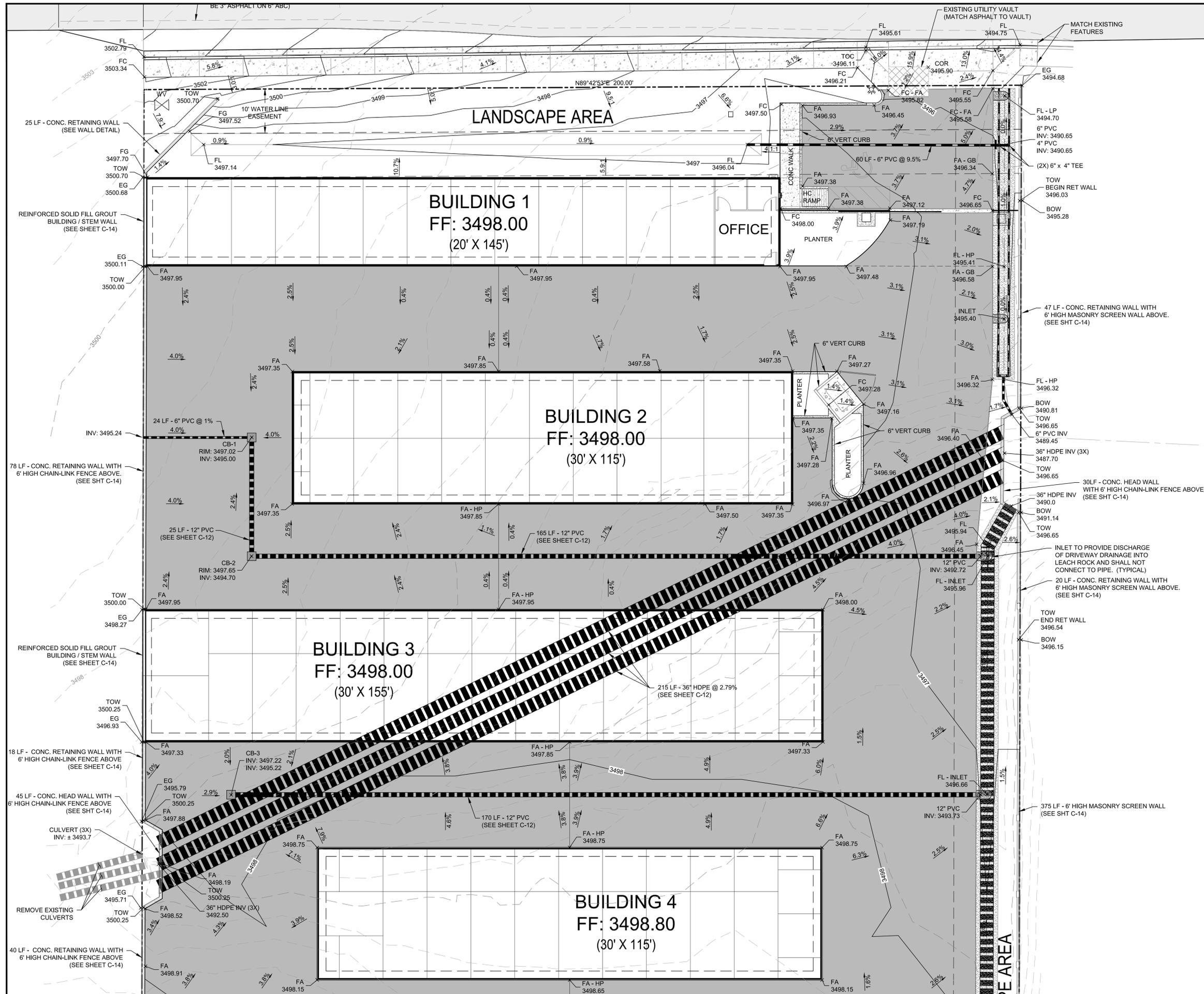
HORIZONTAL CONTROL PLAN

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE: HORIZONTAL CONTROL PLAN
 PROJECT TITLE: HERRICK STORAGE FACILITY

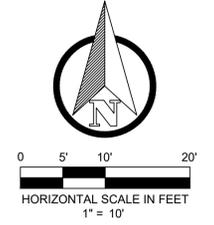
DRAWN BY: RJB
 SCALE: 1" = 30'
 DATE: 12/27/19
 PROJECT NO: 170302A
 SHEET NO: C-7

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SPOT ELEVATIONS LEGEND

- BOC BACK OF CURB
- BOW BOTTOM OF WALL
- BM BENCH MARK
- CL CENTER LINE
- EG EXISTING GROUND
- FA FINISHED ASPHALT
- FC FINISHED CONCRETE
- FF FINISHED FLOOR
- FG FINISHED GROUND
- FL FLOW LINE
- EOP EDGE OF PAVEMENT
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- TOW TOP OF WALL
- TOC TOP OF CURB



LINETYPE LEGEND

- PROPOSED STORM SEWER LINE (SIZE PER PLAN)
- PROPOSED 1" WATER SERVICE 1"W
- PROPOSED 4" SANITARY SERVICE 4"SS
- PROPOSED ROAD CENTERLINE
- PROPERTY & RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED FLOW LINE



GRADING & DRAINAGE PLAN - PHASE 1

HERRICK STORAGE FACILITY

25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:

DRAWN BY: RJB
SCALE: 1" = 10'
DATE: 12/27/19
PROJECT NO: 170302A

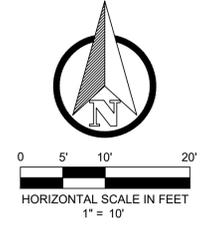
SHEET NO.

C-9

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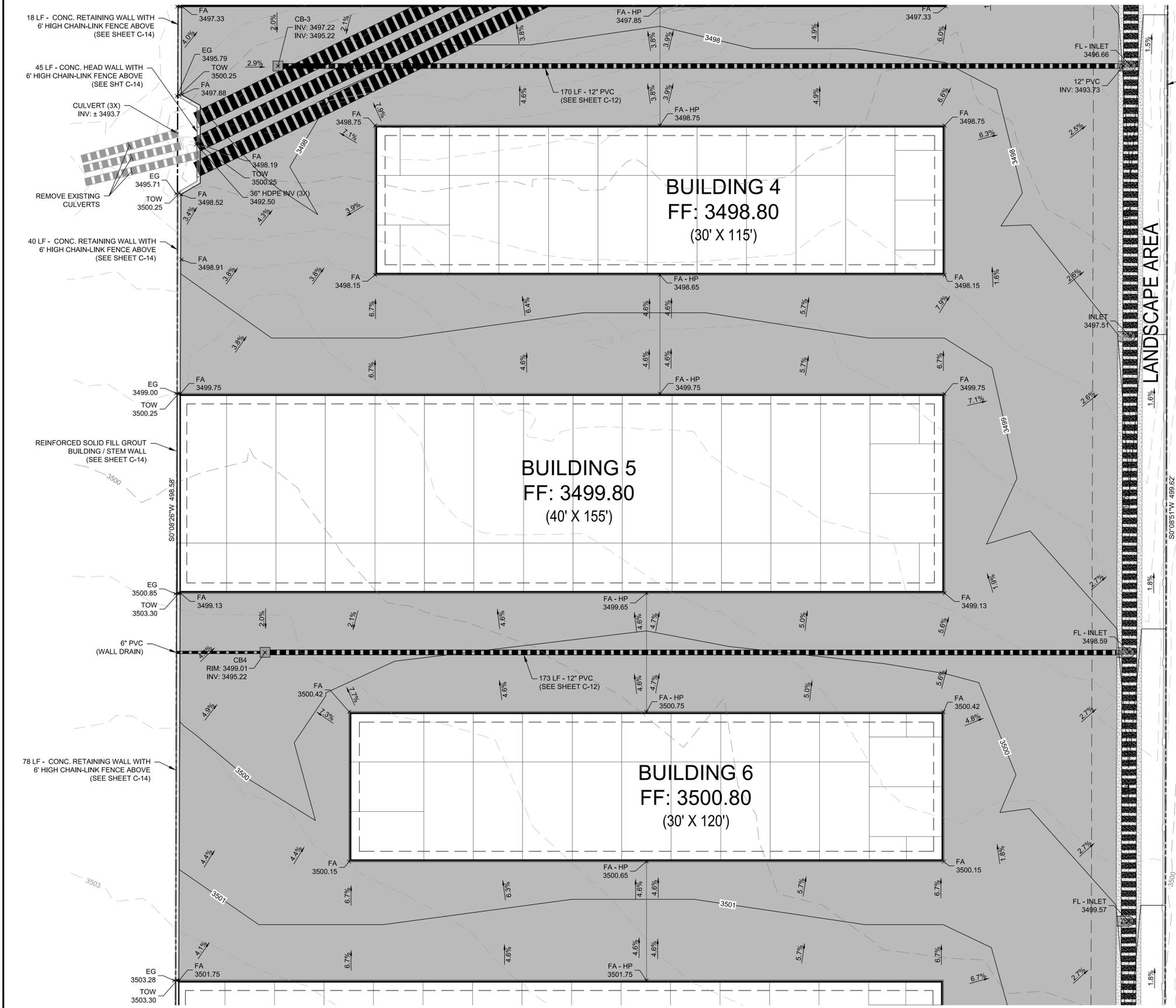
SPOT ELEVATIONS LEGEND

- BOC BACK OF CURB
- BOW BOTTOM OF WALL
- BM BENCH MARK
- CL CENTER LINE
- EG EXISTING GROUND
- FA FINISHED ASPHALT
- FC FINISHED CONCRETE
- FF FINISHED FLOOR
- FG FINISHED GROUND
- FL FLOW LINE
- EOP EDGE OF PAVEMENT
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- TOW TOP OF WALL
- TOC TOP OF CURB



LINETYPE LEGEND

- PROPOSED STORM SEWER LINE (SIZE PER PLAN)
- PROPOSED 1" WATER SERVICE 1"W
- PROPOSED 4" SANITARY SERVICE 4"SS
- PROPOSED ROAD CENTERLINE
- PROPERTY & RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED FLOW LINE



GRADING & DRAINAGE PLAN - PHASE 2

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:

DRAWN BY: RJB

SCALE: 1" = 10'

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

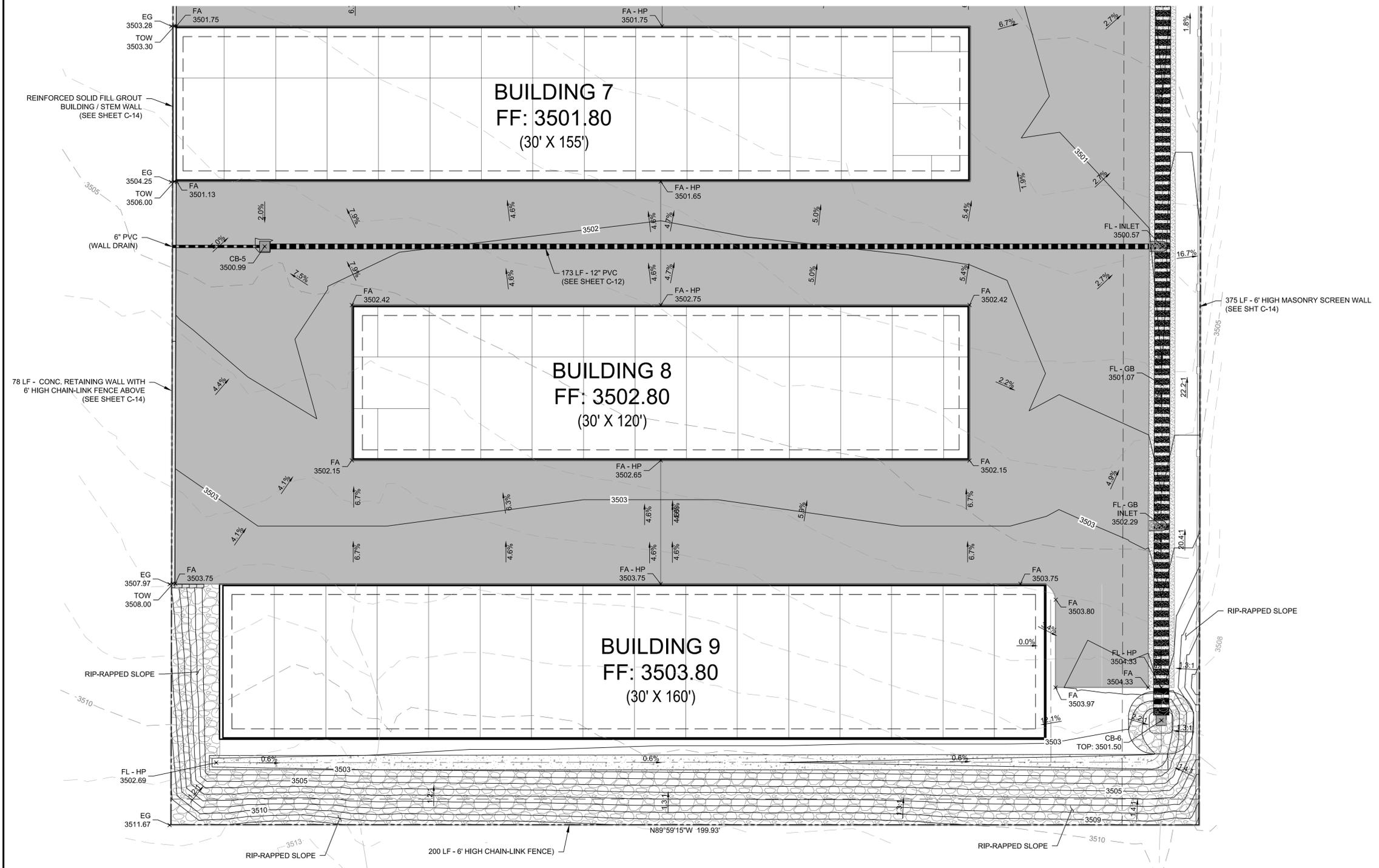
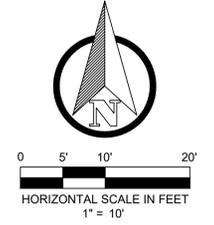
C-10

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SPOT ELEVATIONS LEGEND

- BOC BACK OF CURB
- BOW BOTTOM OF WALL
- BM BENCH MARK
- CL CENTER LINE
- EG EXISTING GROUND
- FA FINISHED ASPHALT
- FC FINISHED CONCRETE
- FF FINISHED FLOOR
- FG FINISHED GROUND
- FL FLOW LINE
- EOP EDGE OF PAVEMENT
- GB GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- TOW TOP OF WALL
- TOC TOP OF CURB

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LINETYPE LEGEND

- PROPOSED STORM SEWER LINE (SIZE PER PLAN)
- PROPOSED 1" WATER SERVICE 1"W
- PROPOSED 4" SANITARY SERVICE 4"SS
- PROPOSED ROAD CENTERLINE
- PROPERTY & RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT LINE
- PROPOSED FLOW LINE

SHEET TITLE: GRADING & DRAINAGE PLAN - PHASES 3-4

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

PROJECT TITLE:

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SCALE: 1" = 10'
DATE: 12/27/19
PROJECT NO: 170302A

SHEET NO. **C-11**

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SHEET TITLE: STORM DETENTION DITCH PROFILES

PROJECT TITLE: HERRICK STORAGE FACILITY

25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

DRAWN BY: RJB

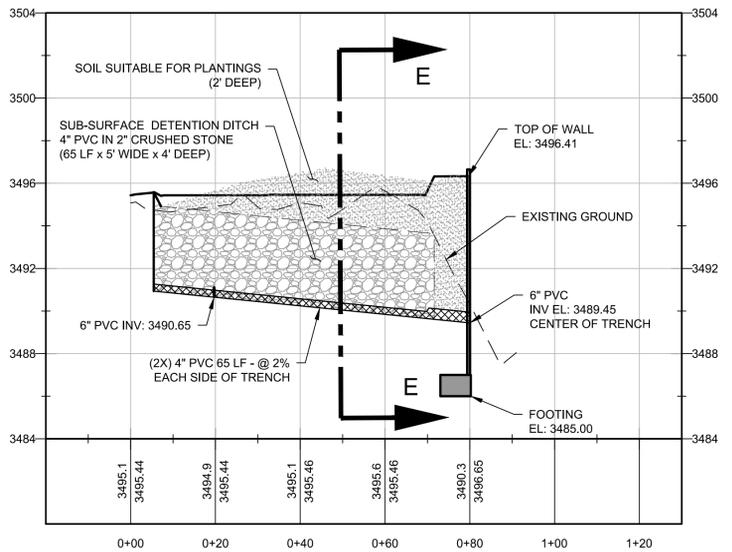
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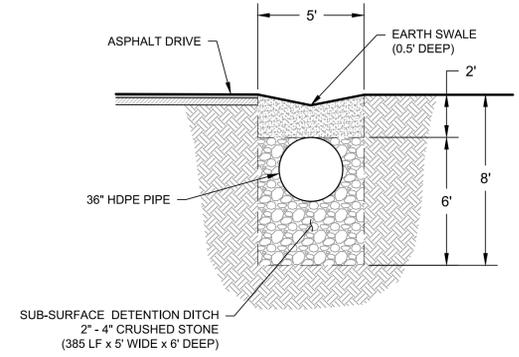
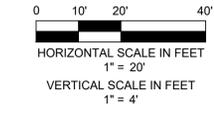
PROJECT NO: 170302A

SHEET NO. C-12

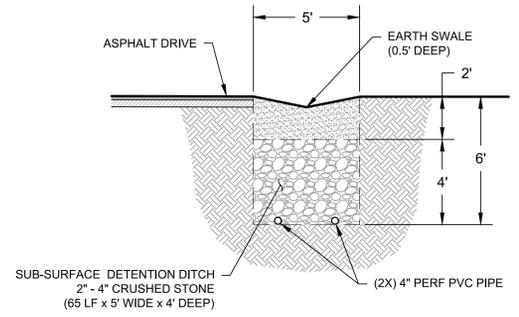
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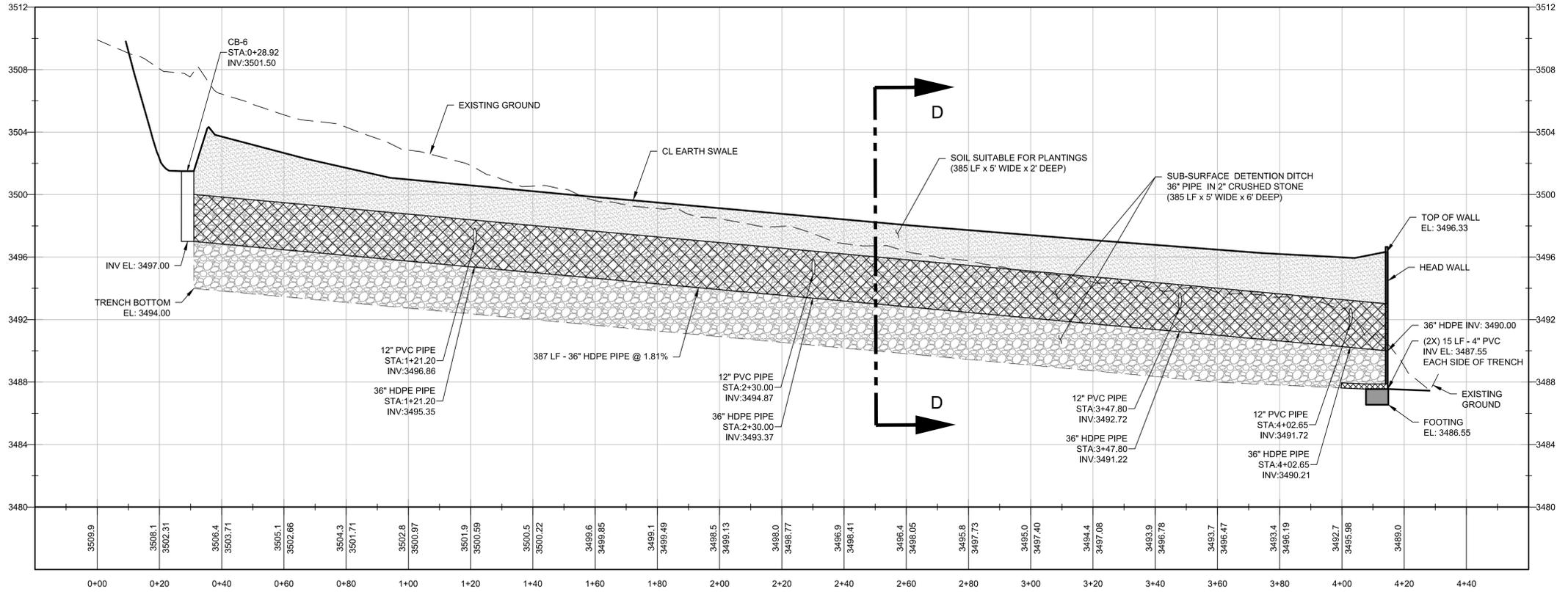
SUB-SURFACE DETENTION DITCH WITH 4" PIPE PROFILE
(NORTH-SOUTH DITCH ALONG NORTHEAST PROPERTY LINE)



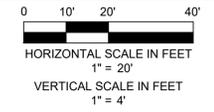
SECTION D-D
HORIZONTAL SCALE IN FEET 1" = 20'

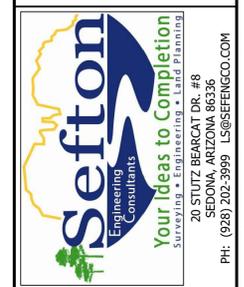
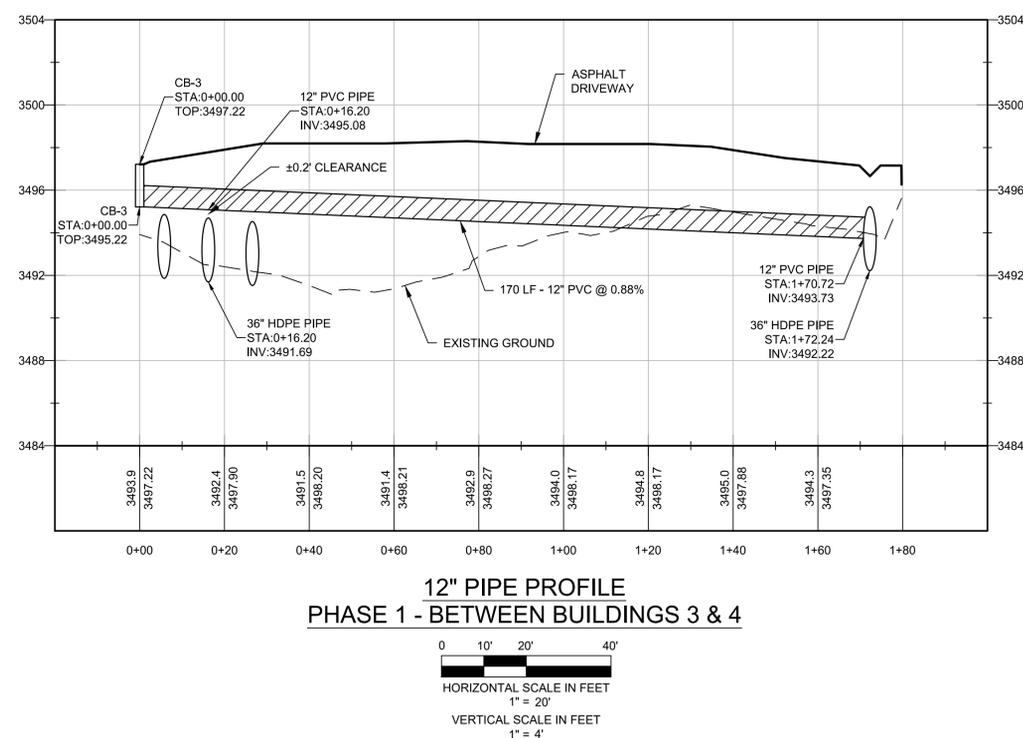
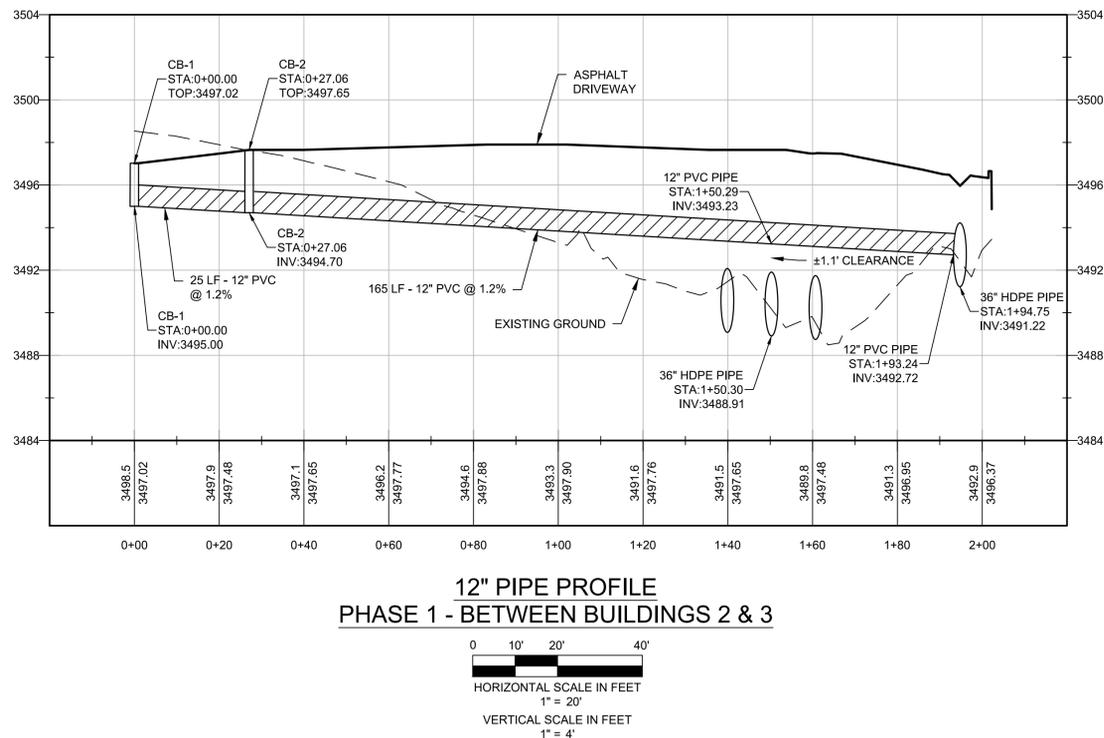
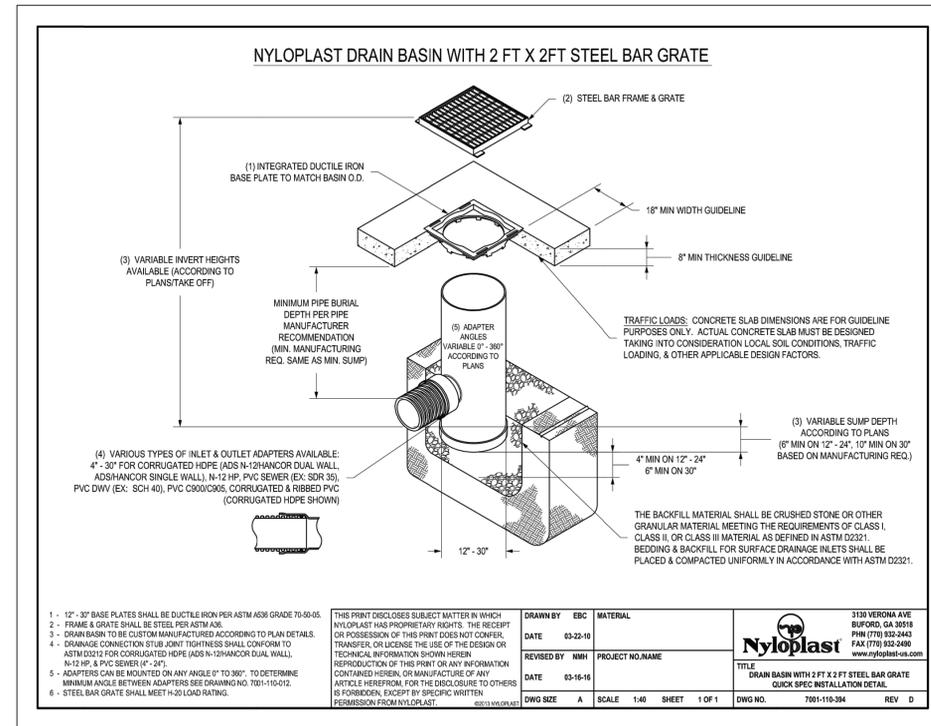
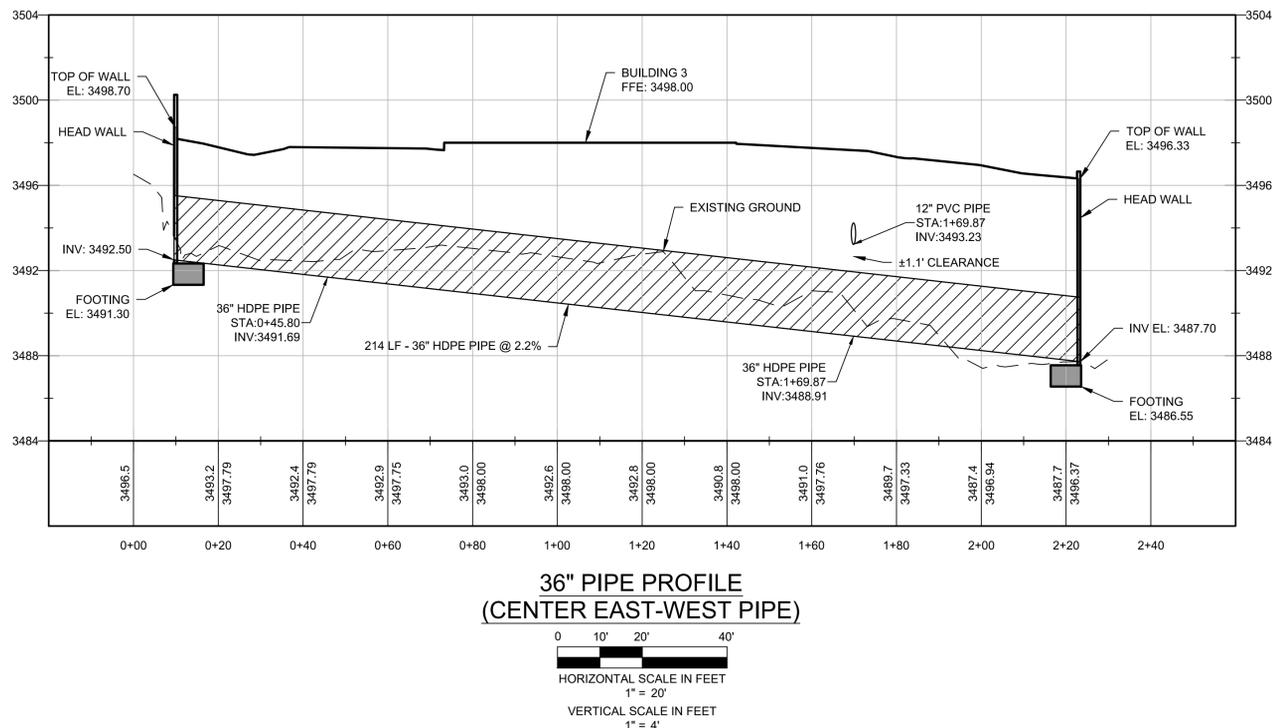


SECTION E-E
HORIZONTAL SCALE IN FEET 1" = 20'



SUB-SURFACE DETENTION DITCH WITH 36" PIPE PROFILE
(NORTH-SOUTH DITCH ALONG SOUTHEAST PROPERTY LINE)





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SHEET TITLE: STORM DRAIN PIPE PROFILES & DETAILS

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET NO.:

PROJECT TITLE:

DRAWN BY: RJB

SCALE: AS NOTED

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

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INTERIOR SECTIONS

HERRICK STORAGE FACILITY

25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:

PROJECT TITLE:

DRAWN BY: RJB

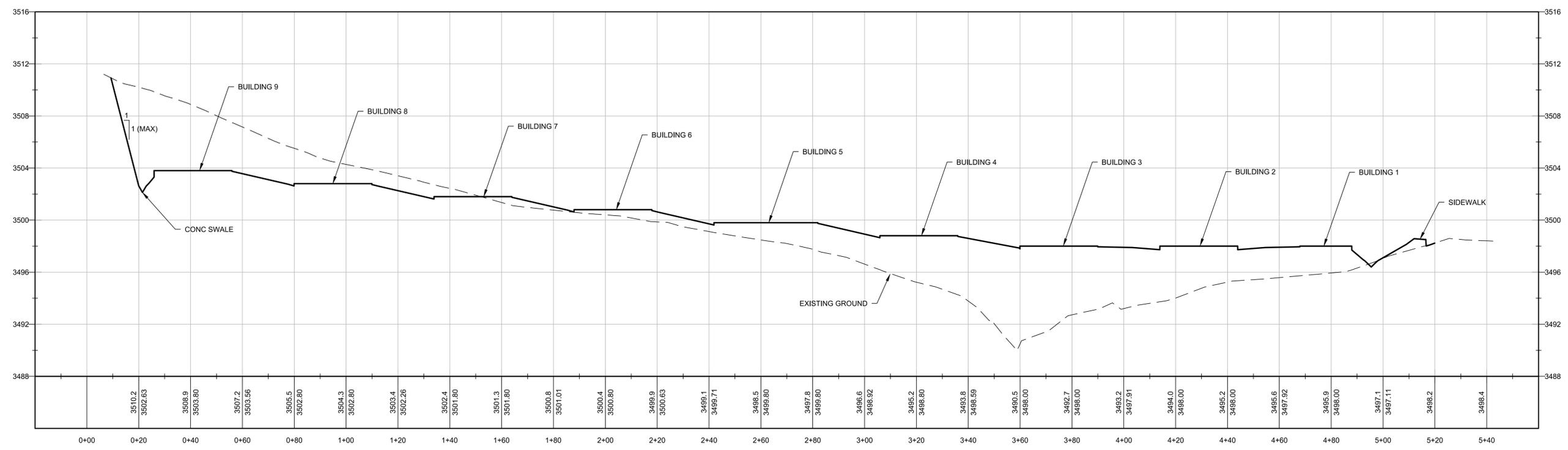
SCALE: AS NOTED

DATE: 12/27/19

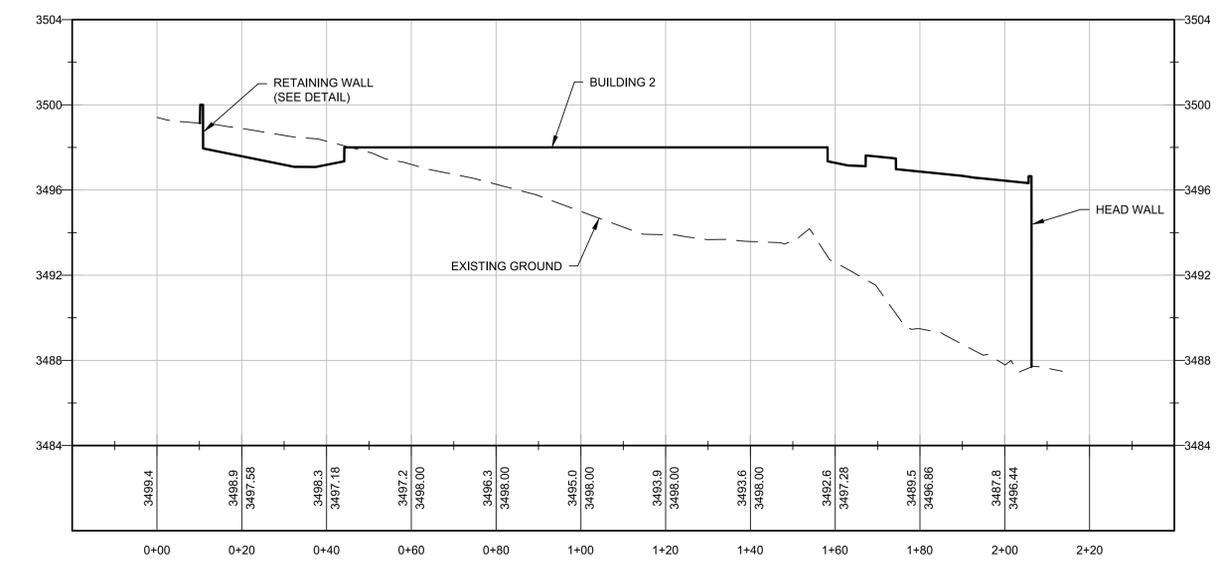
PROJECT NO: 170302A

SHEET NO.

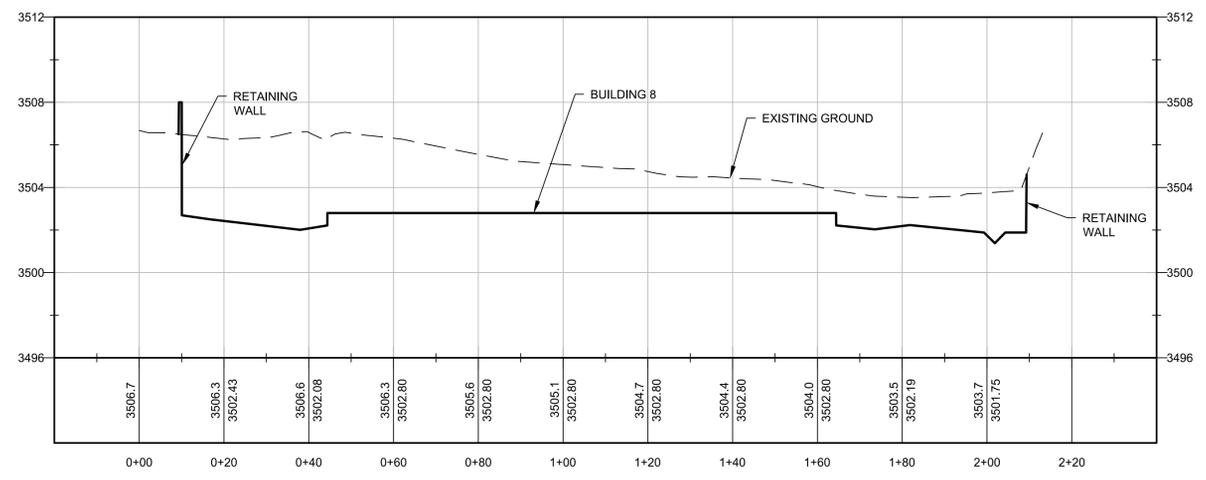
C-14



SECTION 'A'
0 10' 20' 40'
HORIZONTAL SCALE IN FEET
1" = 20'
VERTICAL SCALE IN FEET
1" = 4'

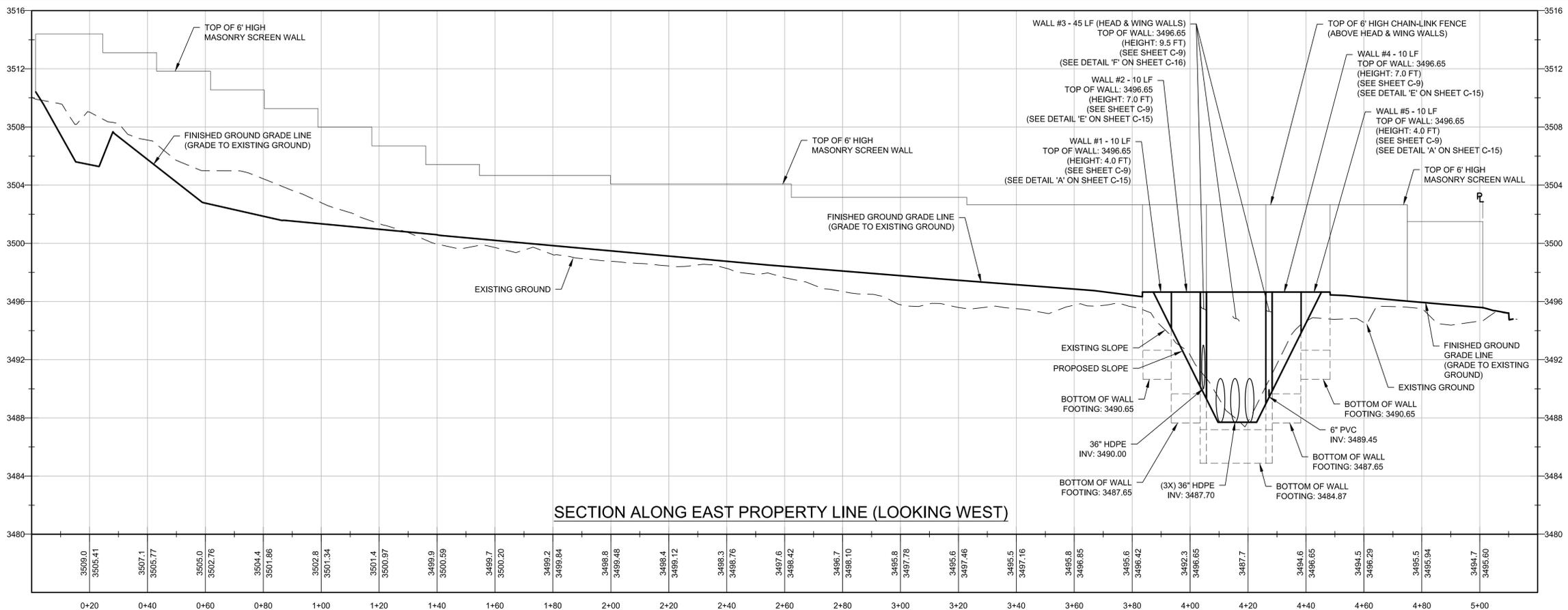


SECTION 'B'
0 10' 20' 40'
HORIZONTAL SCALE IN FEET
1" = 20'
VERTICAL SCALE IN FEET
1" = 4'



SECTION 'C'
0 10' 20' 40'
HORIZONTAL SCALE IN FEET
1" = 20'
VERTICAL SCALE IN FEET
1" = 4'

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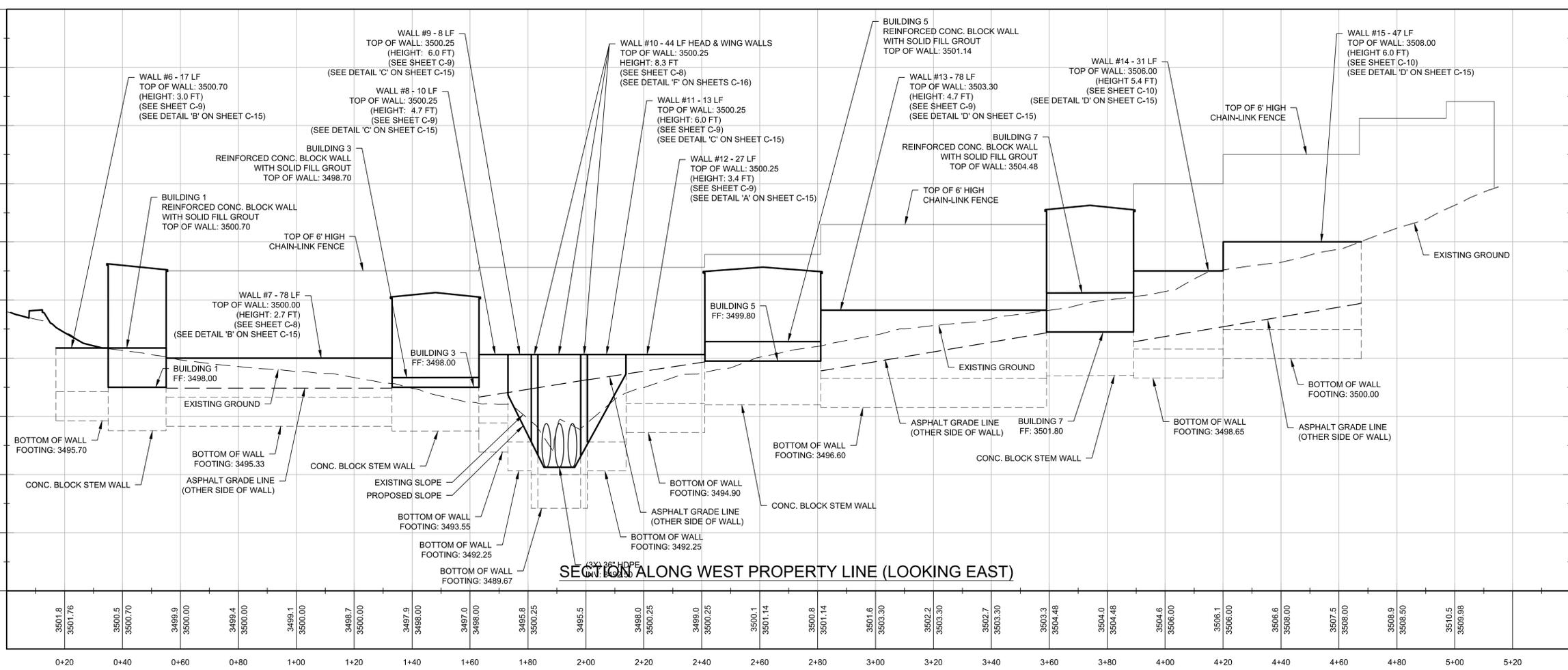


SECTION ALONG EAST PROPERTY LINE (LOOKING WEST)

NOTE:
 1. SEE SHEET C-15 FOR RETAINING WALL SCHEDULE

0 10' 20' 40'
 HORIZONTAL SCALE IN FEET
 1" = 20'

VERTICAL SCALE IN FEET
 1" = 4'



SECTION ALONG WEST PROPERTY LINE (LOOKING EAST)

0 10' 20' 40'
 HORIZONTAL SCALE IN FEET
 1" = 20'

VERTICAL SCALE IN FEET
 1" = 4'

Professional Engineer
 37322
 LUKE A. SEFTON
 SIGNED
 ARIZONA U.S.A.
 EXPIRES 03/31/20

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PERIMETER SECTIONS

HERRICK STORAGE FACILITY
 25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:
 PROJECT TITLE:

DRAWN BY: RJB

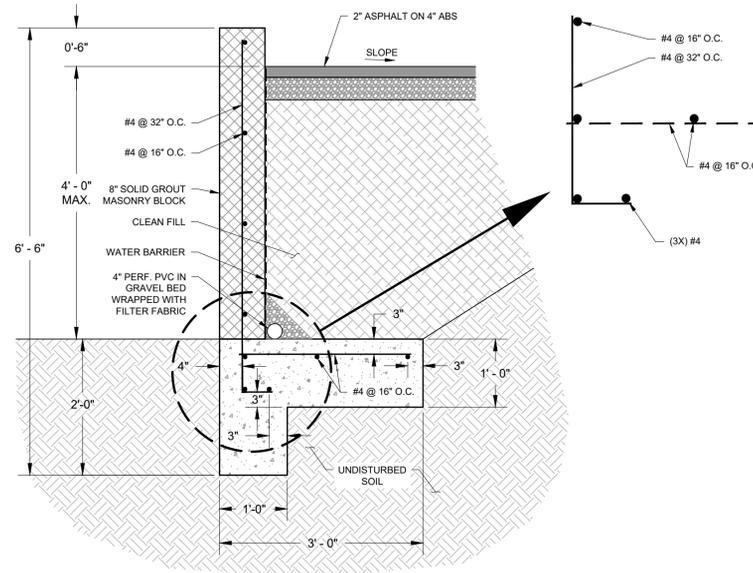
SCALE: AS NOTED

DATE: 12/27/19

PROJECT NO: 170302A

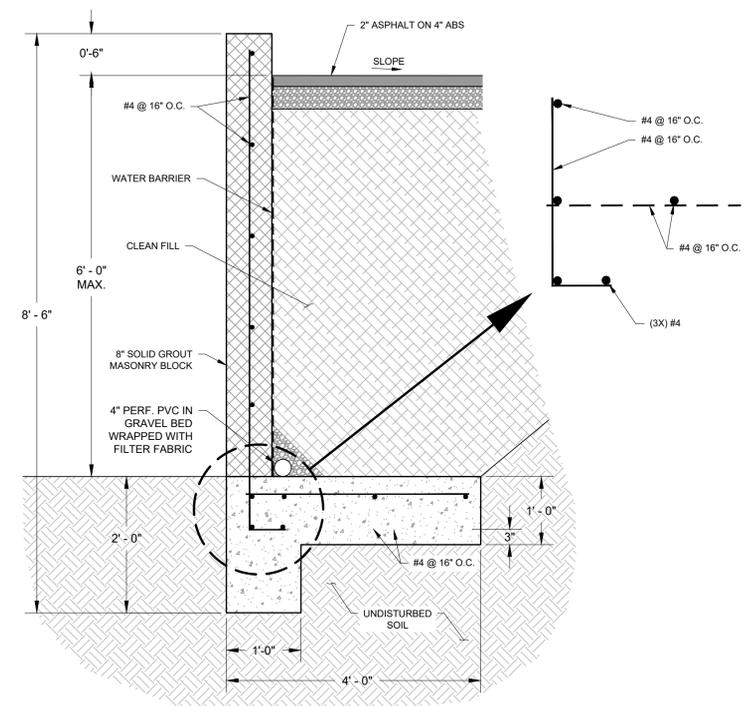
SHEET NO. **C-15**

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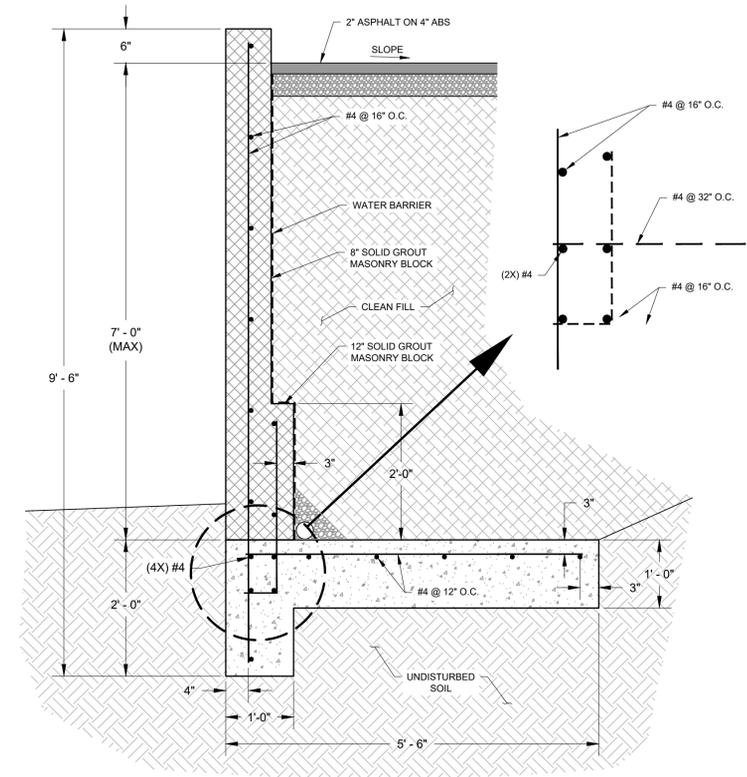
DETAIL 'A'
RETAINING WALL (UP TO 4' HIGH)
(RETAINS ON-SITE MATERIAL)
 NOT TO SCALE

- NOTES:
1. BASE FOUNDATION TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE FOOTING.
 2. ALL BACKFILL MATERIALS TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
 3. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.



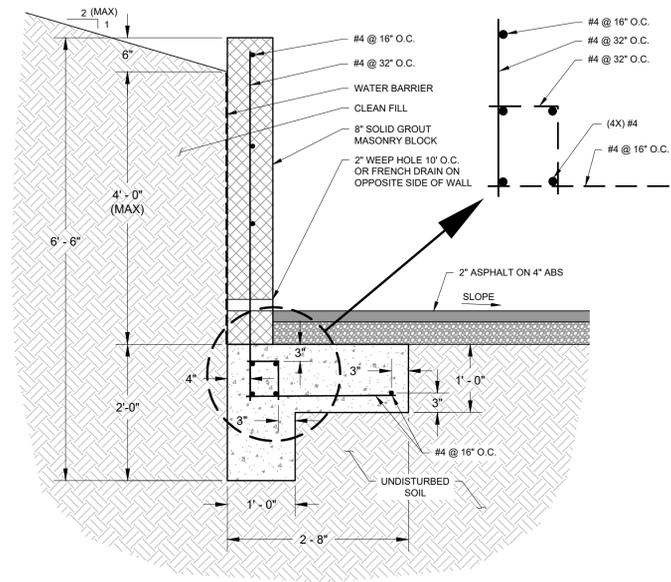
DETAIL 'C'
RETAINING WALL (UP TO 6' HIGH)
(RETAINS ON-SITE MATERIAL)
 NOT TO SCALE

- NOTES:
1. BASE FOUNDATION TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE FOOTING.
 2. ALL BACKFILL MATERIALS TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
 3. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.



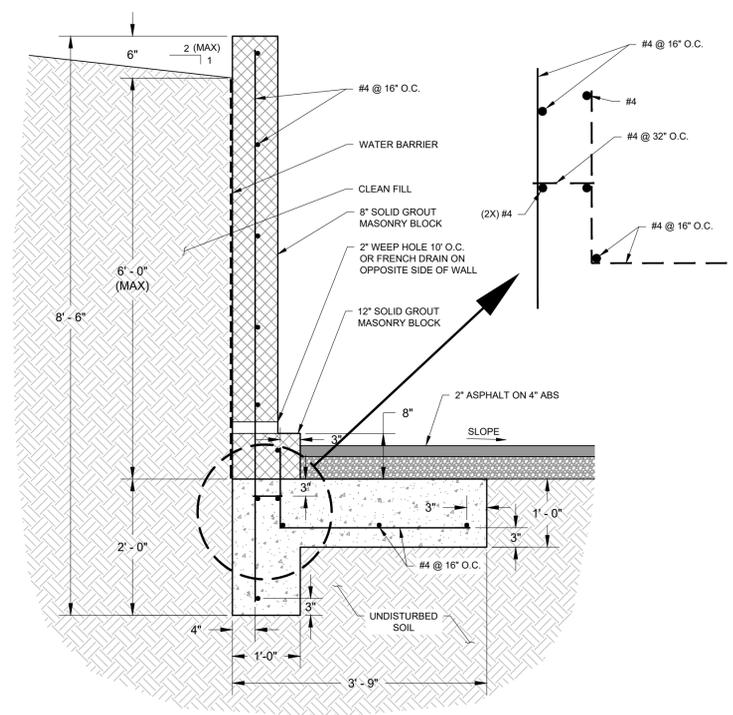
DETAIL 'E'
RETAINING WALL (UP TO 7')
(RETAINS ON-SITE MATERIAL)
 NOT TO SCALE

- NOTES:
1. BASE FOUNDATION TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE FOOTING.
 2. ALL BACKFILL MATERIALS TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
 3. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.



DETAIL 'B'
RETAINING WALL (UP TO 4' HIGH)
(RETAINS OFF-SITE MATERIAL)
 NOT TO SCALE

- NOTES:
1. BASE FOUNDATION TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE FOOTING.
 2. ALL BACKFILL MATERIALS TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
 3. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.



DETAIL 'D'
RETAINING WALL (UP TO 6')
(RETAINS OFF-SITE MATERIAL)
 NOT TO SCALE

- NOTES:
1. BASE FOUNDATION TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE FOOTING.
 2. ALL BACKFILL MATERIALS TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
 3. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.

RETAINING WALL SCHEDULE						
WALL #	SIDE	HEIGHT (FEET)	TYPE	RETAINING	DETAIL	SHEET
1	EAST	4	RET	ON-SITE	A	15
2	EAST	7	RET	ON-SITE	E	15
3	EAST	9.5	HEAD/WING	ON-SITE	F	16
4	EAST	7	RET	ON-SITE	E	15
5	EAST	4	RET	ON-SITE	A	15
6	WEST	3	RET	OFF-SITE	B	15
7	WEST	2.7	RET	OFF-SITE	B	15
8	WEST	4.7	RET	ON-SITE	C	15
9	WEST	6	RET	ON-SITE	C	15
10	WEST	8.3	HEAD/WING	ON-SITE	F	16
11	WEST	6	RET	ON-SITE	C	15
12	WEST	3.4	RET	ON-SITE	A	15
13	WEST	4.7	RET	OFF-SITE	D	15
14	WEST	5.4	RET	OFF-SITE	D	15
15	WEST	6	RET	OFF-SITE	D	15

NOTE:
 SEE SHEET C-14 FOR WALL NUMBER DESIGNATIONS.



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WALL DETAILS - SHEET 1 OF 2

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:
 PROJECT TITLE:

DRAWN BY: RJB

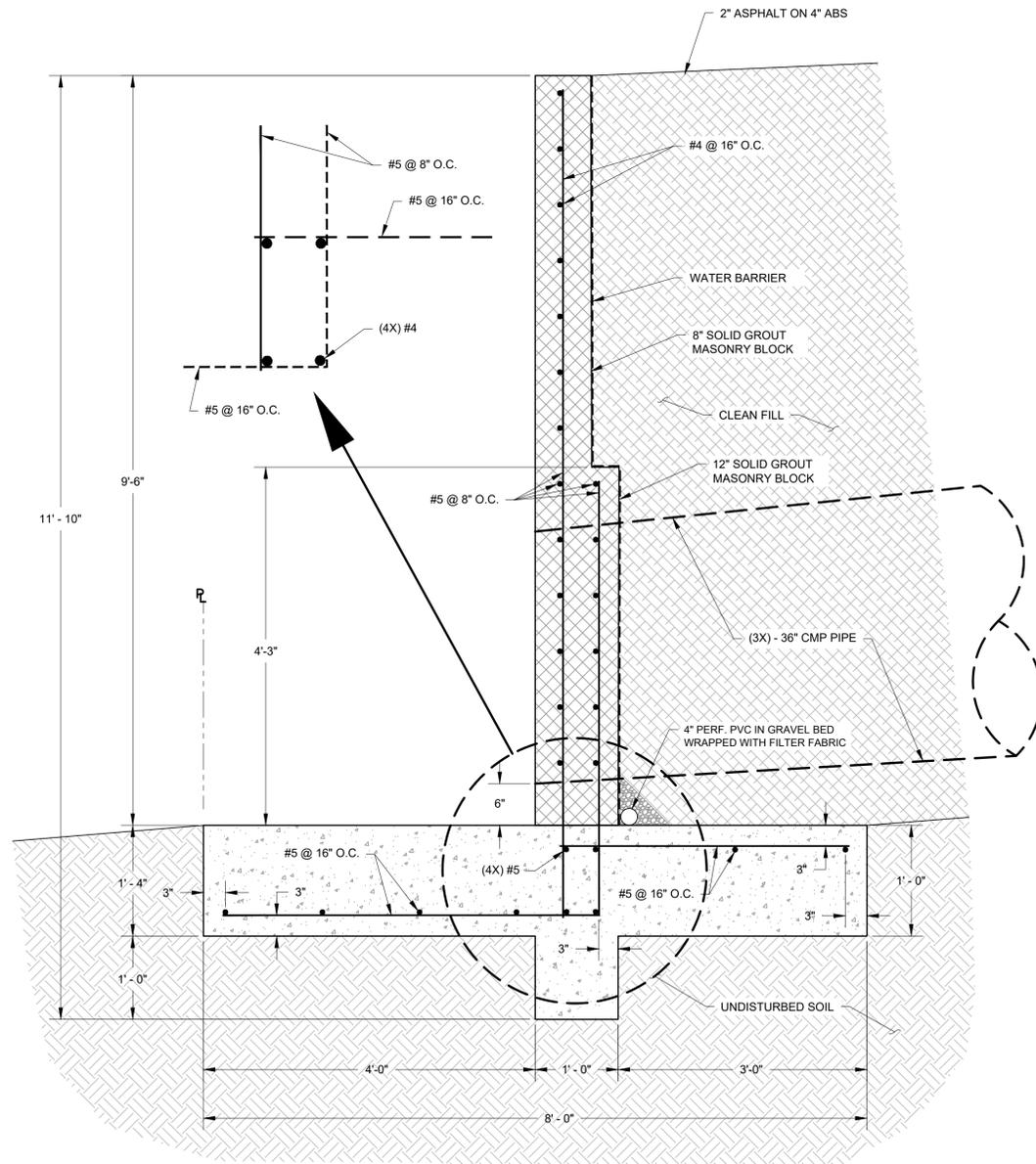
SCALE: AS NOTED

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO. **C-16**

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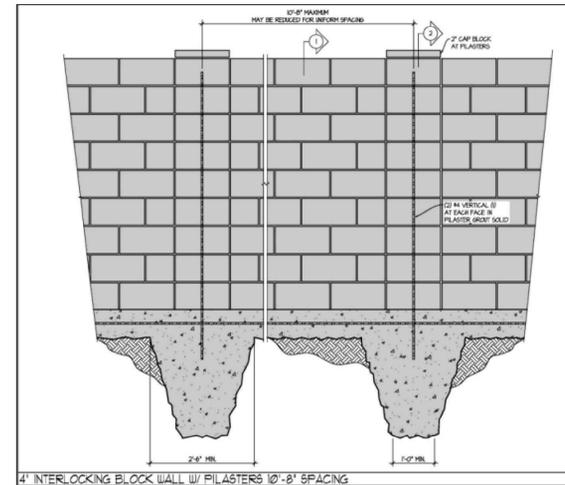
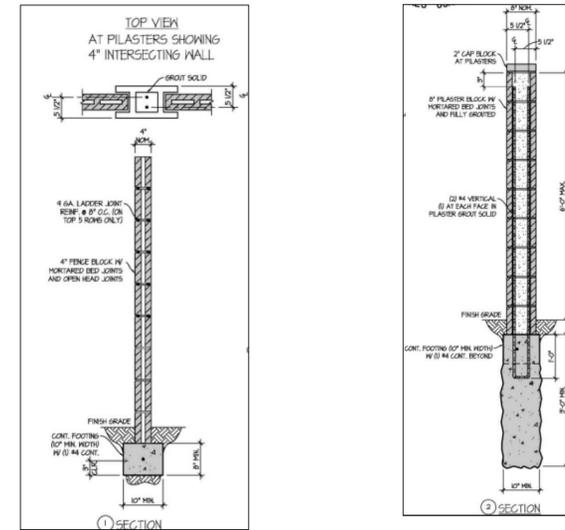


DETAIL 'F'
RETAINING/HEAD WALL (UP TO 9.5' HIGH)
(RETAINS ON-SITE MATERIAL)

NOT TO SCALE

NOTES:

1. BASE FOUNDATION TO BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF THE CONCRETE FOOTING.
2. ALL BACKFILL MATERIALS TO BE COMPACTED IN 8" LIFTS TO 95% STANDARD PROCTOR DENSITY OR 92% MODIFIED PROCTOR DENSITY.
3. FINISHED GRADE MUST PROVIDE POSITIVE DRAINAGE.



MASONRY SCREEN WALL DETAIL

NOT TO SCALE



WALL DETAILS - SHEET 2 OF 2

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:

PROJECT TITLE:

DRAWN BY: RJB

SCALE: AS NOTED

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

C-17

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DETAILS - GRADING

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

SHEET TITLE:

PROJECT TITLE:

DRAWN BY: RJB

SCALE: AS NOTED

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

C-18

VERTICAL CURB & GUTTER (TYPE A)
NO SCALE

RIBBON CURB (TYPE B)
NO SCALE

ROLL CURB & GUTTER (TYPE C)
NO SCALE

(TYPE D)
NO SCALE
SPECIAL SECTION USE FOR HIGH SIDE CURB WITH SHEET DRAINAGE REVERSE FLOW ACROSS STREET

NOTES:

1. ALL EXPOSED SURFACES TO BE TROWEL FINISHED EXCEPT AS NOTED. SEE MAG SPEC SECTIONS 340, 505 & 725.
2. HEIGHT OF TYPE 'A' CURB SHALL BE 6" UNLESS NOTED OTHERWISE.
3. CONTRACTION JOINT SPACING SHALL BE A MAXIMUM OF 10 FEET.
4. EXPANSION JOINTS SHALL BE CONSTRUCTED PER MAG SPEC SEC 340, 50' MAX AT PC, DRIVEWAYS, ALLEYS & STRUCTURES.
5. 4" MIN ABC SHALL EXTEND TO BACK OF CURB BELOW ALL CURB & GUTTER.
6. WHEN THE ADJACENT PAVEMENT SECTION SLOPES AWAY FROM THE GUTTER, THE SLOPE OF THE GUTTER PAN SHALL MATCH THE PAVEMENT CROSS SLOPE.
7. 1/2" ROUND FINISH SHALL BE REQUIRED AT THE LIP OF GUTTER, TYP ALL DETAILS.
8. FINAL PAVEMENT SURFACE SHALL BE 1/2" ABOVE GUTTERS EXCEPT TYPE 'D' AND WHERE THE GUTTER SLOPES TOWARD THE PAVEMENT.

NOTES:

1. CONSTRUCT CURB & INSTALL 1/2" MASTIC EXPANSION JOINTS, ASTM D-1751 AND MAG SPEC SEC 340.
2. RIBBON CURB MAY SLOPE TOWARDS PAVEMENT OR PARKWAY AS INDICATED ON PLANS.

CITY OF COTTONWOOD STANDARD DETAIL	CURB & GUTTER TYPES A, B, C & D		REVISED 08/18	DETAIL NO. 1220-1
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NOTES:

1. DEPRESSED CURB SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR THE TYPE OF CURB USED AT THAT LOCATION.
2. CONTRACTION JOINT ON D/W CENTERLINE
3. CONTRACTION JOINT
4. 1/2" EXPANSION JOINTS SHALL COMPLY WITH MAG SPEC SEC 340.
5. BACK OF CURB - CONSTRUCTION JOINT CLASS 'A' CONCRETE PER MAG SPEC SEC 725.
6. SUBGRADE PREPARATION PER MAG SPEC SEC 301.
7. DEPRESSED CURB
8. FLOW LINE OF GUTTER.
9. DEPRESSED CURB
10. SECTION A-A & ELEVATION: D/W SHOWN WITH VERTICAL CURB & GUTTER, ROLL TYPE CURB & GUTTER TREATED SIMILARLY.
11. ROUGH BROOM FINISH FULL WIDTH OF RAMP & WINGS.
12. TROWEL AND USE LIGHT HAIR BROOM FINISH FOR WALKWAY AREA.
13. ELEVATION AT TOP OF DRIVEWAY RAMP SHALL BE EQUAL TO OR HIGHER THAN NORMAL CURB ELEVATION.
14. DRIVEWAY WIDTH SHALL BE APPROVED BY THE CITY ENGINEER PRIOR TO THE ISSUANCE OF A RIGHT OF WAY PERMIT.

COMMERCIAL & INDUSTRIAL

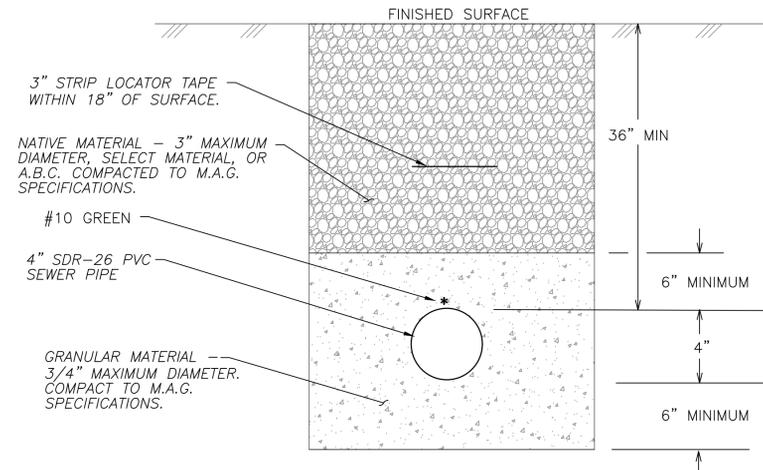
DRIVEWAY ENTRANCE WIDTH	MIN	MAX	CLASS	DEPTH 'X'
COMMERCIAL	*16'	40'	A	9"
INDUSTRIAL	*16'	40'	A	9"

RESIDENTIAL

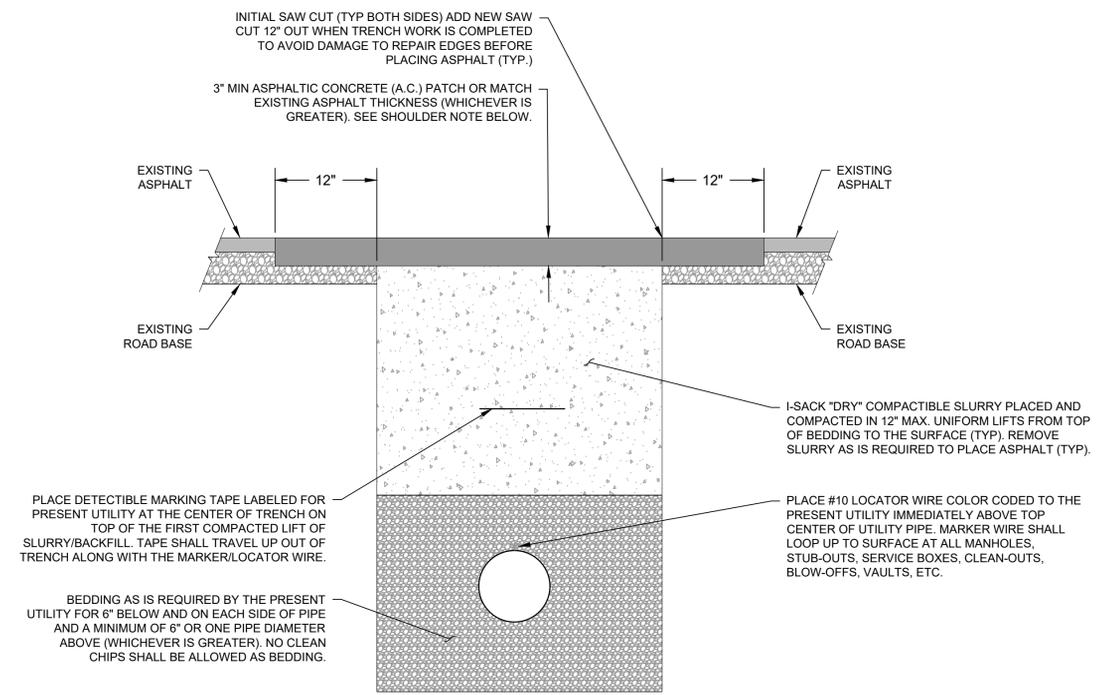
DRIVEWAY ENTRANCE WIDTH	MIN	MAX	CLASS	DEPTH 'X'
ARTERIAL STREET	16'	30'	A	6"
COLLECTOR STREET	*12'	30'	A	6"
LOCAL STREET	12'	30'	A	6"
*16' DESIRABLE				

CITY OF COTTONWOOD STANDARD DETAIL	DRIVEWAY ENTRANCE WITH SIDEWALK ATTACHED TO CURB		REVISED 08/18	DETAIL NO. 1250-2
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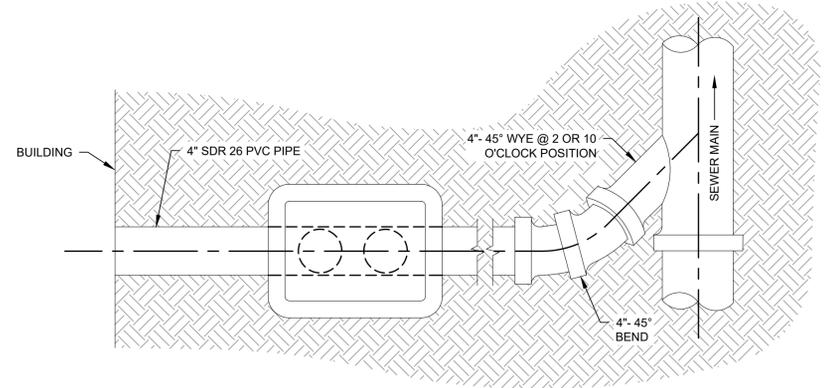
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SEWER LINE TYPICAL TRENCH DETAIL
NOT TO SCALE



TYPICAL STANDARD UTILITY TRENCH CROSS-SECTION AND ROAD REPAIR CROSS-SECTION
NOT TO SCALE



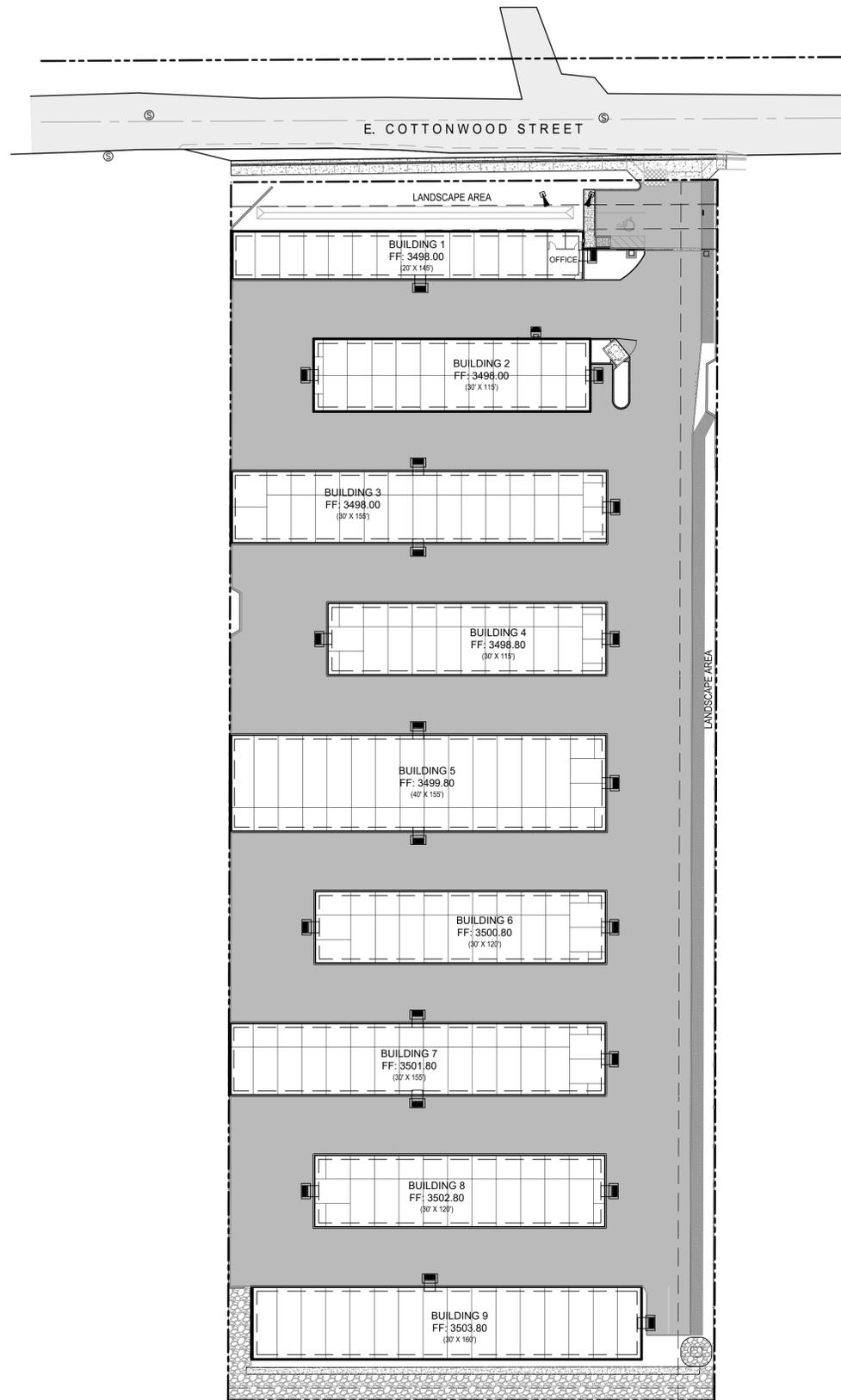
TYPICAL SEWER SERVICE LATERAL
NOT TO SCALE



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DETAILS - UTILITIES	
HERRICK STORAGE FACILITY	
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326	
SHEET TITLE:	UTILITIES
PROJECT TITLE:	HERRICK STORAGE FACILITY
DRAWN BY:	RJB
SCALE:	AS NOTED
DATE:	12/27/19
PROJECT NO.:	170302A
SHEET NO.:	C-19

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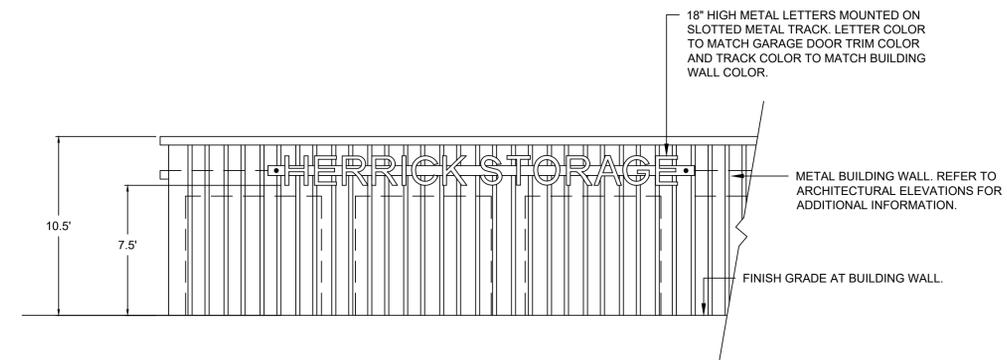


LIGHT FIXTURE LEGEND

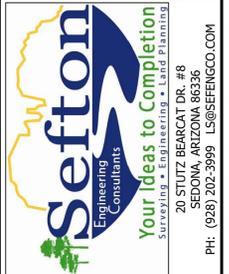
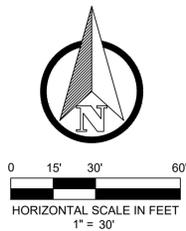
SYMBOL	MANUFACTURER	MODEL NUMBER	LUMENS	DESCRIPTION	QUANTITY
	MAXLITE	SEC15U40BPC	1775	WALL PACK OVER DOOR	1
	MAXLITE	MP-SM28UT4-30MS	3230	WALL MOUNTED AREA LIGHT WITH SPECIAL FINISH	21
	MAXLITE	BF30AUDWB	3225	BULLET TYPE UPLIGHT	2

GENERAL LIGHTING AND ELECTRICAL NOTES:

1. FINAL LIGHT FIXTURE COLORS AND FINISHES AS APPROVED BY OWNER.
2. CONTACT DISTRIBUTOR, WES COATES AT RAINDANCE WATERWORKS AT (928) 239-0088 OR THE MANUFACTURER MAXLITE AT (800) 555-5629 OR (973) 244-7300 FOR ADDITIONAL INFORMATION.
3. ALL WORK SHALL BE PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
4. ALL EXTERIOR LIGHTING WILL HAVE TO MEET THE DARK SKY ORDINANCE OF FULLY SHIELDED FIXTURES ONLY.



BUILDING WALL SIGN ELEVATION
SCALE: 1" = 5'



SHEET TITLE: LIGHTING AND SIGNAGE PLAN

HERRICK STORAGE FACILITY
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326

PROJECT TITLE:

DRAWN BY: LAF

SCALE: AS NOTED

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

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STORM WATER MANAGEMENT POLLUTION PREVENTION PLAN (SWMP) NOTES

- THE SWMP IS INTENDED TO BE A DYNAMIC PLAN THAT CAN BE REVISED EITHER AS A RESULT OF UNANTICIPATED CONDITIONS DURING DESIGN OR AS A RESULT OF CHANGING CONDITIONS IN THE FIELD. MAKING CHANGES TO THE PLAN WHERE IT IS NOT EFFECTIVE IS A REQUIREMENT OF THE AZPDES PERMIT. ANY CHANGES TO THE PLAN SHALL BE NOTED AND DATED ON THE PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT A NOTICE OF INTENT (NOI) AND A NOTICE OF TERMINATION (NOT) IS SENT AT THE BEGINNING AND END OF THE PROJECT TO THE PROPER AUTHORITIES. THE CONTRACTOR IS RESPONSIBLE FOR UNDERSTANDING THE REQUIREMENT OF THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (AZPDES) PERMITTING PROGRAM. ESTABLISHED UNDER SECTION 402 OF THE CLEAN WATER ACT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SWMP ACTIVITIES AND FOR ALL SUB CONSULTANTS ON SITE. THE CONTRACTOR SHALL OBTAIN AN NOI AT [HTTP://CDX.EPA.GOV/](http://cdx.epa.gov/). THE SWMP TEMPLATE IS LOCATED AT [HTTP://WATER.EPA.GOV/POLLUTION/PDES/BASICS/UPLOAD/SWMP_CGP2012_SWMP_TEMPLATE.DOCX](http://water.epa.gov/pollution/pdes/basics/upload/swmp_cgp2012_swmp_template.docx). FURTHER INFORMATION CAN BE FOUND AT [HTTP://WATER.EPA.GOV/POLLUTION/PDES/STORMWATER/STORMWATER-POLLUTION-PREVENTION-PLANS-FOR-CONSTRUCTION-ACTIVITIES.CFM](http://water.epa.gov/pollution/pdes/stormwater/stormwater-pollution-prevention-plans-for-construction-activities.cfm). A TUTORIAL IS AVAILABLE AT [HTTP://WWW.EPA.GOV/PDES/PUBS/ENR_2012_CGP_USERMANUAL.PDF](http://www.epa.gov/pdes/pubs/enr_2012/cgp_usermanual.pdf) FOR REGISTRATION. IF YOU HAVE ANY QUESTION YOU MAY CALL 1-888-896-1995 OR FOR NOI INFORMATION YOU MAY CALL 1-866-352-7755.
- LIMIT LAND DISTURBANCE AND PRESERVE EXISTING VEGETATION. SENSITIVITY TO THE ENVIRONMENT DURING CONSTRUCTION IS A DEFINING FACTOR IN PRESERVING NATURAL VEGETATION. THE EXTENT OF THE CUT AND FILL SLOPES SHOULD BE FIELD SURVEYED AND STAKED PRIOR TO CONSTRUCTION TO DEFINE ALL AREAS THAT REQUIRE GRADING. AREAS OUTSIDE THESE LIMITS SHOULD BE PROTECTED FROM ALL CONSTRUCTION ACTIVITIES. TREES THAT LIE WITHIN TRANSITION AREAS OF SIGNIFICANT CUT OR FILL AND OUTSIDE REQUIRED CLEAR-ZONE DISTANCES SHALL BE FLAGGED AND/OR FENCED FOR PROTECTION. EXISTING TREES AT OR NEAR THE TOE OF FILL SLOPES SHALL BE SAVED WITH PROTECTIVE TREE WELLS.
- MINIMIZE SOIL EXPOSURE AND RE-VEGETATE DENUDE AREAS. TRY TO SCHEDULE CONSTRUCTION TO COINCIDE WITH THE DRY SEASON OF THE SITE'S LOCATION. LIMIT THE SIZE OF THE EXPOSED AREA AND AMOUNT OF TIME IT IS EXPOSED. UNDER THE EPA'S GENERAL PERMIT ALL BARE GROUND SHALL BE SEEDED WITHIN 14 DAYS AFTER GRADING IS FINISHED WITH SOME EXCEPTIONS.
- PROTECT FILL SLOPES FROM ROADWAY RUNOFF. DROWN DRAINS AND RIPRAP PROTECTION HAVE BEEN CALLED OUT ON THE PLAN AS NEEDED. THE CONTRACTOR SHOULD MONITOR SLOPES TO ENSURE ADEQUATE PROTECTION IS PROVIDED THROUGHOUT THE CONSTRUCTION ACTIVITIES.
- PREVENT EROSION IN AREAS WHERE RUNOFF CONCENTRATES. CONTRACTOR SHALL PROVIDE PROTECTION OF ALL DITCHES, OPEN CHANNELS, CULVERT AND CHANNEL OUTLETS AS SHOWN ON THE CONSTRUCTION PLAN.
- TRAP SEDIMENT BEFORE IT LEAVES THE SITE. IT IS PREFERABLE TO PROVIDE EROSION CONTROL INSTEAD OF SEDIMENT CONTROL WHERE PRACTICABLE. IT IS IMPORTANT THAT REGULAR MAINTENANCE OF ANY SEDIMENT TRAPPING IS CONDUCTED ON A REGULAR BASIS IN ORDER FOR IT TO OPERATE EFFECTIVELY. THIS INCLUDES REMOVING ACCUMULATIONS OF SEDIMENT AND MAKING NECESSARY REPAIRS AND ADJUSTMENTS. TEMPORARY SEDIMENT BARRIERS SHOULD BE PLACED AROUND CATCH BASIN INLETS DURING CONSTRUCTION TO TRAP SEDIMENT BEFORE IT ENTERS THE INLET. SEDIMENT TRAPPING IS NECESSARY AT SOIL STOCKPILES AND THESE STOCKPILES SHOULD BE LOCATED ABOVE AND AWAY FROM STREAMS, WASHES AND SWALES TO PREVENT THEM FROM BEING WASHED DOWNSTREAM. A STABILIZED CONSTRUCTION ENTRANCE SHOULD BE PROVIDED TO REMOVE SEDIMENT FROM THE TIRES OF THE VEHICLES BEFORE THEY LEAVE THE SITE.
- AS NEEDED A SPILL CONTAINMENT AREA SHOULD BE PROVIDED AT THE JOB SITE FOR STORING CHEMICALS, FUELS, PAINTS AND OTHER MATERIALS. THIS AREA WILL PREVENT CHEMICALS FROM MIXING WITH STORM WATER AND DISCHARGING INTO STREAMS AND WASHES, OR SEEPING INTO AND CONTAMINATING THE SURROUNDING SOIL. THE PROTECTED AREA SHOULD BE EXCAVATED OR BERMED, AND LINED WITH PLASTIC SO THAT AN ACCIDENTAL SPILL FROM A CHEMICAL DRUM WILL BE CONTAINED. IT SHOULD BE LOCATED IN AREAS WHERE ANY SPILL WILL BE PREVENTED FROM DISCHARGING OFF-SITE. PROCEDURES SHALL BE ESTABLISHED TO PREVENT CONTAMINATION OF ON-SITE SOILS FROM EQUIPMENT MAINTENANCE. CONSTRUCTION EQUIPMENT SHALL BE REGULARLY MAINTAINED TO REPAIR LEAKY HOSES AND GASKETS. USED OIL, HYDRAULIC FLUIDS, FILTERS, BATTERIES AND TIRES SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH STATE AND FEDERAL LAWS.
- SOLID WASTE MATERIALS SHOULD BE COLLECTED DAILY. A TRASH CONTAINER OR DUMPSTER SHOULD BE PROVIDED AT THE SITE TO CONTAIN SMALLER WASTE MATERIALS. THE TRASH CONTAINERS SHOULD BE COVERED TO PREVENT MIXING WITH RAINWATER OR LOSS OF CONTENTS BY HIGH WINDS. OTHER TYPES OF LARGER DEBRIS, SUCH AS: VEGETATION FROM CLEARING OPERATIONS SHOULD BE COLLECTED AND STOCKPILED ON A DAILY BASIS AND DISPOSED OF REGULARLY. THE STOCKPILE LOCATION SHALL BE LOCATED AWAY FROM STREAMS AND WASHES.
- TEMPORARY PITS OR BERMED AREAS SHOULD BE PROVIDED AT THE CONSTRUCTION SITE FOR THE WASHOUT OF CONCRETE TRUCKS AND FOR WASHING AGGREGATE MATERIALS AND TOOLS. THE WASH WATER SHOULD BE KEPT OUT OF STREAMS AND WASHES. WASHOUT AREAS SHOULD BE LARGE ENOUGH TO RETAIN ALL WASH WATER. HARDENED CONCRETE SHOULD BE ROUTINELY REMOVED AND DISPOSED OF IN ORDER TO MAINTAIN ADEQUATE WATER PERCOLATION.
- PROPER IMPLEMENTATION, INSPECTION AND MAINTENANCE OF POLLUTION CONTROL MEASURES IS ESSENTIAL TO ACHIEVE THE GOALS OF EROSION AND SEDIMENT CONTROL AND TO IDENTIFY POTENTIAL PROBLEMS. A RAIN GAGE SHOULD BE KEPT AT THE SITE TO RECORD THE DEPTH OF RAINFALL. THE CONTRACTOR SHOULD COORDINATE THE IMPLEMENTATION, INSPECTION AND MAINTENANCE OF THE POLLUTION CONTROLS WITH THE PROJECT INSPECTOR. THE CONTRACTOR SHOULD ALSO MONITOR WEATHER FORECASTS AND MAKE ALL SITE INSPECTIONS AND NECESSARY REPAIRS BEFORE STORMS ARE EXPECTED. THE CONTRACTOR SHALL MONITOR AND RECORD WEEKLY EXTENDED WEATHER FORECASTS. THESE FORECASTS SHALL BE DISCUSSED BY THE CONTRACTOR AT REGULARLY SCHEDULED WEEKLY PROGRESS MEETINGS. IN THE EVENT THAT EXTENDED FORECASTS REPORT A HIGH PROBABILITY FOR PRECIPITATION IN THE GIVEN PROJECT AREA, THE CONTRACTOR SHALL REVIEW AND SUPPLEMENT EXISTING EROSION CONTROL MEASURES. HE SHALL ALSO INSTALL ADDITIONAL MEASURES IN AREAS DETERMINED TO BE SUSCEPTIBLE TO EROSION AND/OR SEDIMENTATION, AS DIRECTED BY THE PROJECT ENGINEER. THE EPA GENERAL PERMIT REQUIRES REGULAR INSPECTIONS EVERY 7 DAYS OR WITHIN 24 HOURS AFTER A RAINFALL OF 1/4 INCH OR GREATER.
- THE CONTRACTOR MUST RECORD ANY DAMAGES OR DEFICIENCIES IN THE CONTROL MEASURES ON AN INSPECTION REPORT FORM. THIS REPORT DOCUMENTS THE INSPECTION OF THE POLLUTION PREVENTION MEASURES. THE SAME FORM CAN BE USED TO REQUEST REPAIRS AND TO PROVE THAT REQUIRED INSPECTIONS AND MAINTENANCE WERE PERFORMED. AS A CONDITION OF THE GENERAL PERMIT, THE CONTRACTOR SHALL CORRECT DAMAGE OR DEFICIENCIES AS SOON AS PRACTICABLE AFTER THE INSPECTION; BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION. ANY CHANGES THAT MAY BE REQUIRED TO CORRECT DEFICIENCIES IN THE SWMP SHOULD ALSO BE MADE AS SOON AS PRACTICABLE AFTER THE INSPECTION; BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION.
- OVERVIEW OF INSPECTION REQUIREMENTS, CONSTRUCTION OPERATORS COVERED UNDER THE 2012 CGP ARE SUBJECT TO THE FOLLOWING REQUIREMENTS IN PART 4:

INSPECTION FREQUENCY (SEE PART 4.1.4)

YOU ARE REQUIRED TO CONDUCT INSPECTIONS EITHER:

 - ONCE EVERY 7 CALENDAR DAYS, OR
 - ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.25 INCHES OR GREATER.

YOUR INSPECTION FREQUENCY IS INCREASED IF THE SITE DISCHARGES TO A SENSITIVE WATER. SEE PART 4.1.3. YOUR INSPECTION FREQUENCY MAY BE DECREASED TO ACCOUNT FOR STABILIZED AREAS, OR FOR ARID, SEMI-ARID, OR DROUGHT-STRIKEN CONDITIONS, OR FOR FROZEN CONDITIONS. SEE PART 4.1.4.

AREAS THAT NEED TO BE INSPECTED (SEE PART 4.1.5)

DURING EACH INSPECTION YOU MUST INSPECT THE FOLLOWING AREAS OF YOUR SITE:

 - CLEARED, GRADED, OR EXCAVATED AREAS OF THE SITE;
 - STORMWATER CONTROLS (E.G. PERIMETER CONTROLS, SEDIMENT BASINS, INLETS, EXIT POINTS ETC.) AND POLLUTION PREVENTION PRACTICES (E.G., POLLUTION PREVENTION PRACTICES FOR VEHICLE FUELING/MAINTENANCE AND WASHING, CONSTRUCTION PRODUCT STORAGE, HANDLING, AND DISPOSAL, ETC.) AT THE SITE;
 - MATERIAL, WASTE, OR BORROW AREAS COVERED BY THE PERMIT, AND EQUIPMENT STORAGE AND MAINTENANCE AREAS;
 - AREAS WHERE STORMWATER FLOWS WITHIN THE SITE;
 - STORMWATER DISCHARGE POINTS; AND
 - AREAS WHERE STABILIZATION HAS BEEN IMPLEMENTED.

WHAT TO CHECK FOR DURING YOUR INSPECTION (SEE PART 4.1.6)

DURING YOUR SITE INSPECTION YOU ARE REQUIRED TO CHECK:

 - WHETHER STORMWATER CONTROLS OR POLLUTION PREVENTION PRACTICES REQUIRE MAINTENANCE OR CORRECTIVE ACTION, OR WHETHER NEW OR MODIFIED CONTROLS ARE REQUIRED;
 - FOR THE PRESENCE OF CONDITIONS THAT COULD LEAD TO SPILLS, LEAKS, OR OTHER POLLUTANT ACCUMULATIONS AND DISCHARGES;
 - WHETHER THERE ARE VISIBLE SIGNS OF EROSION AND SEDIMENT ACCUMULATION AT POINTS OF DISCHARGE AND TO THE CHANNELS AND STREAMBANKS THAT ARE IN THE IMMEDIATE VICINITY OF THE DISCHARGE;
 - IF A STORMWATER DISCHARGE IS OCCURRING AT THE TIME OF THE INSPECTION, WHETHER THERE ARE OBVIOUS, VISUAL SIGNS OF POLLUTANT DISCHARGES; AND
 - IF ANY PERMIT VIOLATIONS HAVE OCCURRED ON THE SITE.

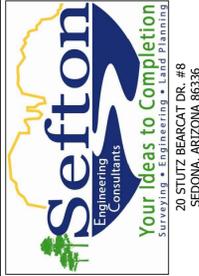
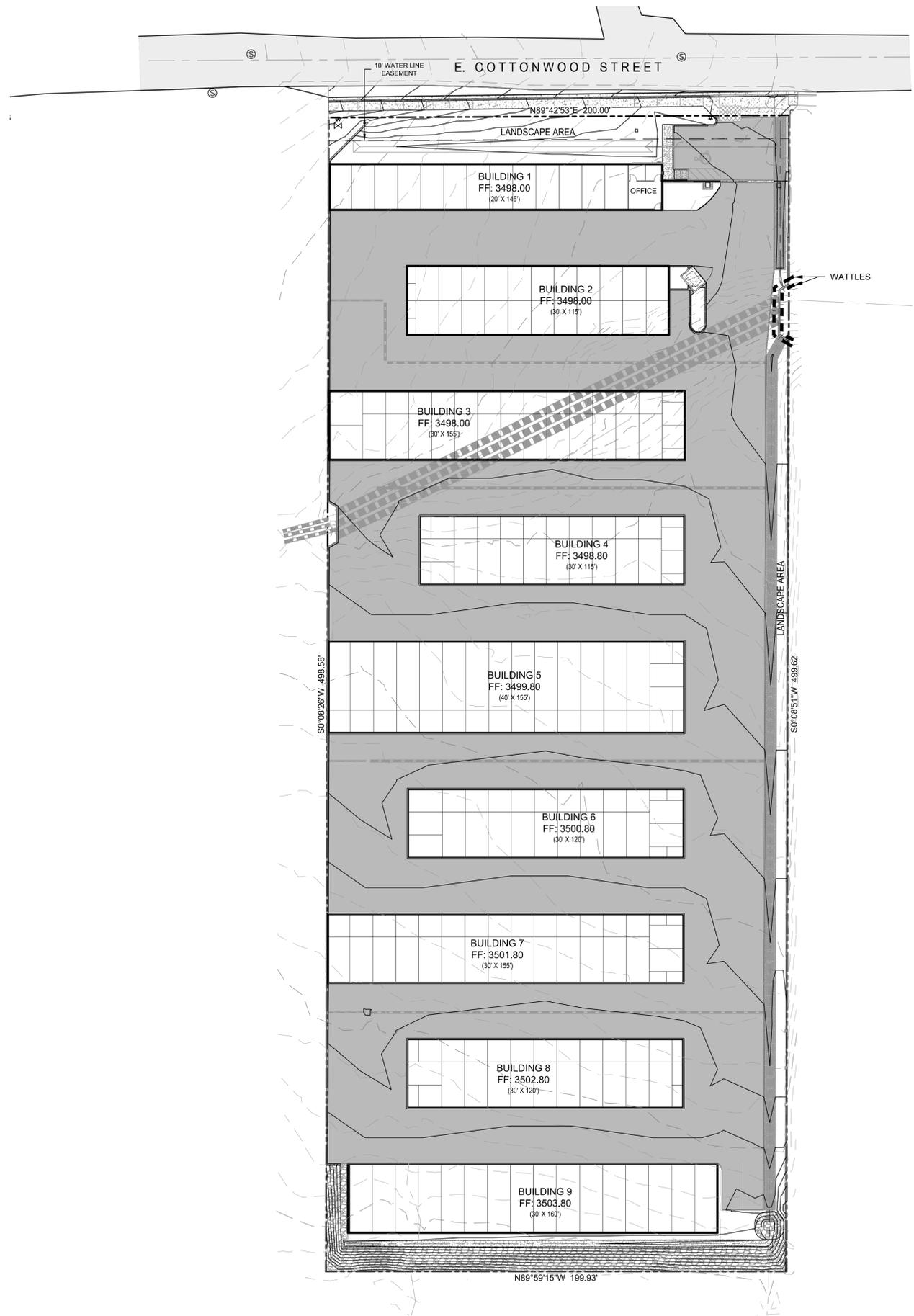
INSPECTION REPORTS (SEE PART 4.1.7)

WITHIN 24 HOURS OF COMPLETING EACH INSPECTION, YOU ARE REQUIRED TO COMPLETE AN INSPECTION REPORT THAT INCLUDES:

 - DATE OF INSPECTION;
 - NAMES AND TITLES OF PERSONS CONDUCTING THE INSPECTION;
 - SUMMARY OF INSPECTION FINDINGS;
 - RAIN GAUGE OR WEATHER STATION READINGS IF YOUR INSPECTION IS TRIGGERED BY THE 0.25 INCH STORM THRESHOLD; AND
 - IF YOU DETERMINE THAT A PORTION OF YOUR SITE IS UNSAFE TO ACCESS FOR THE INSPECTION, DOCUMENTATION OF WHAT CONDITIONS PREVENTED THE INSPECTION AND WHERE THESE CONDITIONS OCCURRED ON THE SITE
- REMOVAL OF TEMPORARY CONTROLS WHEN THE PROJECT IS COMPLETE IS THE RESPONSIBILITY OF THE CONTRACTOR. AFTER ALL CONSTRUCTION ACTIVITIES HAVE STOPPED, THE CONTRACTOR MUST KEEP A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN. RECORDS OF ALL THE DATA USED TO COMPLETE THE NOTICE OF INTENT MUST ALSO BE KEPT FOR A PERIOD OF THREE YEARS FOLLOWING FINAL STABILIZATION. THE RETENTION PERIOD MAY BE EXTENDED BY THE EPA'S REQUEST.
- AS A CONDITION OF THE GENERAL PERMIT, A COPY OF THE CONTRACTOR'S NOI AND A COPY OF THE SWMP ARE TO REMAIN AT THE JOB SITE THROUGHOUT THE CONSTRUCTION PROCESS AND AVAILABLE DAILY TO THE PROJECT MANAGER.
- DUST CONTROL IN ACCORDANCE WITH THE COUNTY REQUIREMENTS SHALL BE PROVIDED AT ALL TIMES WHILE UNDER CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP THE SITE WATERED DOWN (OR OTHER APPROVED METHODS) TO PREVENT DUST MIGRATING OFFSITE.
- THE CONTRACTOR SHALL ON A DAILY OR AS NEEDED BASIS CLEAN ALL ROADS LEADING OUT OF THE SITE AND SHALL PLACE SAND BAGS (OR OTHER APPROVED METHODS) TO TRAP SEDIMENT BEFORE IT ENTERS INTO THE STORM DRAIN SYSTEM.
- ALL DUMP TRUCKS ENTERING AND EXITING THE SITE SHALL BE COVERED WITH AN APPROVED COVER TO PREVENT DUST AND FLYING DEBRIS.
- THE CONTRACTOR WILL PROVIDE THE COUNTY A SIGNED COPY OF THE SWMP BEFORE BEGINNING CONSTRUCTION.

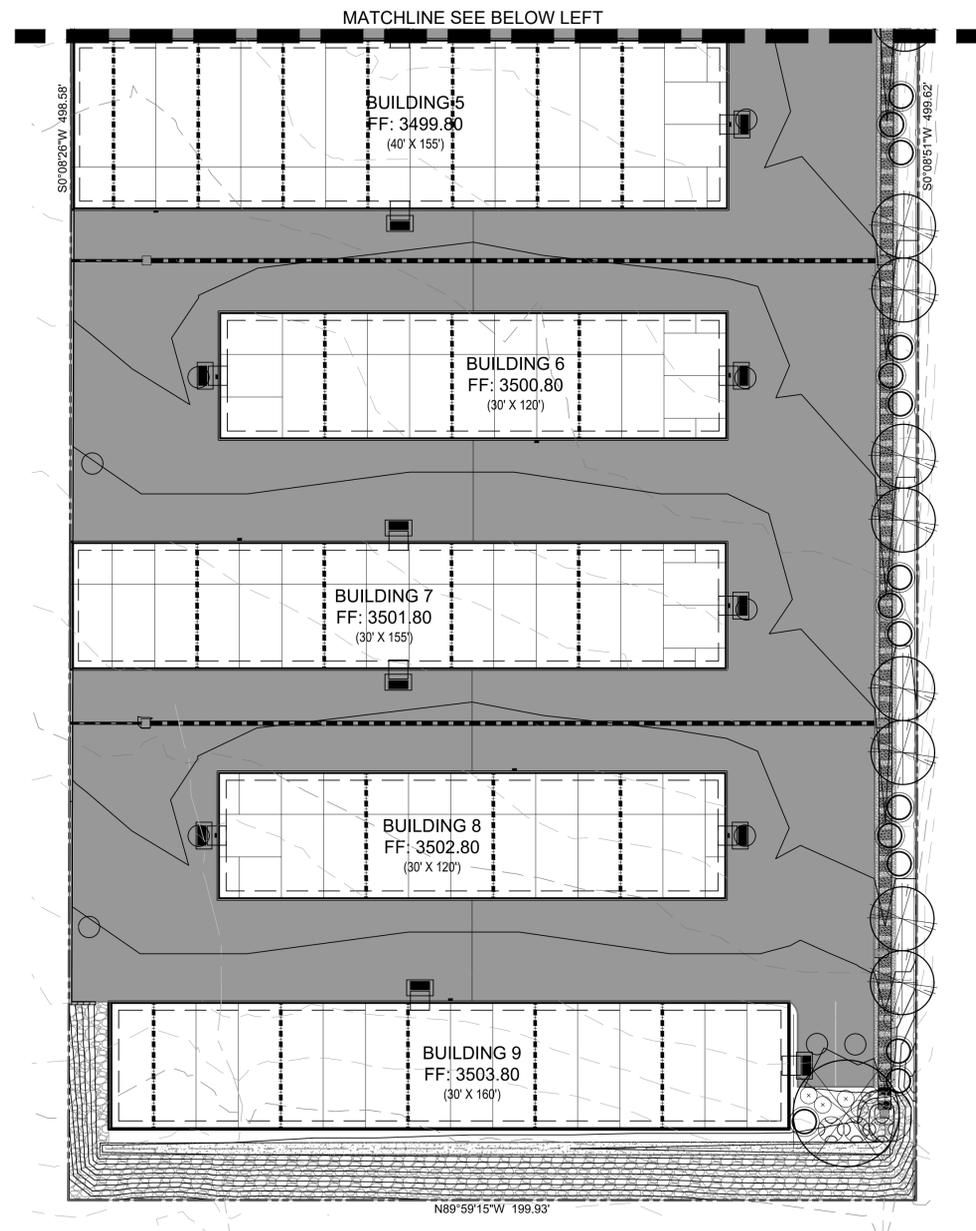
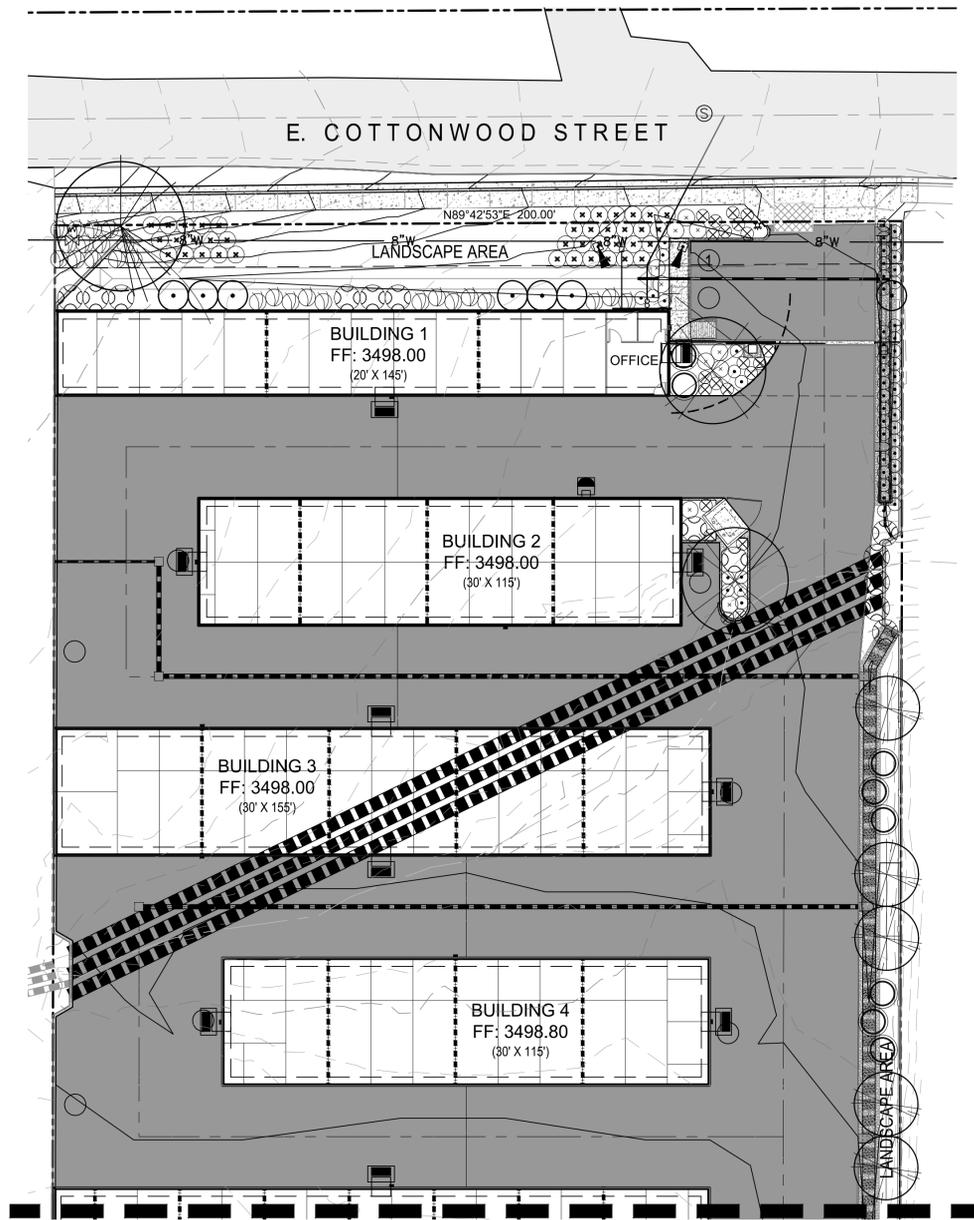
I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM (AZPDES) PERMIT THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

CONTRACTOR SIGNATURE _____ PRINT NAME OF CONTRACTOR AND COMPANY _____



STORM WATER POLLUTION PREVENTION PLAN	
HERRICK STORAGE FACILITY	
25 EAST COTTONWOOD ST. COTTONWOOD, AZ 86326	
SHEET TITLE:	PROJECT TITLE:
DRAWN BY: RJB	
SCALE: NONE	
DATE: 12/27/19	
PROJECT NO: 170302A	
SHEET NO. C-21	

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PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
TREES					
	ROBINIA PSEUDOACACIA 'PURPLE ROBE'	BLACK LOCUST	15 GAL		1
	ALBIZIA JULIBRISSIN 'ROSEA'	MIMOSA TREE	15 GAL	MATCHED STANDARDS	3
	CUPRESSUS SEMPERVIRENS 'STRICTA'	ITALIAN CYPRESS	15 GAL	MATCHED HEIGHTS	7
SHRUBS					
	COTINUS COGGYGRIA 'ROYAL PURPLE'	SMOKE TREE	15 GAL	15'-0" O.C.	13
	EUONYMUS ALATUS 'COMPACTA'	WINGED EUONUMUS	5 GAL	6'-0" O.C.	16

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	PINK MUHLY	1 GAL	3'-0" O.C.	15
	MAHONIA AQUIFOLIUM 'COMPACTA'	OREGON HOLLYGRAPE	1 GAL	4'-0" O.C.	26
	TEUCRUM CHAMAEDRY'S 'PROSTRATUM'	GERMANDER	1 GAL	3'-0" O.C.	54
	LEUCOPHYLLUM FRUTESCENS 'GREEN CLOUD'	TEXAS SAGE	5 GAL	4'-0" O.C.	23
	JUNIPERUS HORIZONTALIS 'WILTONII'	BLUE RUG JUNIPER	1 GAL	3'-0" O.C.	39
	SALVIA NEMOROSA 'OSTFRIESLAND'	MAY NIGHT	1 GAL	2'-6" O.C.	21
GROUNDCOVERS					
	DECORATIVE GRAVEL COVER ALL LANDSCAPE AREAS (3" MINIMUM DEPTH)				

NOTE: PLANT QUANTITIES ARE FOR CITY PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES.

GENERAL NOTES:

- SURVEY AND TOPOGRAPHY DATA PROVIDED BY HAMMES SURVEYING, LLC, 2100 VIA SILVERDO, CAMP VERDE, AZ. AND WAS PERFORMED IN NOVEMBER 2016.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS.
- TEMPORARY TRAFFIC SURFACING SHALL BE APPLIED PRIOR TO CONSTRUCTION AND SHALL CONSIST OF NO LESS THAN A 4" THICKNESS OF 3/4" AGGREGATE. THE SURFACE SHALL EXTEND FROM THE EXISTING ROADWAY TO THE BUILDING FOOTPRINT.



Leonard A. Filner
Landscape Design
1628 E. Birch Street, Apt. 1
Cottonwood, Arizona 86326
(714) 337-7706



0 10 20 40
HORIZONTAL SCALE IN FEET
1" = 20'

LANDSCAPE PLAN

HERRICK STORAGE FACILITY

25 EAST COTTONWOOD STREET

SHEET TITLE:

PROJECT TITLE:

DRAWN BY: LAF

SCALE: 1" = 20'

DATE: 12/27/19

PROJECT NO: 170302A

SHEET NO.

C-22

20 STUTZ BEARCAT DR. #8
SCODIA, ARIZONA 86336
PH: (928) 202-5995 L@SPENGCO.COM

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BOARDING

BOARDING
928-539-1847





8-639-1847



DAY CARE



GROOMING





Marlen Espinola
2713 S Rio Verde Drive
Cottonwood, AZ 86326
928-862-0916

marlenespinola2010@hotmail.com

City of Cottonwood
Planning and Development Department
Re: Letter of Intent

Dear Sir:

I have been a Cottonwood business owner for 13 years. This letter is to notify you of my intent to build a beauty salon on the property I own, located at 108 N Main Street, Cottonwood, AZ. The parcel number is 406-37-007A. The lot size is .25 acres. It is located on the corner of Apache and North Main Street. I plan to build a beautiful building that is 1,646 square feet under roof. Parking and designated space for future structure is 6,106 Square feet. Landscaping including paver walkways equals 2,880 square feet. This makes total coverage 10,632 square feet.

I am submitting my application along with required site plan and supporting documents. Please refer to the site plan for Engineer name and contact information. I am looking forward to receiving my building permit so that I can finish my building and move my business to the gateway to Old Town area.

Sincerely

Marlen Espinola

10-23-19



RECEIVED OCT 23 2019



"Inspiring a Vibrant Community"

STAFF REPORT

TO: Planning and Zoning Commission

FROM: Jim Padgett, Planner

HEARING DATE: February 24, 2020

PROJECT NUMBER: DR 20-002 ME Beauty Studio

The applicant is requesting approval of a Design Review application for a new 1,646 square foot Beauty Salon. The subject parcel is located at the northwest corner of North Main Street and Apache Street.

PROJECT DATA AND FACTS:

Applicant/Agent	Brent Maupin
Owner	Maria Marlen Romero Espinola
Location of Property	108 North Main St. APN 406-37-007A
Present Zoning and Land Use	C-1 (Light Commercial) Property is presently vacant.
Description of Applicant's Request	Design Review approval for a new 1,646 square foot Beauty Salon.

LAND USE:

Description and Character of Surrounding Area
The site is located at 108 N. Main Street. It is located on the west side of Main Street and is surrounded by a mix of retail stores, offices and restaurants.
North: C-1 (Light Commercial)- Insurance Company
South: C-1 (Light Commercial)- Currently vacant buildings, future convenience store
East: C-1 (Light Commercial)- Retail and Storage (Across Main Street)
West: C-1 (Light Commercial)- Mixed use, commercial hair salon and a residence

PROJECT PROPOSAL:

Background: The subject site is a .26 acre parcel (11,326 square feet) and is proposed for the development of a 1,646 square foot Beauty Salon. The site is presently vacant and will be immediately adjacent to the new convenience store planned for the Mingus and Main intersection. The site is proposed for the salon to be located towards the northeast corner of the parcel with a potential expansion area at the northwest portion of the site. Future development or expansion would require the applicant to return to the Planning Commission to request Design Review approval.

STRUCTURE DESIGN:

Number of Buildings	1
Number of Stories	1
Square Footage	1,646

Parking: Ten (10) standard spaces, one (1) Handicapped accessible space, and three (3) motorcycle spaces are proposed. Code requirements for a salon requires two (2) spaces per service chair and with three (3) chairs proposed for this building and the floorplan submitted, would require six (6) spaces. The project exceeds the minimum parking required and would allow for additional service chairs or possible parking for a future expansion of the site.

Access: The main access will be from a single driveway entrance along Apache Street on the South side of the property. An alley is located along the north side of the property and would provide access to the parking area and trash dumpster location. A public transit bus stop exists in the right of way along Main Street in front of the proposed salon.

Screening: The screening standards of the C1 zoning district require the following:

Where the lot adjoins a residential district, a commercial use shall be screened from the residential property by a solid masonry or solid material fence six (6) Ft. in height, or as otherwise allowed or required by the Development Review Board or Zoning Administrator, subject also to the fence height and material regulations established in Section 404 of this Ordinance.

The adjacent property to the west is also zoned C-1 and a Barber shop and residential uses have been located there for many years. The applicant has provided enhanced landscaping adjacent to the mixed use property to the west to mitigate any commercial activity from affecting the adjacent neighbor. In addition, the applicant is proposing to add vinyl slats to the existing chain link fence on the adjacent parcel to assist in the screening.

The adjacent neighbor has submitted a letter in support of the project, the screening proposed for the chain link fence and the landscape plan as proposed.

A short three-foot screen wall is not shown on the plans to screen headlights from three parking spaces facing Main Street. The applicant is proposing landscaping that when mature, would be adequate for the screening required. The screen wall has been required for other recent projects that have the same parking orientation to the street. A stipulation to require the short screen wall in front of the three parking spaces fronting on Main Street has been included in the recommendations for this project.

Lighting: Exterior lighting will have to meet Section 408 of the City of Cottonwood Zoning Ordinance Lighting Code.

Signage: At this time the final signage plan has not been determined. A complete sign permit application with all required details will be submitted to staff for approval when a design has been agreed upon.

Landscape Plan:

The landscape plan as submitted meets zoning ordinance requirements and would be required to meet the landscape requirements of the code prior to obtaining a Certificate of Occupancy.

Utilities: All necessary utilities are located in proximity to the site and will be required to meet any requirements from the Utility Department. The water line that services that portion of Apache is inadequate at the present time to meet the needs of this development so the applicant has worked with both the Utility Department and the Fire Department and will be placing a water storage tank at the northwest corner of the building adjacent to the trash enclosure.

Architecture, Materials, Colors:

The proposed architectural theme is generally considered a Santa Fe style design with the use of natural stones and earth tone paint colors. A stacked stone veneer in earth tones, wood trim proposed in Behr “Coco Rum”, exterior walls in Behr “Kenya” and the entry roof with a metal roof in a “Copper Kiss” color.

CRB Review:

This project was reviewed by the Code Review Board on June 19, 2018 for the initial approval and the applicant has met the requirements from staff included in the Design Review application.

STIPULATIONS:

Staff has reviewed this project and finds it fits within the Commercial use of this area as depicted in the General Plan. If approved, staff recommends the following stipulations:

1. That the project is developed in conformance with the development plans as approved by the Planning and Zoning Commission at the February 24, 2020 meeting.
2. That the project conforms to Code Review Board comments dated June 19, 2018.
3. That the project complies with all Building, Utilities, Engineering and Fire Department requirements.

4. The trash enclosure and the water storage tank shall be screened with solid materials to comply with Section 404.S.1.a and b. and the landscape buffering requirements of Section 407.D.8.
5. A three (3) foot screen wall is required adjacent to Main Street where three parking spaces are facing the street.
6. Identify a minimum of two bicycle parking spaces on the plans submitted for Building Permits.
7. A Certificate of Zoning Compliance documenting the completion of conditions shall be issued within 24 months of the Planning Commission action.
8. Any other stipulations the Planning & Zoning Commission deems necessary.

Attachments: Letter from neighbor

Ruben & Veronica Jauregui
1514 E Apache Street
Cottonwood, AZ 86326
928-634-5388

To: City of Cottonwood

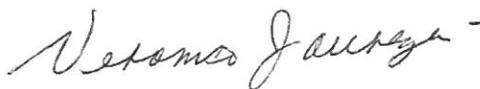
To Whom it May concern.

I understand that a building is going to be constructed at the property known as 108 S Main Street, Cottonwood. In lieu of a block wall, I am giving my permission for the owner, Marlen Espinola to provide adequate screening by installing privacy vinyl slats to my existing chain link fence on the east side of my property. In addition to the privacy slats, I understand Ms. Espinola will be installing a buffer of landscaping between my property on the east side and her property on the west side.

Sincerely,

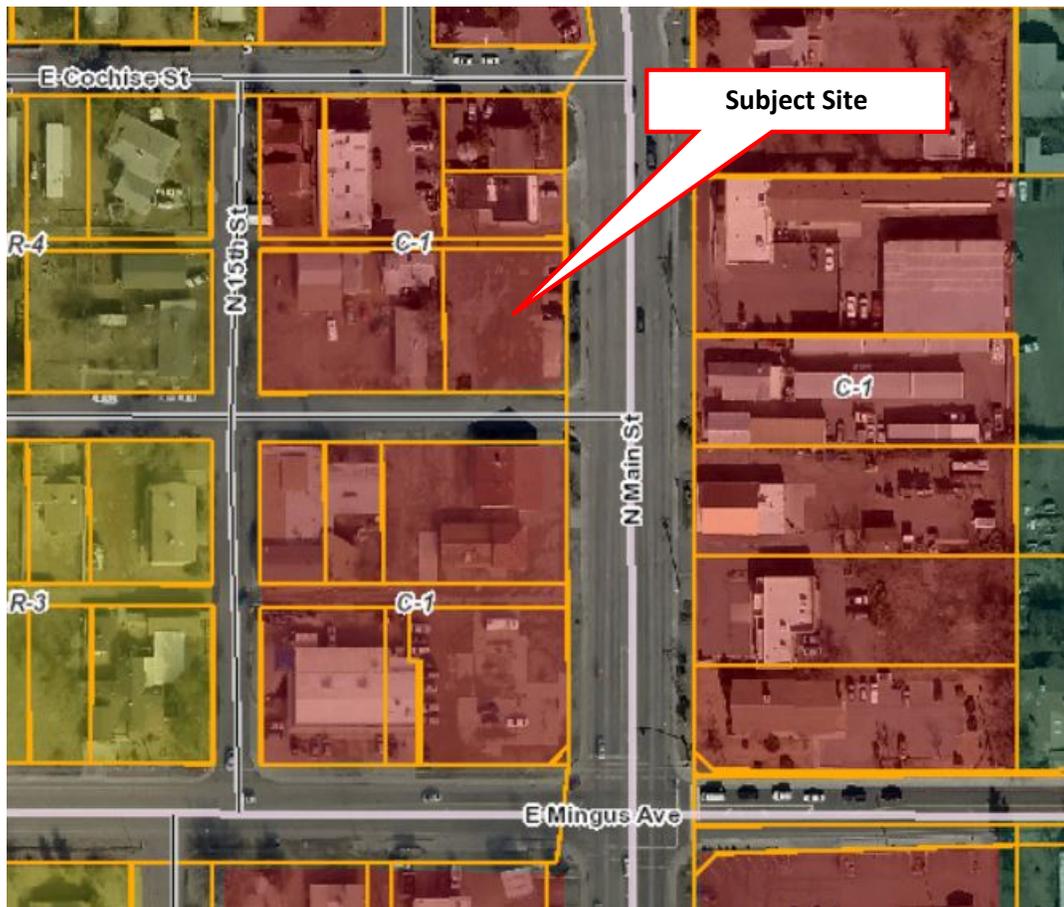


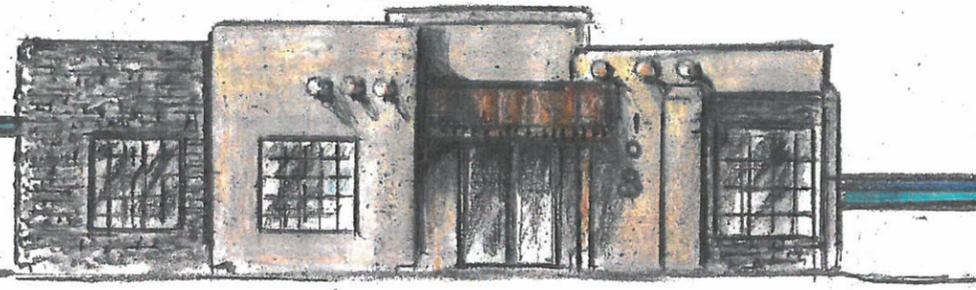
Ruben Jauregui



Veronica Jauregui

Vicinity Map – ME Beauty Salon 108 N. Main Street Design Review 20-002





FRONT VIEW



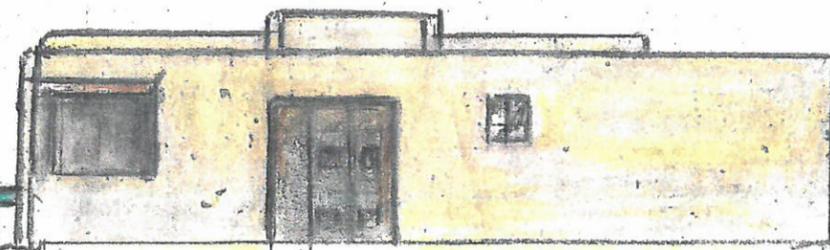
RIGHT SIDE



ME BEAUTY STUDIO
108 N MAIN ST.
COTTONWOOD, AZ.

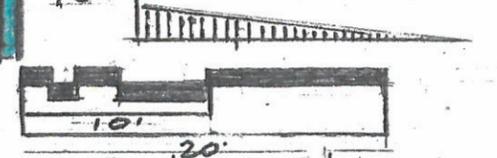


LEFT SIDE



REAR VIEW

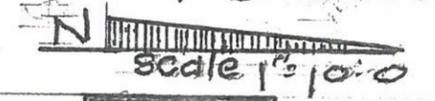
elevations
N | scale: 1"=10'0"



drawn by: Lionel Cardenas / date:



landscaping plan
 ME Beauty studio
 108 n. main st.
 cottonwood, az. 86326



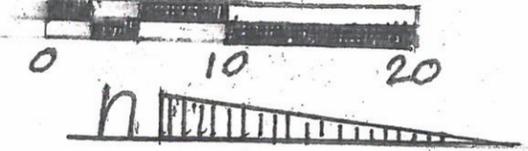
plant may be substituted
 plant to meet section 407 of
 the zoning ordinance
 drawn by: Lionel Cardenas Date

alley easement

-  deer grass
 growth: fast 4x4 size
 low litter - approx 12 ea 
-  mexican blue palm
 growth very slow 15x8 size
 low litter, thorns 4 ea 
-  gray ice plant
 growth moderate trailing
 lower litter, no thorns
 8 ea 
-  turpentine bush
 growth moderate, 2x8
 low litter, no thorns
 9 ea 
-  black diamond granite
-  boulder (sizes will vary)
 APPROX 11 EA.
-  plants
 water consumption
 drip system by others

Site Plan

scale 1" = 1'-0"



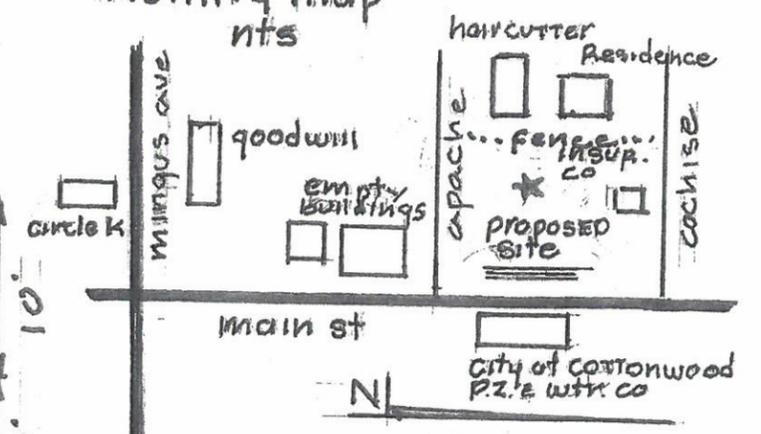
lot: 11200 sq. ft. 0.25 Acres
building: under roof 1646 Sq. ft.
parking & designated space (temporary space for future structure) 616 sq. ft.
landscaping: (includes paver walkways): 2830 sq. ft.
total coverage: 10692 sq. ft.

Engineer:
Robert Maupin - 928-300-4822
P.O. Box 21032, Sedona, AZ. 86341

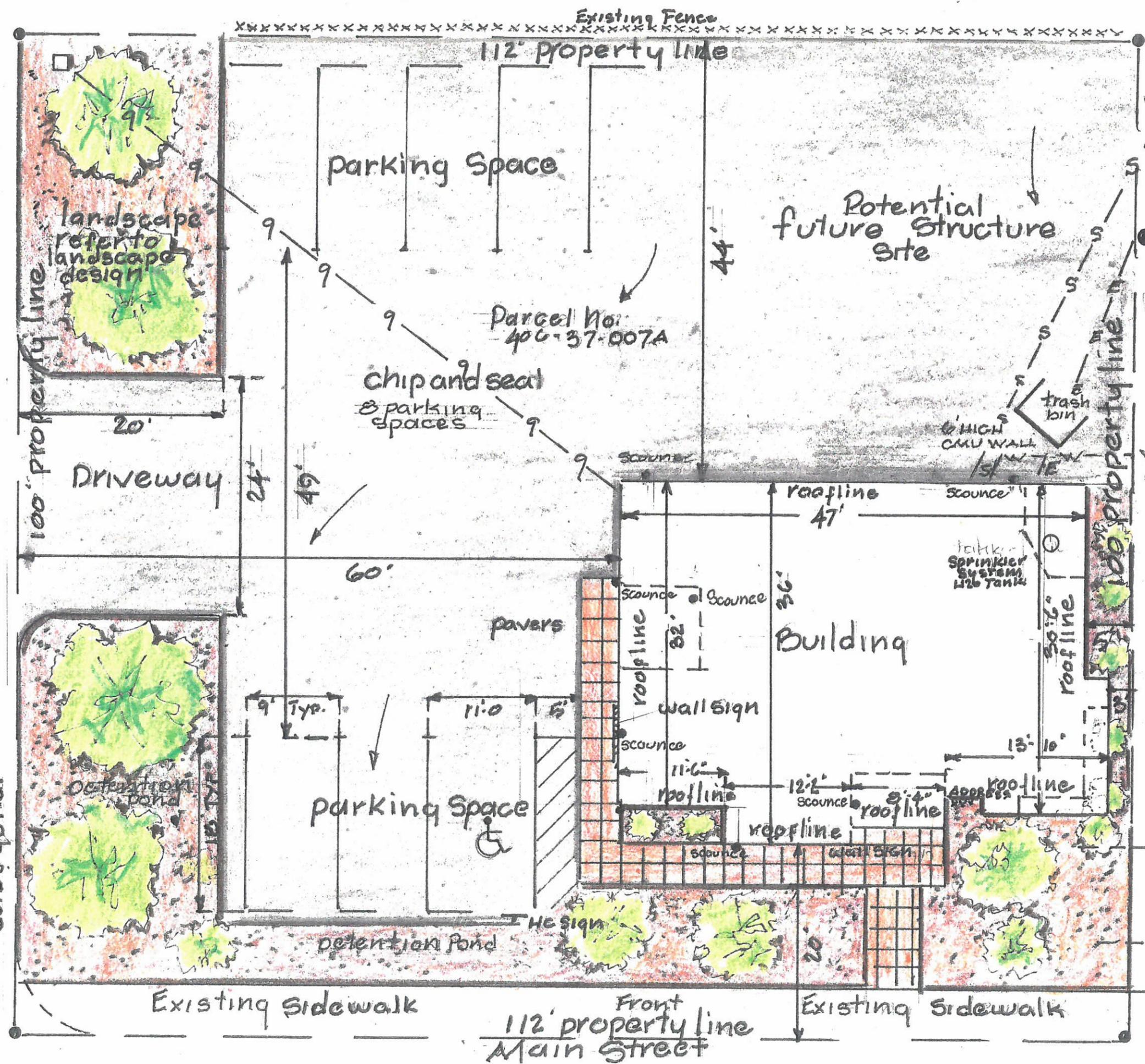
ME Beauty Studio
108 n. main st.
Cottonwood, AZ.

owner:
Marlen Espinola - 928-862-0916
2713 S. Rio Verde Dr.
Cottonwood, AZ. 86326

Vicinity map



drawn by: Lionel Cardenas
date:



Apache Street

curb & gutter

alley easement

Existing Sidewalk
112' property line
Front Main Street



268

AMERICAN

AMERICAN





Haircutters
and
Hairstylists





ALLPRICE INSURANCE

116







SPEED
LIMIT
35



NO STOPPING
ANYTIME
WITH
TRAFFIC

CAT

NO STOPPING
ANYTIME
WITH
TRAFFIC

Crown





ALLPRIC